

SITE PLAN

PARKING LOT EXPANSION

420 MAIN STREET & 7 CEDAR STREET

STURBRIDGE, MA 01566

JANUARY 5, 2021

PROJECT SURVEYORS/ENGINEERS:

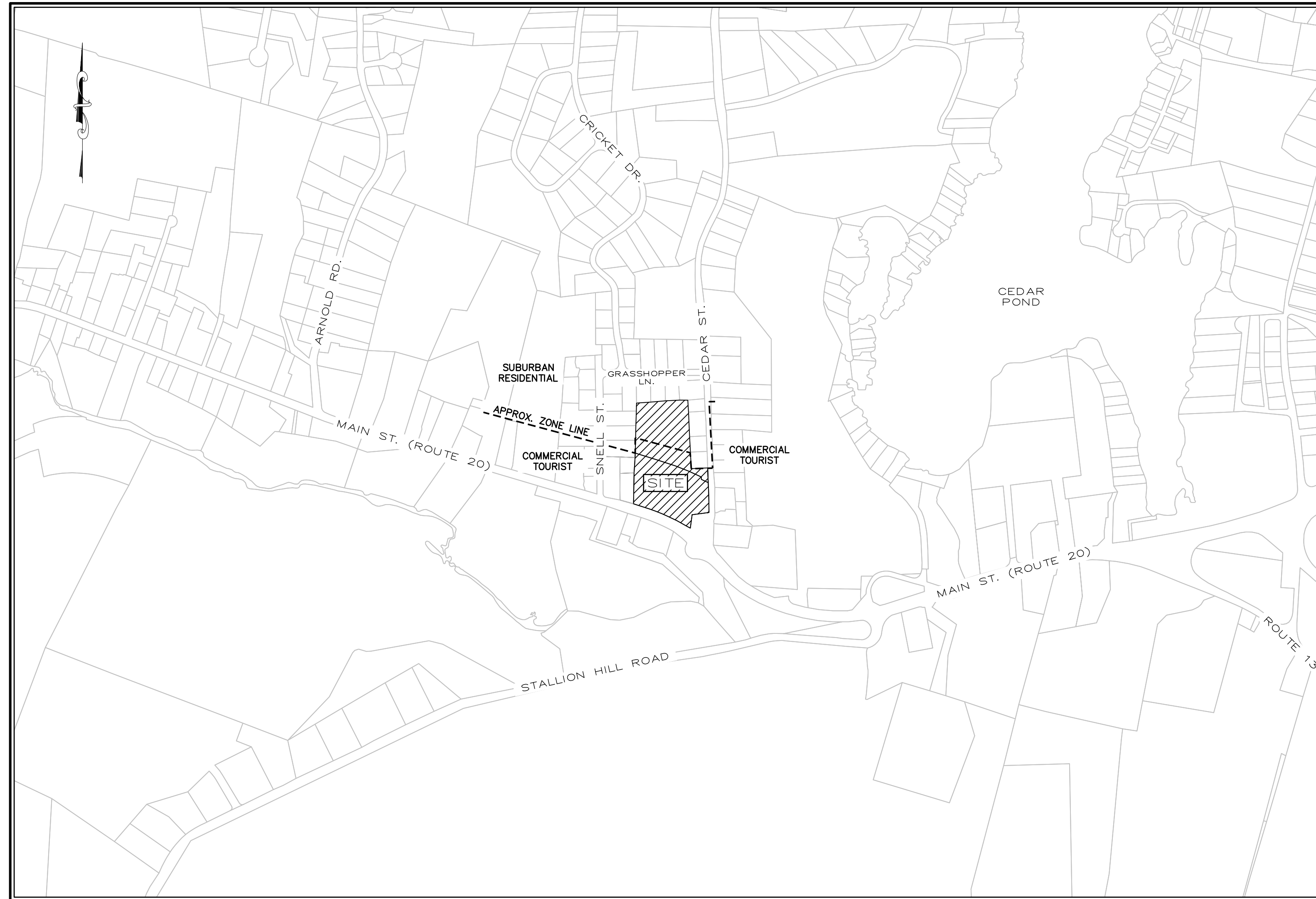
McCLURE
ENGINEERING, INC

119 Worcester Road Tel: (508) 248-2005
Charlton, MA 01507 Fax (508) 248-4887
Email: pengle@mcclureengineers.com

PROJECT LANDSCAPE ARCHITECT:

JCLA

Sturbridge, MA 01566 Tel: (413) 668-4553
Email: jecoan@jcladesign.com



SITE LOCUS
1" = 500'

DRAWING INDEX

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	LAYOUT AND MATERIALS PLAN
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C-8	CONSTRUCTION DETAILS
C-9	CONSTRUCTION DETAILS

GENERAL SITE NOTES:

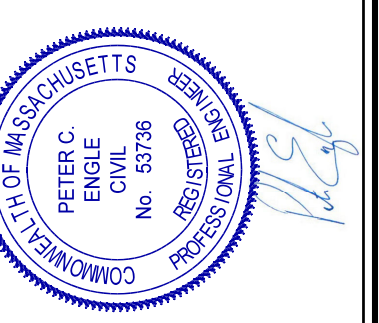
- PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED ADDITION TO THE EXISTING PARKING LOT AT 420 MAIN STREET AND 7 CEDAR STREET, STURBRIDGE, MA 01566, PROPERTY OWNED BY PORCHLIGHT INVESTMENTS III, LLC.
- EXISTING CONDITIONS AND TOPOGRAPHY ARE BASED ON A FIELD SURVEY BY McCLURE ENGINEERING, INC. IN JULY 2020 SUPPLEMENTED WITH 2013-2014 USGS LIDAR TOPOGRAPHY.
- ALL UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.
- THE ENTIRE PROPERTY LIES WITHIN ZONE X, AREAS OF MINIMAL FLOOD HAZARD AS REFERENCED ON NATIONAL FLOOD INSURANCE RATE MAP NO. 25027C0926E, FOR COMMUNITY NO. 250337 AND DATED 7/4/2011.

STURBRIDGE PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

HOR. SCALE IN FEET: 1"=500'		MADE (APVD)	
500	1000	REV	DATE
0	500	1	2.12.21
		PER REVIEW COMMENTS	AB
		REVISIONS	PE

PETER C. ENGLE P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



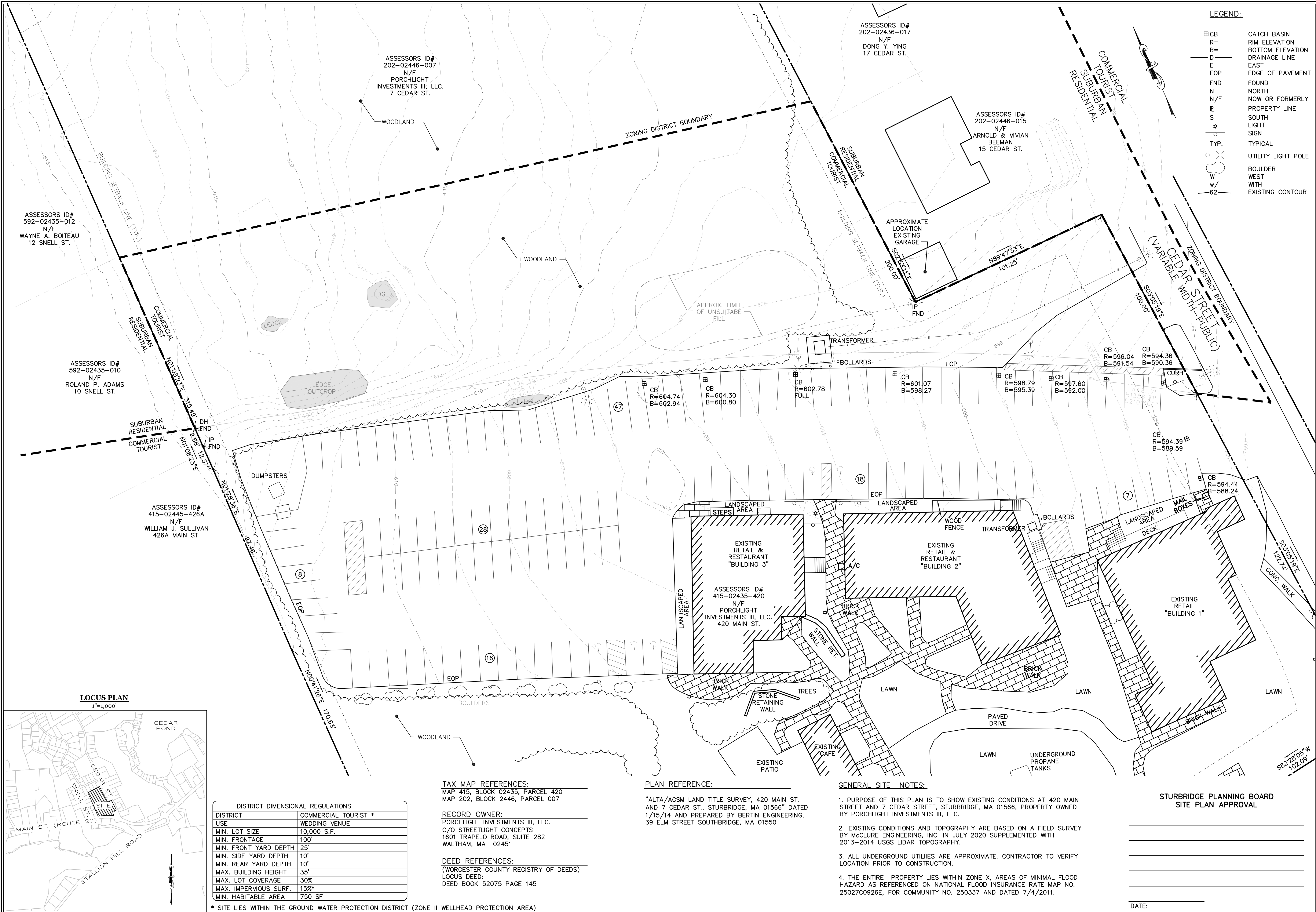
McCLURE ENGINEERING, INC
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SITE PLAN
420 MAIN STREET & 7 CEDAR STREET
STURBRIDGE, MA 01566
PREPARED FOR
PORCHLIGHT INVESTMENTS III, LLC.
C/O STRETLIGHT CONCEPTS
1601 TRAPELO ROAD, SUITE 282
WALTHAM, MA 02451

DRAWN BY: WCN
DATE: 1/5/2021
CHK BY: PE
SCALE: 1" = 500'
PROJ. NO. 287-2131-L

TITLE SHEET

C-1



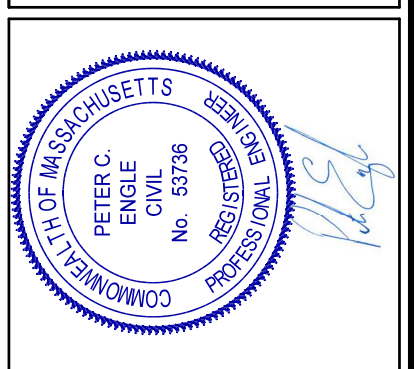
LEGEND:

CB	CATCH BASIN
R	RIM ELEVATION
B	BOTTOM ELEVATION
D	DRAINAGE LINE
E	EAST
EOP	EDGE OF PAVEMENT
FND	FOUND
N	NORTH
N/F	NOW OR FORMERLY
P	PROPERTY LINE
S	SOUTH
L	LIGHT
W	WEST
TYP.	TYPICAL
UL	UTILITY LIGHT POLE
B	BOULDER
W	WOODLAND
W	WITH
W	EXISTING CONTOUR

HOR. SCALE IN FEET: 1"=20'

REV	DATE	DESCRIPTION	PER REVIEW COMMENTS	MADE (APVD)
1	2.12.21			AB

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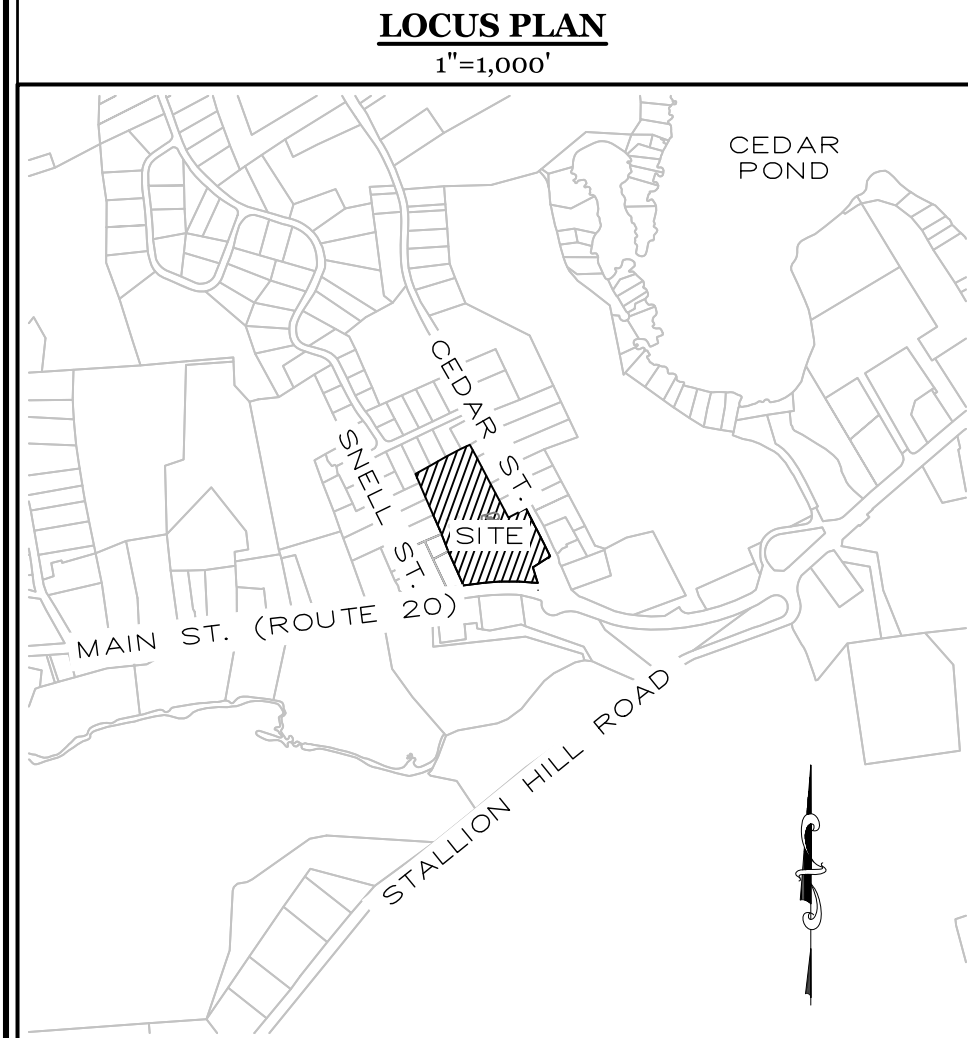


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SITE PLAN
420 MAIN STREET & 7 CEDAR STREET
 STURBRIDGE, MA 01566
 PREPARED FOR:
PORCHLIGHT INVESTMENTS III, LLC.
 C/O STREETLIGHT CONCEPTS
 1601 TRAPELO ROAD, SUITE 282
 WALTHAM, MA 02451

EXISTING CONDITIONS

DATE: _____



DISTRICT DIMENSIONAL REGULATIONS

DISTRICT	COMMERCIAL TOURIST *
USE	WEDDING VENUE
MIN. LOT SIZE	10,000 S.F.
MIN. FRONTAGE	100'
MIN. FRONT YARD DEPTH	25'
MIN. SIDE YARD DEPTH	10'
MIN. REAR YARD DEPTH	10'
MAX. BUILDING HEIGHT	35'
MAX. LOT COVERAGE	30%
MAX. IMPERVIOUS SURF.	15%*
MIN. HABITABLE AREA	750 SF

* SITE LIES WITHIN THE GROUND WATER PROTECTION DISTRICT (ZONE II WELLHEAD PROTECTION AREA)

TAX MAP REFERENCES:
 MAP 415, BLOCK 02435, PARCEL 420
 MAP 202, BLOCK 2446, PARCEL 007

RECORD OWNER:
 PORCHLIGHT INVESTMENTS III, LLC.
 C/O STREETLIGHT CONCEPTS
 1601 TRAPELO ROAD, SUITE 282
 WALTHAM, MA 02451

DEED REFERENCES:
 (WORCESTER COUNTY REGISTRY OF DEEDS)
 LOCUS DEED:
 DEED BOOK 52075 PAGE 145

PLAN REFERENCE:
 *ALTA/ACSM LAND TITLE SURVEY, 420 MAIN ST. AND 7 CEDAR ST., STURBRIDGE, MA 01566" DATED 1/15/14 AND PREPARED BY BERTIN ENGINEERING, 39 ELM STREET SOUTHBRIDGE, MA 01550

- GENERAL SITE NOTES:**
- PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS AT 420 MAIN STREET AND 7 CEDAR STREET, STURBRIDGE, MA 01566, PROPERTY OWNED BY PORCHLIGHT INVESTMENTS III, LLC.
 - EXISTING CONDITIONS AND TOPOGRAPHY ARE BASED ON A FIELD SURVEY BY McCLURE ENGINEERING, INC. IN JULY 2020 SUPPLEMENTED WITH 2013-2014 USGS LIDAR TOPOGRAPHY.
 - ALL UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.
 - THE ENTIRE PROPERTY LIES WITHIN ZONE X. AREAS OF MINIMAL FLOOD HAZARD AS REFERENCED ON NATIONAL FLOOD INSURANCE RATE MAP NO. 25027C0926E, FOR COMMUNITY NO. 250337 AND DATED 7/4/2011.

STURBRIDGE PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

DIG-SAFE NOTE (1-888-344-7233):

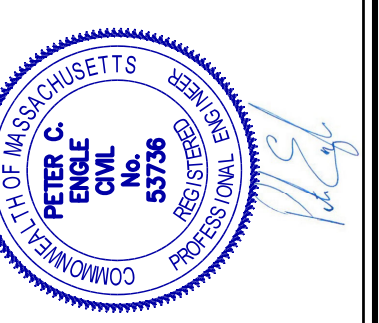
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO ANY EXCAVATION @ 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO THE START OF ANY ON-SITE CONSTRUCTION ACTIVITIES.
- ALL EXISTING SUBSURFACE UTILITIES (LOCATION & ELEVATION) TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR IS TO VERIFY EXISTING INVERTS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

LEGEND:

- CB CATCH BASIN
- R= RIM ELEVATION
- B= BOTTOM ELEVATION
- D DRAINAGE LINE
- E EAST
- EOP EDGE OF PAVEMENT
- FND FOUND
- N NORTH
- N/F NOW OR FORMERLY
- PL PROPERTY LINE
- S SOUTH
- L LIGHT
- W WEST
- W WITH
- 62 EXISTING CONTOUR
- TYP. TYPICAL
- UTILITY LIGHT POLE
- BOULDER
- WEST
- WITH
- EXISTING CONTOUR

REV	DATE	DESCRIPTION	PER REVIEW COMMENTS
1	2.12.21		

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SITE PLAN APPROVAL

DRAWN BY: WCN
DATE: 1/5/2021
CHK BY: PE
SCALE: 1" = 20'
PROJ. NO. 287-2131-L
LAYOUT & MATERIALS PLAN
C-3

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DISTRICT DIMENSIONAL REGULATIONS			
DISTRICT	COMMERCIAL TOURIST *	EXISTING MULTIPLE COMMERCIAL BUSINESSES	
USE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	10,000 S.F.	276,049 S.F.±	276,049 S.F.±
MIN. FRONTAGE	100'	856'±	856'±
MIN. FRONT YARD DEPTH	25'	48.9'±	48.9'±
MIN. SIDE YARD DEPTH	10'	7.7'±	7.7'±
MIN. REAR YARD DEPTH	10'	76.9'±	76.9'±
MAX. # BUILDING STORIES	3	2.5	2.5
MAX. BUILDING HEIGHT	35'	30'±	30'±
MAX. LOT COVERAGE	30%	5.6%	5.6%
MAX. IMPERVIOUS SURF.	15%*	23.3%	30.6%
MIN. HABITABLE AREA	750 SF	15,515± SF	15,515± SF
MIN. OPEN SPACE	N/A	211,730± SF	191,580± SF

* SITE LIES WITHIN THE GROUND WATER PROTECTION DISTRICT, >15% IMPERVIOUS REQUIRES SPECIAL PERMIT

PARKING SPACE CALCULATIONS

EXISTING	REGULAR	ADA ACCESSIBLE	TOTAL
119	5 (3 VAN)		124
PROPOSED	REGULAR	ADA ACCESSIBLE	TOTAL
69	1		70
EXISTING PARKING REMOVED: 4 REGULAR			
TOTAL NEW PARKING SPACES:			
119 EXISTING REGULAR 9X18			
-6 (EXISTING REMOVED)			
113 (EXISTING REMAINING) 9X18			
+ 69 ADA ACCESSIBLE (EXISTING)			
+ 69 REGULAR 9X18			
+ 1 ADA ACCESSIBLE PROPOSED			
188 TOTAL SPACES (6 ADA, 2 VAN)			

PARKING REQUIREMENTS CALCULATIONS

TENANTS & BUSINESS UTILIZING PARKING
CEDAR STREET GRILLE - 10 SPACES
CEDAR STREET CAFE - 15 SPACES
VETCOR - 15 SPACES
TABLE 3 OFFICES/RETAIL (BUILDING 1) - 8 SPACES
EXSEL ADVERTISING (BUILDING 1) - 10 SPACES
WINTHROP ROOM (BUILDING 2) - 125 SEATING CAPACITY - 42 SPACES
THE BARN (BUILDING 3) - 175 SEATING CAPACITY - 58 SPACES
NORTHEAST SITE SOLUTIONS (BUILDING 4) - 8 SPACES
166 TOTAL

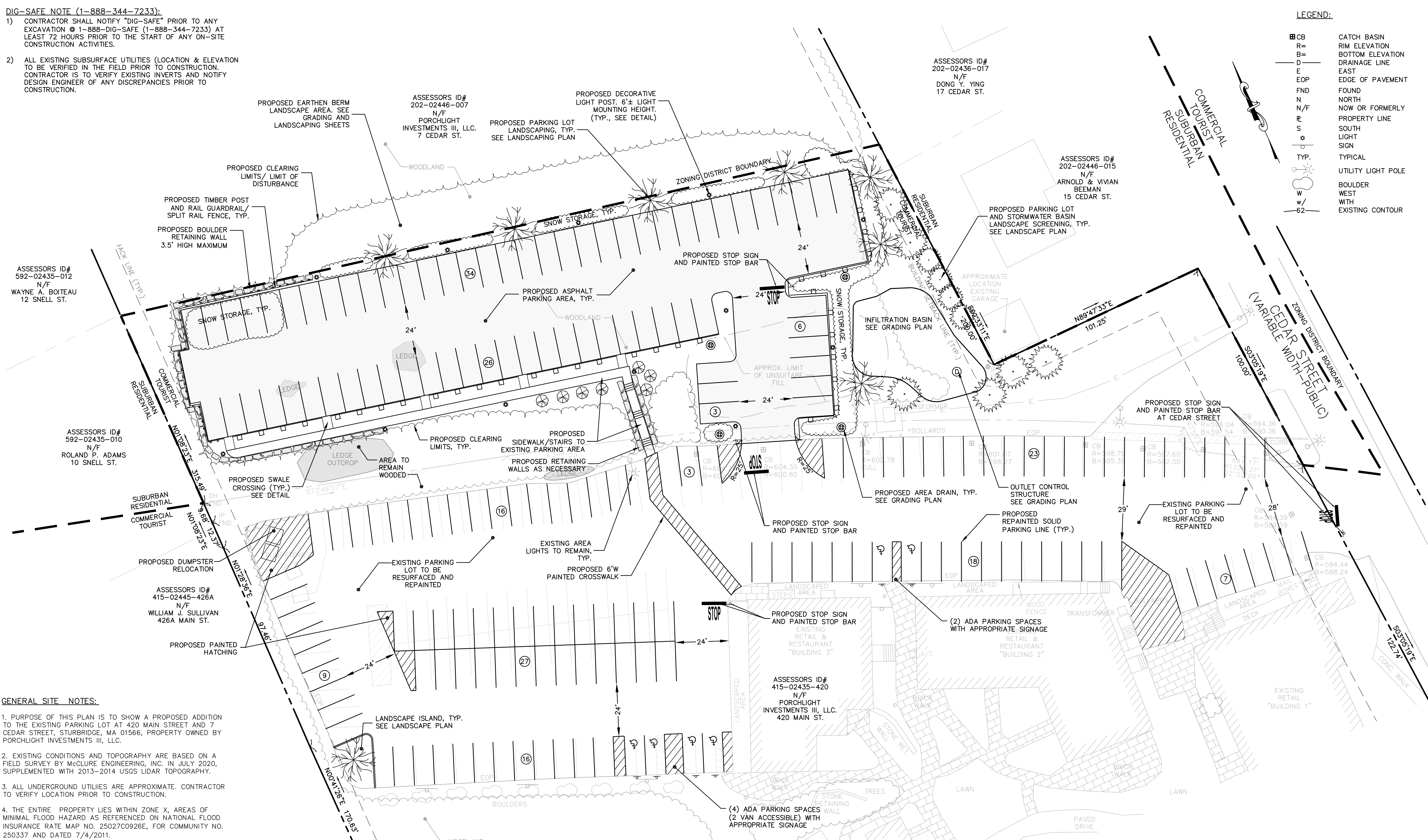
TYPICAL DAY PARKING REQUIREMENTS (NO WEDDINGS/EVENTS)
10 SPACES + 15 SPACES + 15 SPACES + 8 SPACES + 8 SPACES + 10 SPACES = **66 TOTAL**

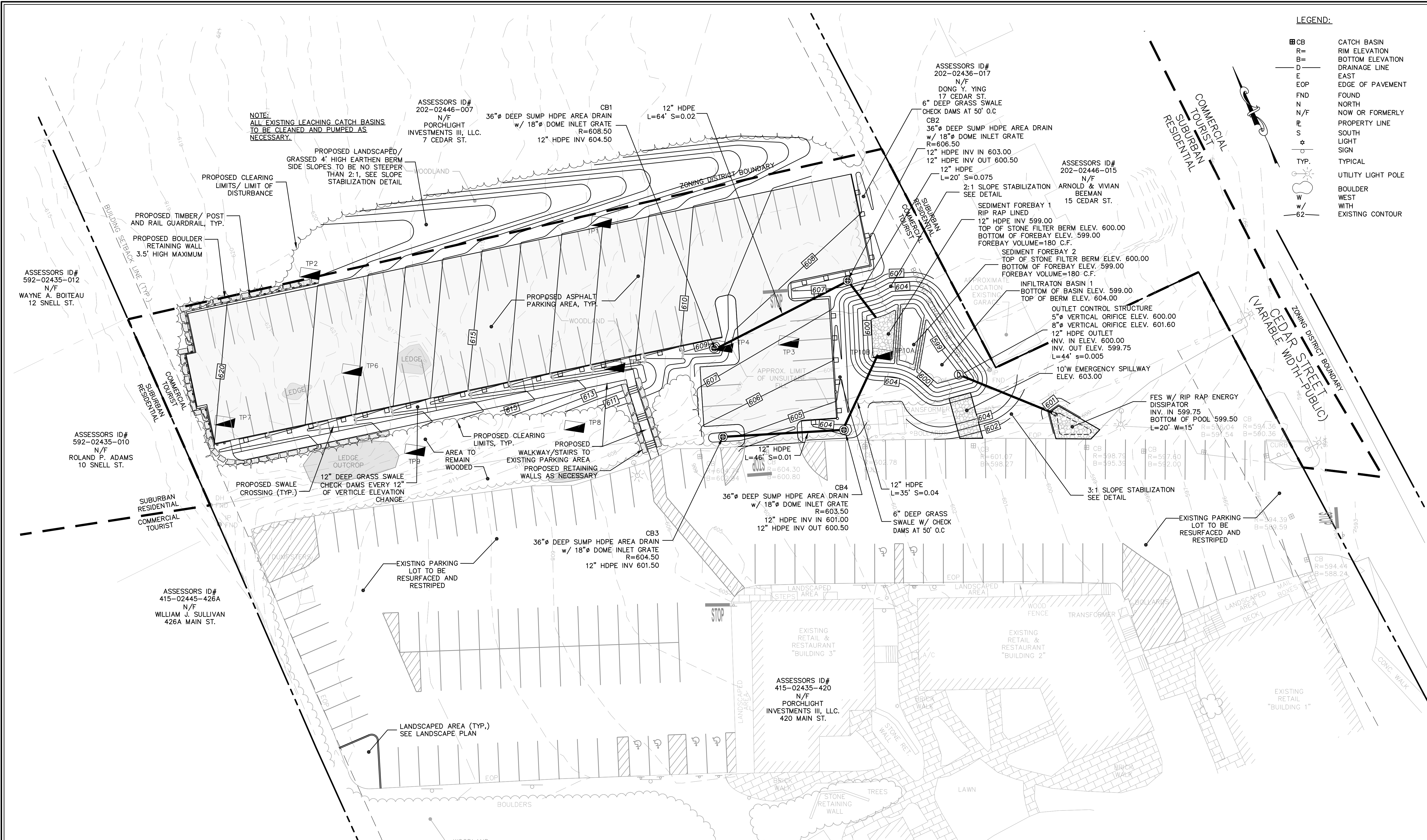
WEEKEND WEDDING/EVENT SCENARIO PARKING REQUIREMENTS
(2 WEDDINGS/EVENTS - WINTHROP & THE BARN MAX CAPACITY AND EMPLOYEES + CEDAR STREET GRILLE)
42 SPACES + 58 SPACES + 25 SPACES (EMPLOYEES) + 10 SPACES = **135 TOTAL SPACES**

GENERAL NOTES

- EXISTING FEATURES ARE SHOWN IN HALF TONE PROPOSED FEATURES ARE SHOWN IN FULL TONE
- LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG SAFE (1-888-DIGSAFE)
- UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
- ALL UTILITY CONNECTIONS ARE TO BE IN ACCORDANCE WITH LOCAL CODE.
- THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
- ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURB AND FACE OF BUILDING.

DATE:





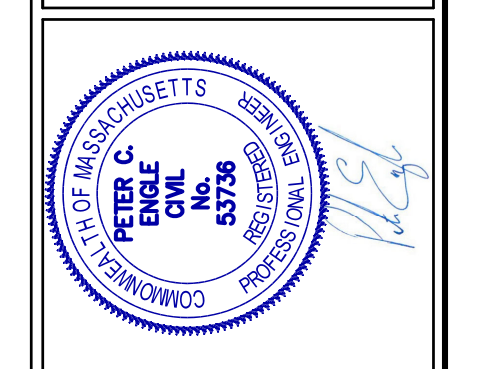
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FND	FOUND
N	NORTH
N/F	NOW OR FORMERLY
PL	PROPERTY LINE
S	SOUTH
L	LIGHT
SP	SIGN
UTP	TYPICAL
ULP	UTILITY LIGHT POLE
B	BOULDER
W	WEST
W	WITH
W	EXISTING CONTOUR

SCALE IN FEET: 1"=20'

REV	DATE	DESCRIPTION	PER REVIEW COMMENTS	MADE (APVD)
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 PREPARED FOR:
 PORCHLIGHT INVESTMENTS III, L.L.C.
 C/O STRETLIGHT CONCEPTS
 1601 TRAPELO ROAD, SUITE 282
 WALTHAM, MA 02451

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TEST PIT RESULTS:

TEST PITS 1, 2 EVALUATED BY D. RICE, PE, SE2036, McCLURE, 1/11/19
 TEST PITS 3-10 EVALUATED BY P. ENGLE, PE, SE14009, McCLURE, 9/24/20 & 11/3/20

TP1 0-8" Ap FSL 8-26" Bw FSL 26-78" C1 FSL ESHGW @ 60" (REDOX) NO REFUSAL	TP2 0-8" Ap FSL 8-26" Bw FSL 26-48" C FSL ESHGW @ 36" (REDOX) REFUSAL @ 48"	TP3 0-60" FILL 60-63" Ab SL 63-84" C GS NO REDOX NO REFUSAL	TP4 0-118" FILL 118-132" C GS ESHGW @ 120" (REDOX)	TP5 0-3" A SL 3-18" Bw SL 18-70" C SL NO REDOX REFUSAL @ 70" (POSSIBLE BOULDER)	TP10A 0-48" FILL 48-60" Ab SL 60-132" C GS ESHGW @ 120" (REDOX) NO REFUSAL
TP6 0-3" A SL 3-10" Bw SL 10-18" C FSL NO REDOX REFUSAL @ 18"	TP7 0-3" A SL 3-12" Bw SL 12-36" C FSL NO REDOX REFUSAL @ 36"	TP8 0-3" A SL 3-12" Bw SL 12-48" C FSL ESHGW @ 36" (REDOX) REFUSAL @ 48"	TP9 0-3" A SL 3-24" Bw SL 24-72" C FSL ESHGW @ 48" (REDOX) REFUSAL @ 72"	TP10B 0-126" FILL 126-132" C GS ESHGW @ 120" (REDOX) NO REFUSAL	

DIG-SAFE NOTE (1-888-344-7233):

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- ALL EXISTING SUBSURFACE UTILITIES (LOCATION & ELEVATION TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR IS TO VERIFY EXISTING INVERTS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

**STURBRIDGE PLANNING BOARD
 SITE PLAN APPROVAL**

DATE: _____

DRAWN BY: WCN
 DATE: 1/5/2021
 CHK BY: PE
 SCALE: 1" = 20'
 PROJ. NO. 287-2131-L

GRADING & UTILITY PLAN

C-4

PARKING LANDSCAPE CALCULATIONS

TOTAL PARKING AREA
 44,410± S.F. (EXISTING)
 + 20,240± S.F. (PROPOSED)
 64,650± S.F. (TOTAL)

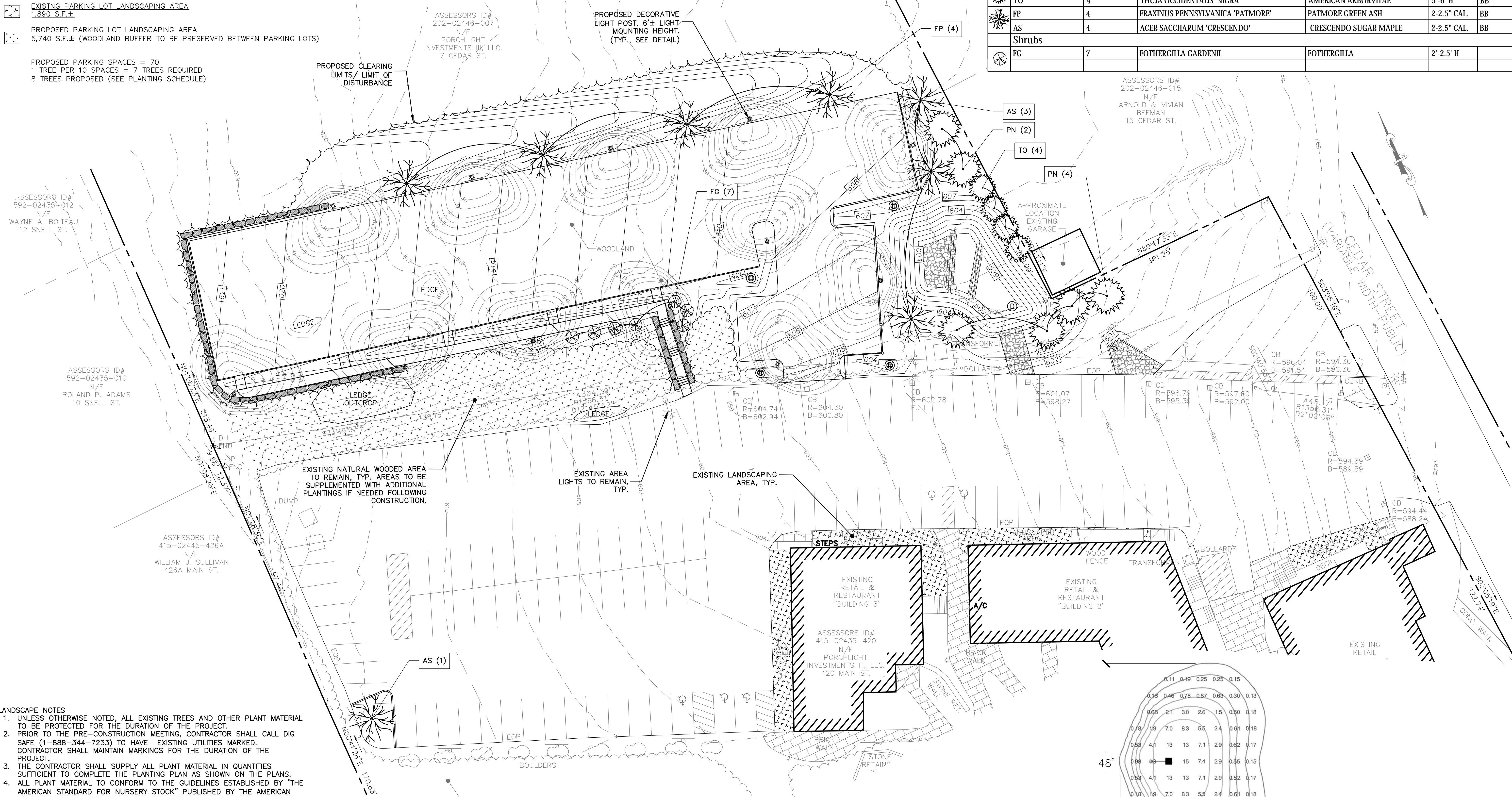
REQUIRED PARKING LOT LANDSCAPING AREA
 7.5% OF 64,650 S.F. = 4,849 S.F.

EXISTING PARKING LOT LANDSCAPING AREA
 1,890 S.F.±

PROPOSED PARKING LOT LANDSCAPING AREA
 5,740 S.F.± (WOODLAND BUFFER TO BE PRESERVED BETWEEN PARKING LOTS)

PROPOSED PARKING SPACES = 70
 1 TREE PER 10 SPACES = 7 TREES REQUIRED
 8 TREES PROPOSED (SEE PLANTING SCHEDULE)

Plant Schedule					
Symbol	Quantity	Botanical Name	Common Name	Size	Root
Trees					
PN	6	PICEA ABIES	NORWAY SPRUCE	5'-6" H	BB
TO	4	THUJA OCCIDENTALIS 'NIGRA'	AMERICAN ARBORVITAE	5'-6" H	BB
FP	4	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE GREEN ASH	2-2.5" CAL.	BB
AS	4	ACER SACCHARUM 'CRESCENDO'	CRESCENDO SUGAR MAPLE	2-2.5" CAL.	BB
Shrubs					
FG	7	FOTHERGILLA GARDENII	FOTHERGILLA	2'-2.5" H	



- LANDSCAPE NOTES**
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES AND OTHER PLANT MATERIAL TO BE PROTECTED FOR THE DURATION OF THE PROJECT.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL CALL DIG SAFE (1-888-344-7233) TO HAVE EXISTING UTILITIES MARKED. CONTRACTOR SHALL MAINTAIN MARKINGS FOR THE DURATION OF THE PROJECT.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON THE PLANS.
 - ALL PLANT MATERIAL TO CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1 -LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - STAKE LOCATIONS OF PLANT MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - ALL MULCH BEDS SHALL CONSIST OF A 5" LAYER SCREENED LOAM AND A 3" LAYER SHREDDED PINE BARK MULCH.
 - EDGE OF MULCH BEDS TO BE MECHANICALLY EDGED.
 - ALL DISTURBED AREAS NOT SHOWN AS PAVEMENT, MULCH BEDS, OR OTHER SPECIFIED MATERIAL SHALL RECEIVE A MINIMUM 5" LAYER OF LOAM AND SEED.
 - LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY MATERIALS DAMAGED DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR TO SUBMIT A WATERING SCHEDULE FOR THE SIXTY DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER FOR ALL PROPOSED PLANT MATERIAL.
 - SEE LANDSCAPE DETAILS ON SHEET C-8. FOR PLANTING INFORMATION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE, THE QUANTITY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.

LIGHTING REQUIREMENTS
 STURBRIDGE ZONING BYLAW
 SECTION 21.06 LIGHTING

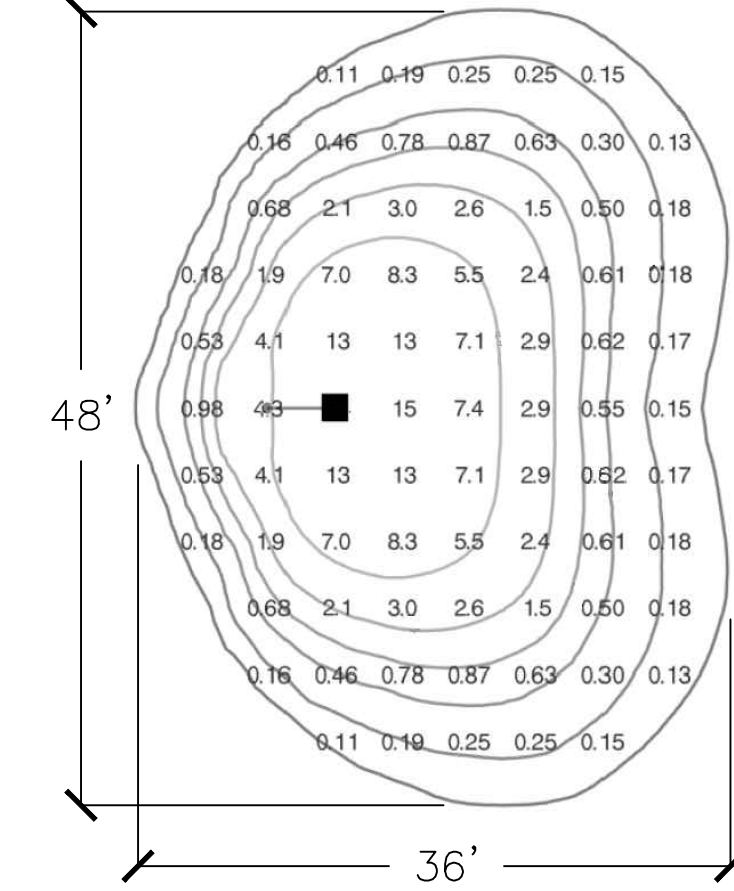
LIGHTS SHALL BE PARTIAL OR FULL CUT-OFFS AND SHALL BE ENERGY EFFICIENT. LIGHTS SHALL CONFORM WITH ILLUMINATION ENGINEERING SOCIETY (IES) STANDARDS.

EXTERIOR LIGHTING INSTALLATIONS SHALL INCLUDE TIMERS, DIMMERS, SENSORS, OR PHOTOCELL CONTROLLERS THAT TURN LIGHTS OFF DURING DAYLIGHT HOURS OR DURING HOURS WHEN LIGHTING IS NOT NEEDED, TO REDUCE OVERALL ENERGY CONSUMPTION AND ELIMINATE UNNEEDED LIGHTING. FOR TYPICAL BUSINESS PARKING LOTS, AFTER ACTIVE HOURS, ILLUMINANCE SHOULD BE NO GREATER THAN REQUIRED FOR SECURITY PURPOSES. IN THE CASE OF ONE (OR MORE) TENANTS STAYING OPEN BEYOND THE HOURS OF THE MAJORITY OF THE PROPERTY, APPROPRIATE LEVELS OF LIGHTING SHALL BE MAINTAINED FOR SECURITY AND SAFETY OF THOSE WORKING AT AND VISITING THE ESTABLISHMENT.

NOTE: LIGHTING INTENSITY SHOWN ON THIS PLAN IS EXPRESSED IN FOOT-CANDLES. EACH LIGHT SHOWN PROVIDES AN AVERAGE OF 2.5 FC AND A MAX OF 16 FC.

LIGHTING SUMMARY CHART

SYMBOL	DESCRIPTION	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
☀	DECORATIVE POST LIGHT	12	SINGLE	4,000	1.0	LSI LEXINGTON DECORATIVE LIGHT POST FORWARD THROW - 6' MOUNTING HEIGHT



60
40
20
0
20
40
60
SCALE IN FEET: 1"=20'

HOR. SCALE IN FEET: 1"=20'

REV	DATE	DESCRIPTION	MADE BY	APPROVED BY
1	2.12.21	PER REVIEW COMMENTS	AB	PE

JOSEPH COAN
 LANDSCAPE ARCHITECT
 MA LIC. NO. 3006



JCLA
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 JCOAN@JCLADesign.COM
 (413) 668-4553

LANDSCAPE AND LIGHTING PLAN
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DRAWN BY: JC
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 PROJ. NO. 287-2131-L

LANDSCAPE & LIGHTING PLAN

C-5

RESPONSIBILITIES OF OWNER/PERMITEE

- THE OWNER/ PERMITEE SHALL:
 A. PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT THE OWNER HAS ACQUIRED.
 B. INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

THE CONTRACTOR SHALL:

- A. INSTALL, MONITOR, AND MAINTAIN ALL OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN
 B. COMPLY WITH ALL PERMIT REQUIREMENTS.

PRE-CONSTRUCTION CONFERENCE

PRIOR TO CONSTRUCTION, FOLLOWING INSTALLATION OF EROSION CONTROL.

THE PERMITEE, OWNER-OF-RECORD, CONTRACTOR, ENGINEER, AND TOWN REPRESENTATIVE (CONSERVATION COMMISSION) SHALL HOLD A "PRE-CONSTRUCTION" CONFERENCE AT THE SITE TO REVIEW THE INSTALLATION OF THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES.

GENERAL CONTROLS

- CLEANING OF STORMWATER STRUCTURES:**
 CLEAN ALL STORMWATER STRUCTURES INCLUDING, BUT NOT LIMITED TO, PIPES, SWALES, SUBSURFACE RETENTION BASINS, SEDIMENT TRAPS, AND RIPRAP APRONS OF SEDIMENT UPON COMPLETION OF THE PROJECT.
- PAVEMENT MAINTENANCE:**
 THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR TOWN, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.
- WASTE DISPOSAL:**
 THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTAINERS SHALL BE PROMPTLY EMPTIED WHEN FULL.

GENERAL CONDITIONS

- IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
- IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE TOWN MAY REQUIRE ADDITIONAL CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: ADDITIONAL STRAW WATTLES, HAYBALES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
- NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, OR OTHER SUCH CONTAMINATED MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER, APPROVED BY THE OWNER AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIAL IN A WATERWAY.
- ALL TEMPORARY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OF OTHER PARTICULATE MATTER FROM REENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREA EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
- DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE TOWN AND STATE AGENCIES.
- ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF WETLAND BUFFER AREAS. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE RESOURCE BUFFER AREAS.
- INSPECTIONS:** EROSION CONTROLS SHALL BE INSPECTED DAILY OR AFTER A LEGITIMATE STORM EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH THE TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OR ENGINEER.
- FILL MATERIAL TESTING:** THE TOWN MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES. THE RESULTS OF SUCH TESTING MAY BE REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY OF SAID MATERIAL TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

EROSION CONTROL BARRIERS:
 INSTALL EROSION CONTROL BARRIERS AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE EROSION CONTROL BARRIER INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE HEIGHT. REPAIR AND/OR REPLACE THE SILT FENCE/ HAYBALES IMMEDIATELY IF DAMAGED OR DETERIORATED.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:
 COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH STRAW WATTLES TO PREVENT TRANSPORTATION OF SEDIMENT. NO STOCKPILES SHALL BE KEPT WITHIN 100' WETLAND BUFFER ZONES.

DUST CONTROL:
 TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJUTING PROPERTY OWNERS. BROOM OFF PAVEMENT AREAS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE AS NEEDED AND/OR AS DIRECTED BY THE ENGINEER. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

DEWATERING:
 IF DEWATERING IS REQUIRED, WATER SHOULD BE DISCHARGED TO DEWATERING BAGS OR OTHER SEDIMENT REMOVAL DEVICES PRIOR TO DISCHARGE TO RESOURCE AREAS. WATER MAY ALSO BE USED FOR DUST CONTROL AND/OR VEGETATION WATERING.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

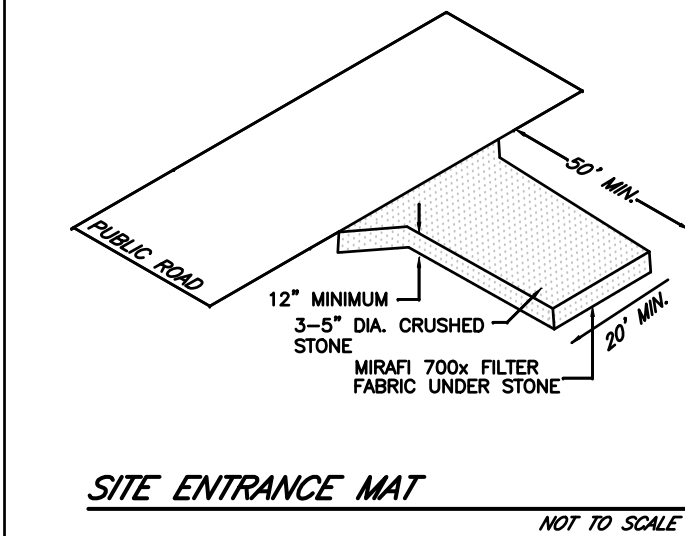
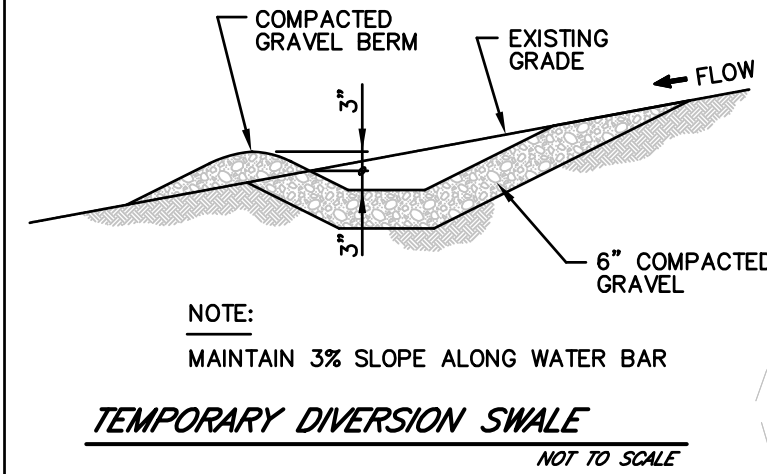
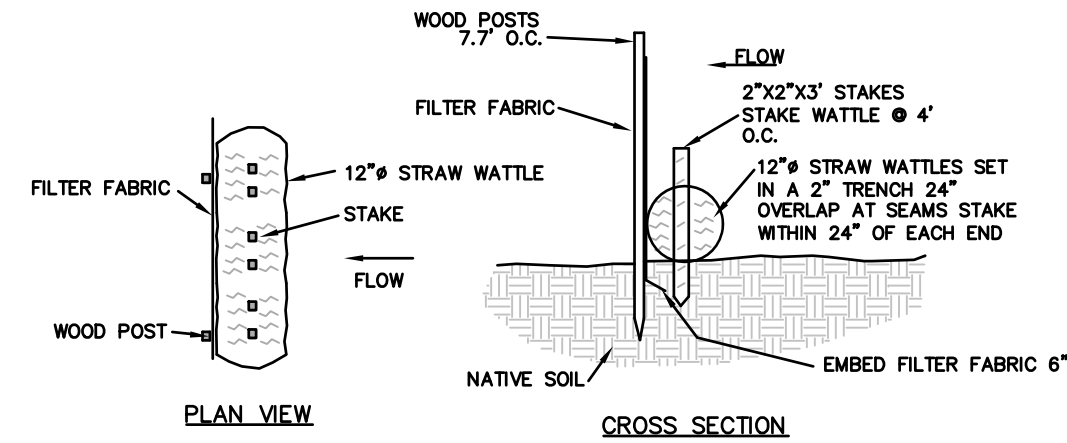
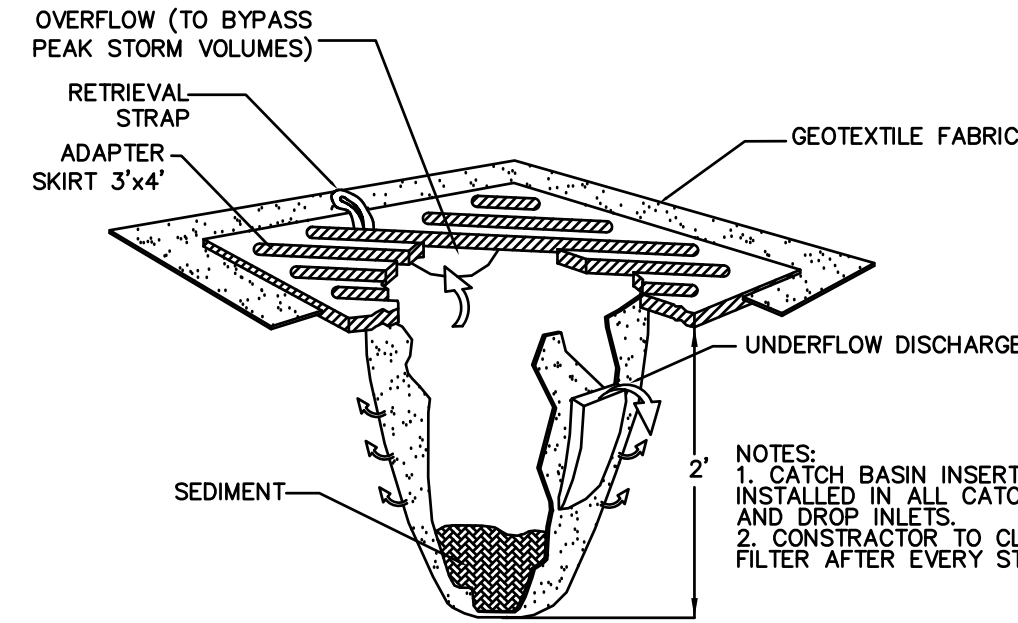
MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCES.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO A PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

NOTE: PRIOR TO ANY WORK TAKING PLACE

- A PRE-CONSTRUCTION MEETING SHOULD BE SCHEDULED BETWEEN BERTIN ENGINEERING AND CONSTRUCTION MANAGER. ALL ASPECTS OF EROSION CONTROLS AND CONSTRUCTION OF PROJECT ARE TO BE DISCUSSED.
- STRAW WATTLES AND SILTATION FENCE TO BE INSTALLED. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SITE TRACKING PAD).
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE KEPT ON FILE UNTIL COMPLETION.



STURBRIDGE PLANNING BOARD
 SITE PLAN APPROVAL

DATE:

NOTE: ALL DISTURBED AREAS SHALL BE STABILIZED WITH A MIN. 4" LOAM AND SEED.

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENTATION CONTROL CHECKLIST
42 MAIN STREET & 7 CEDAR STREET

WORK DESCRIPTION

SEQUENCE OF CONSTRUCTION

THE FOLLOWING NARRATIVE DESCRIBES THE PLANNED CONSTRUCTION SEQUENCE WITH AN EMPHASIS ON THE TIMING AND SEQUENCE OF EROSION/SEDIMENTATION CONTROL MEASURES:

THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION/SEDIMENT CONTROL MEASURES IS OPTIMIZED.

- INSTALL STABILIZED CONSTRUCTION EXIT(S), SWPPP ENTRANCE SIGN, AND DEP SIGN.
- INSTALL EROSION CONTROL BARRIERS ON THE ENTIRE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE AND HAYBALES.)
- EROSION CONTROL INSPECTION WILL BE CONDUCTED AFTER INSTALLATION OF EROSION CONTROL BARRIERS.
- PREPARE TEMPORARY PARKING AND STORAGE AREA UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: PARKING, LAY DOWN, PORTA POTTY, MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CLEAR AND GRUB AREA FOR SEDIMENT BASINS. CONSTRUCT AND STABILIZE SEDIMENT BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING THE SITE.
- INSTALL TEMPORARY DIVERSION DITCHES AND CHECK DAMS.
- BEGIN GRADING THE SITE AS NEEDED.
- START INSTALLATION OF DRAINAGE AND SITE WORK.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUEED AREAS THAT WILL BE INACTIVE FOR 15 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE COMPLETED.

FINAL PHASE

- PERMANENTLY STABILIZE ANY REMAINING EXPOSED AREAS.
- TEMPORARY DRAINAGE DITCHES TO BE REMOVED AND STABILIZED.
- SEDIMENT FROM BASINS TO BE REMOVED AND SEDIMENT DISPOSED OF OFFSITE. BASINS ARE TO BE CONVERTED TO FINAL STORMWATER BASINS AS SHOWN ON GRADING PLAN.
- ONCE ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION FROM SITE MONITOR.

NOTES:

- ONCE CONSTRUCTION IS COMPLETED, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE KEPT ON RECORD AND PROVIDED TO THE TOWN AND ENGINEER AT THEIR REQUEST.
- EXTRA EROSION CONTROL MATERIALS (HAYBALES, SILT FENCE) EQUAL TO 100 LF SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS. THESE MATERIALS SHALL BE KEPT COVERED.

NOTE: APPLICANT AND/OR LANDOWNER SHALL NOTIFY THE TOWN OF STURBRIDGE IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK.

HOR. SCALE IN FEET: 1"=20'

REV	DATE	DESCRIPTION	MADE (APVD)
1	2.12.21	PER REVIEW COMMENTS	AB PE

PETER C. ENGLE P.E.
 PROFESSIONAL ENGINEER
 MA LIC. NO. 53736

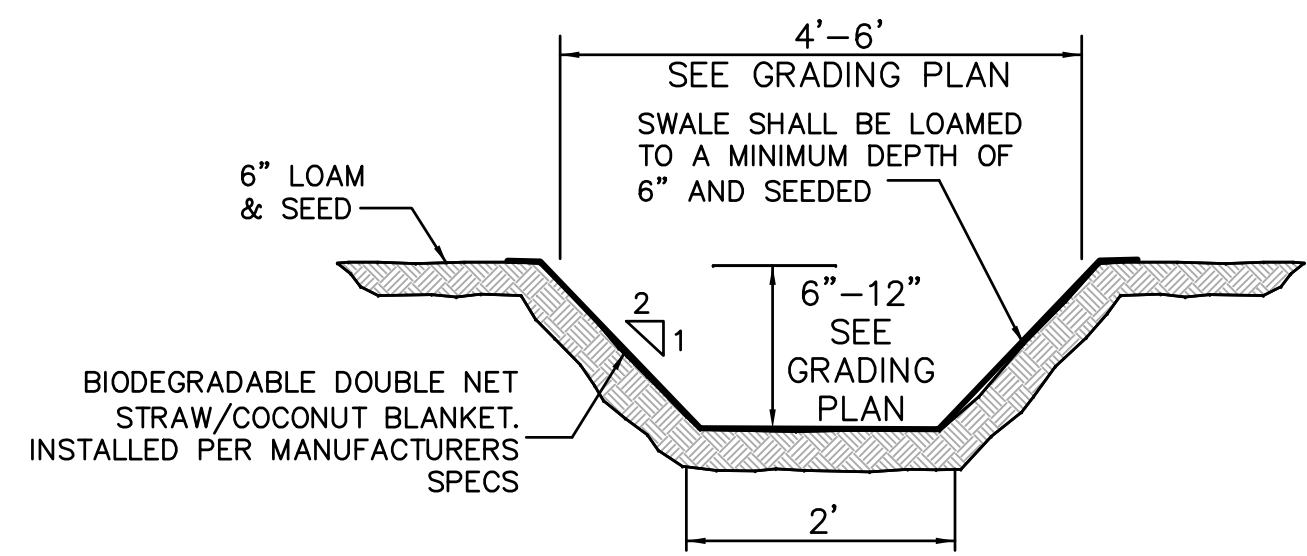


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SITE PLAN
 420 MAIN STREET & 7 CEDAR STREET
 STURBRIDGE, MA 01566
 PREPARED FOR:
 PORCHLIGHT INVESTMENTS III, L.L.C.
 C/O STRETLIGHT CONCEPTS
 1601 STRAPELO ROAD, SUITE 282
 WALTHAM, MA 02451

DRAWN BY: WCN
 DATE: 1/5/2020
 CHK BY: PE
 SCALE: 1" = 20'
 PROJ. NO. 287-2131-L

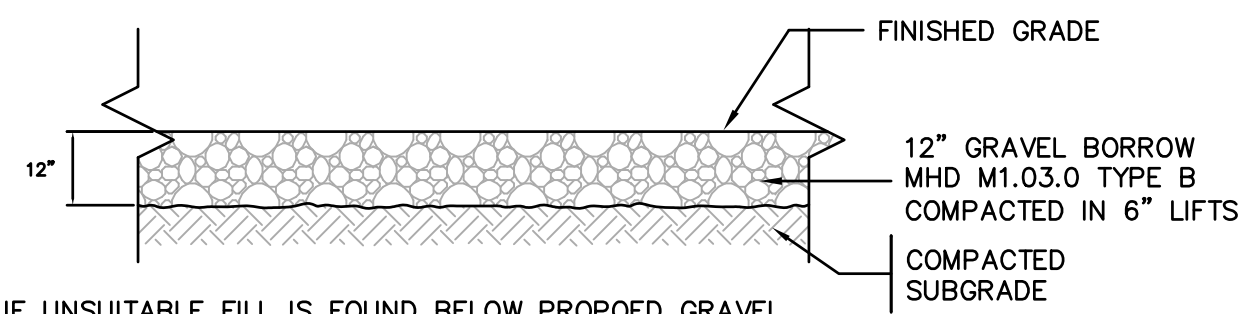
EROSION AND SEDIMENTATION CONTROL PLAN
C-6



NOTES
 1. SEE GRADING PLAN FOR LOCATIONS.
 2. INSTALL CHECK DAMS AS SPECIFIED ON GRADING PLANS.

GRASS LINED SWALE DETAIL

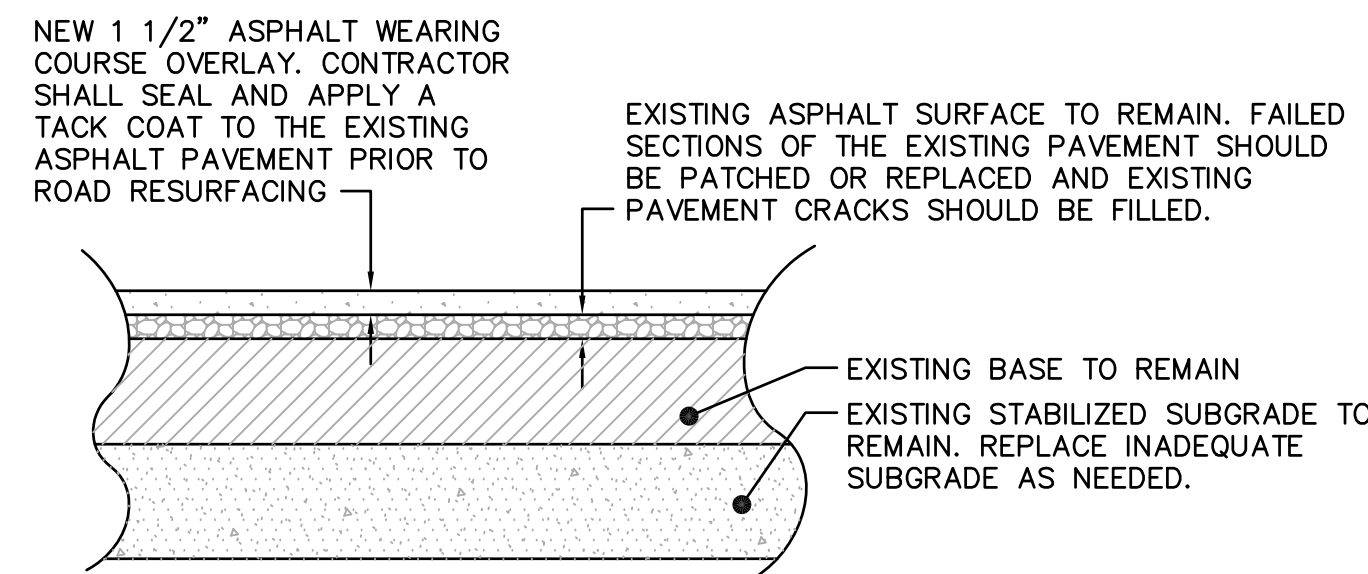
NOT TO SCALE



IF UNSUITABLE FILL IS FOUND BELOW PROPOSED GRAVEL PARKING AREA, FILL IS TO BE REMOVED TO AT LEAST 36" BELOW FINISHED GRADE, GEOTEXTILE REINFORCEMENT IS TO BE INSTALLED BEYOND LIMITS OF FILL, AND BACKFILLED WITH CLEAN COMPACTED FILL IN 6" LIFTS

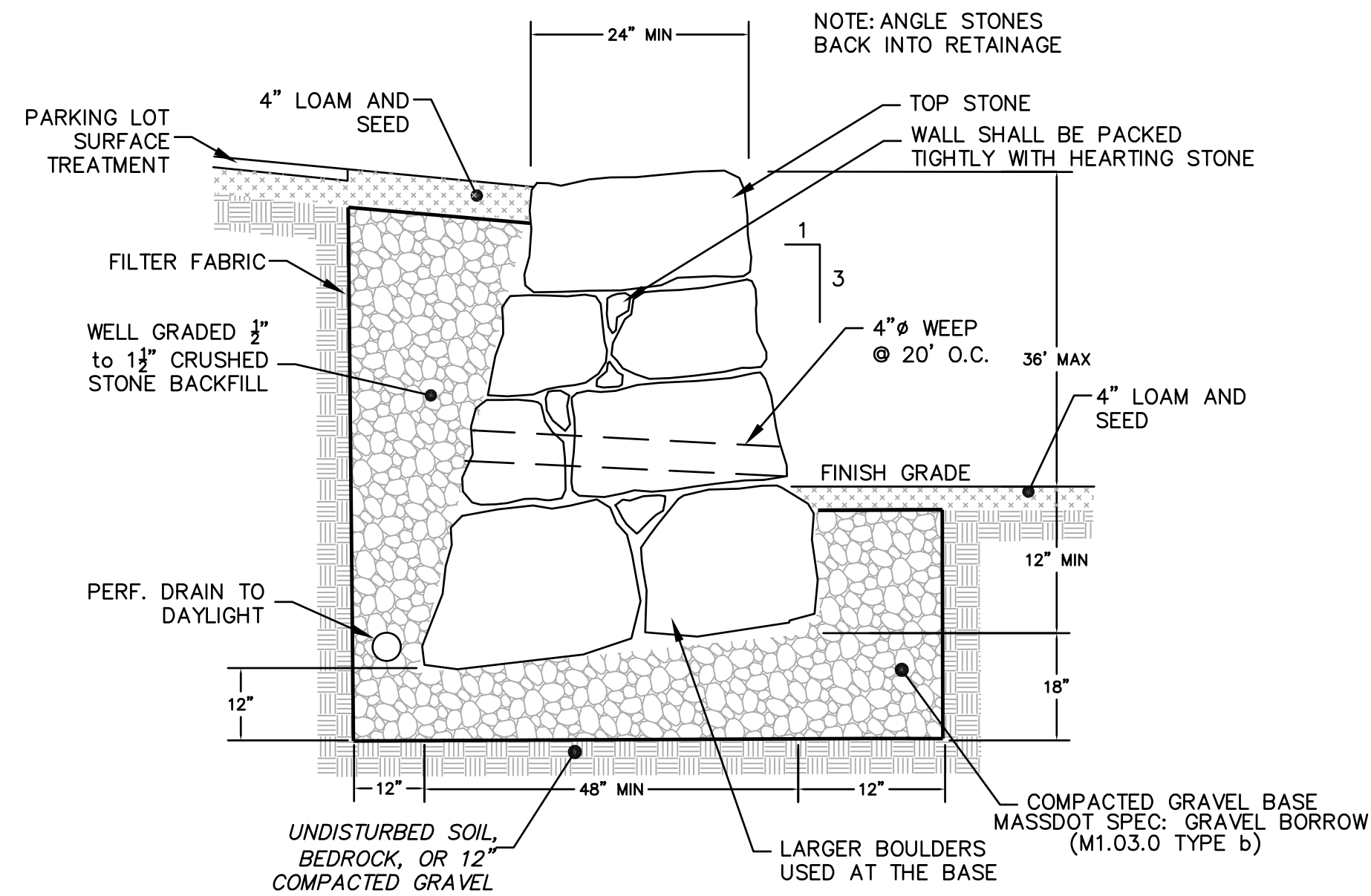
GRAVEL PARKING LOT DETAIL

NOT TO SCALE



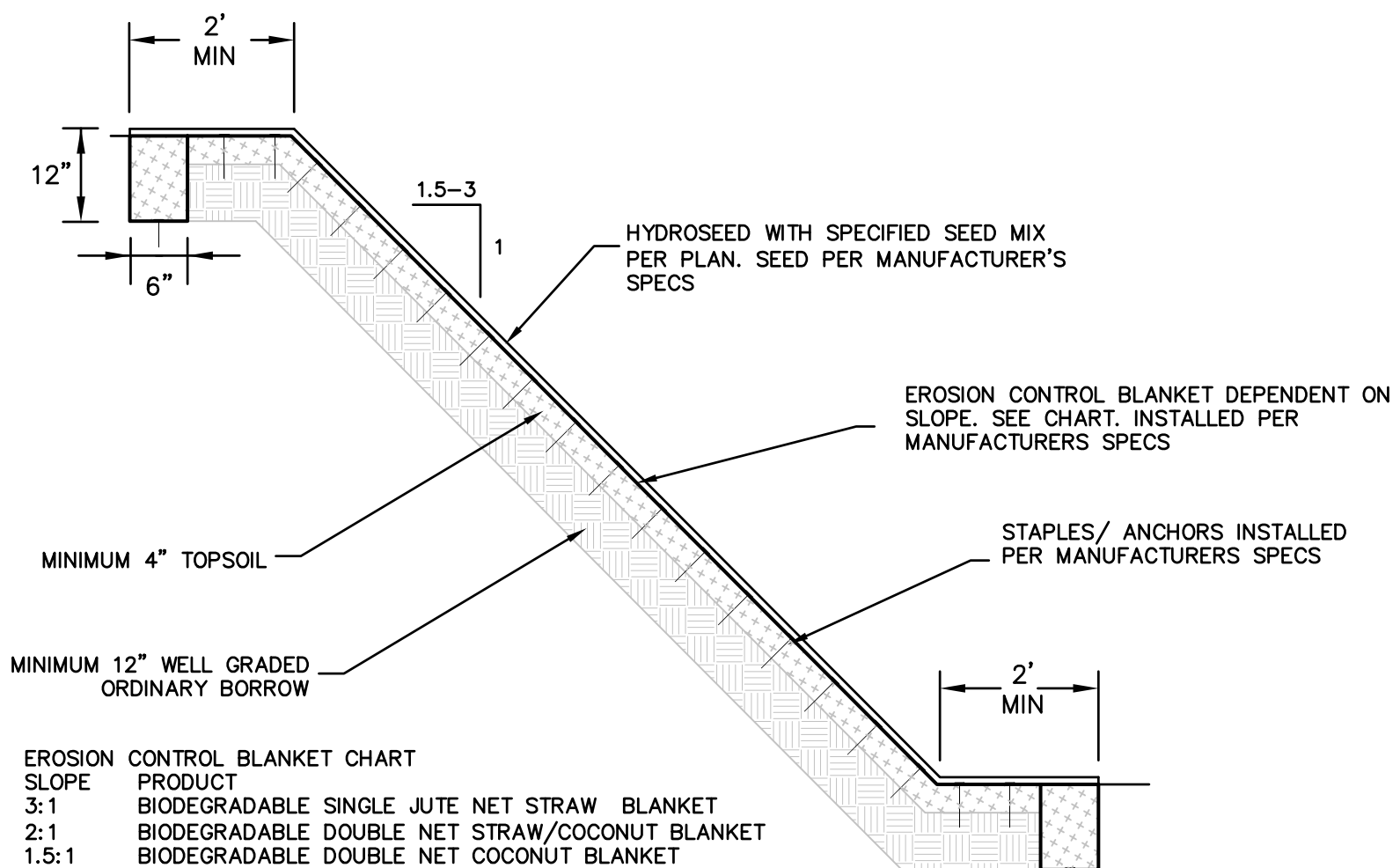
ASPHALT RESURFACING DETAIL

NOT TO SCALE



BOULDER RETAINING WALL DETAIL

NOT TO SCALE

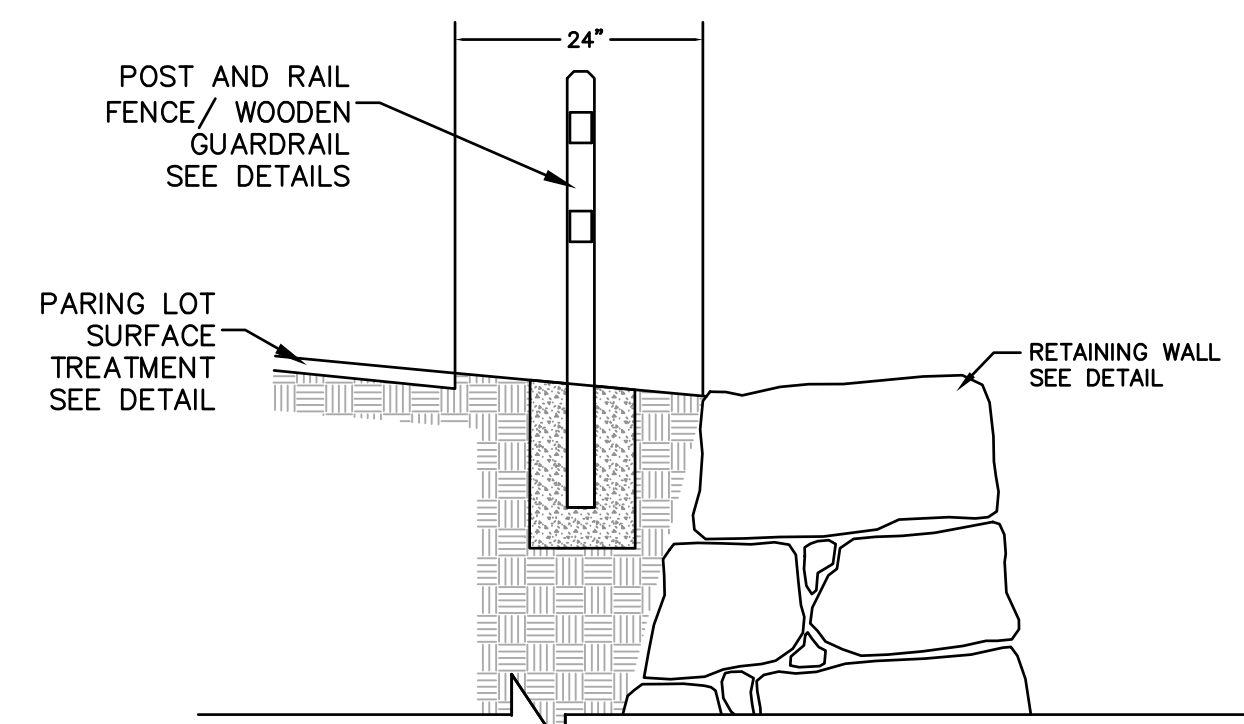


SLOPE STABILIZATION TREATMENT

NOT TO SCALE

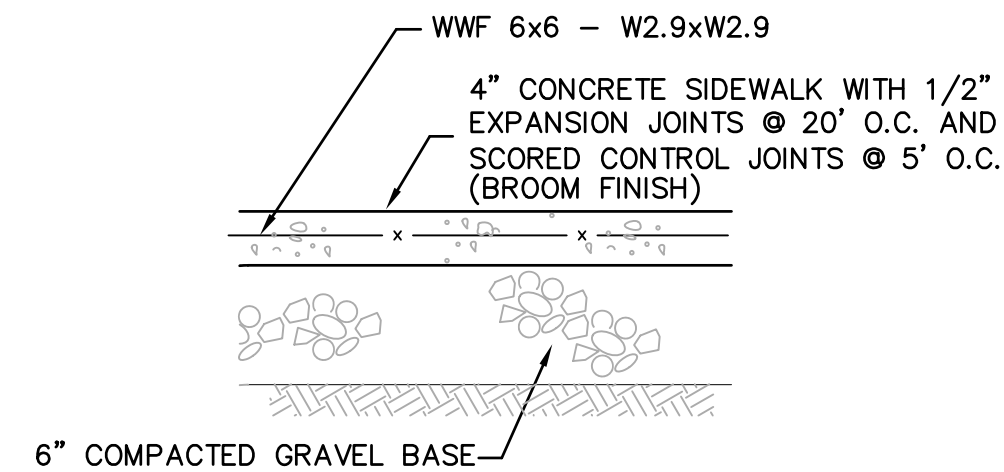
EROSION CONTROL BLANKET CHART

SLOPE	PRODUCT
3:1	BIODEGRADABLE SINGLE JUTE NET STRAW BLANKET
2:1	BIODEGRADABLE DOUBLE NET STRAW/COCONUT BLANKET
1.5:1	BIODEGRADABLE DOUBLE NET COCONUT BLANKET



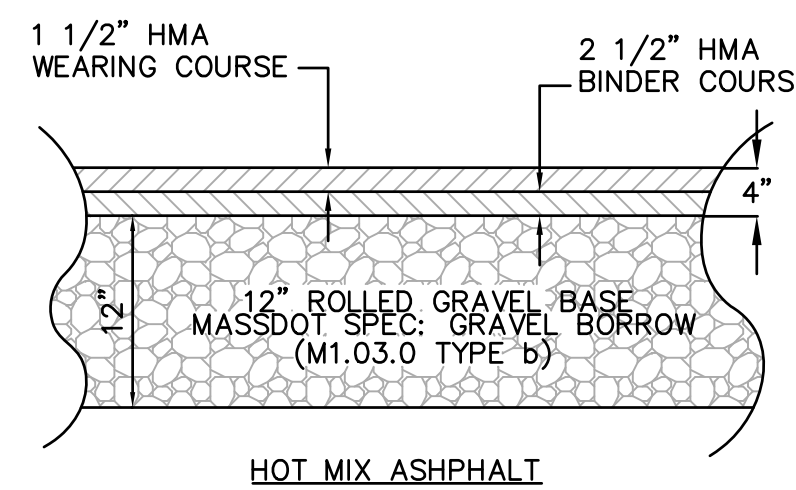
GUARDRAIL/FENCE AND BOULDER WALL DETAIL

NOT TO SCALE



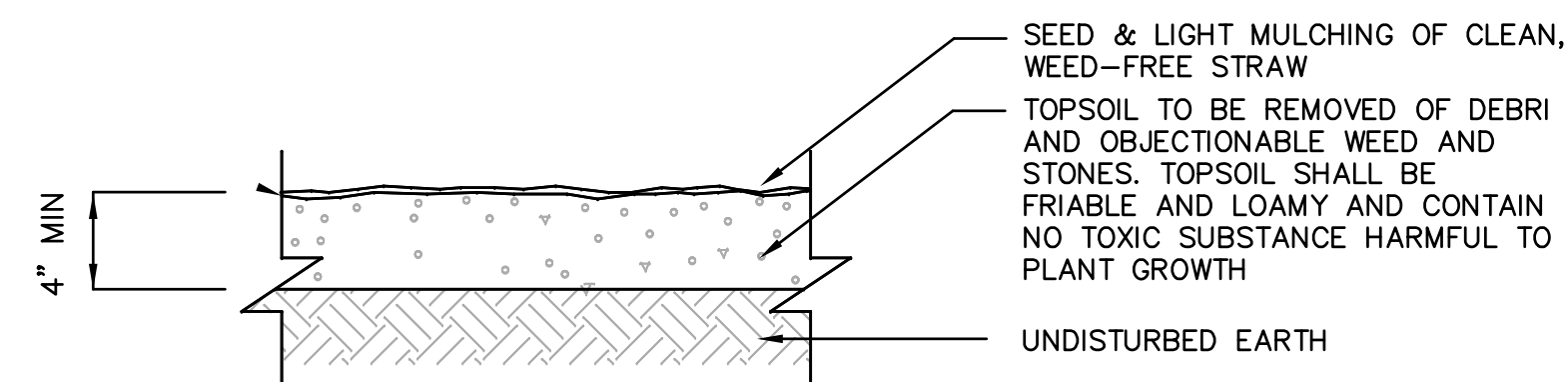
TYPICAL SIDEWALK SECTION

NOT TO SCALE



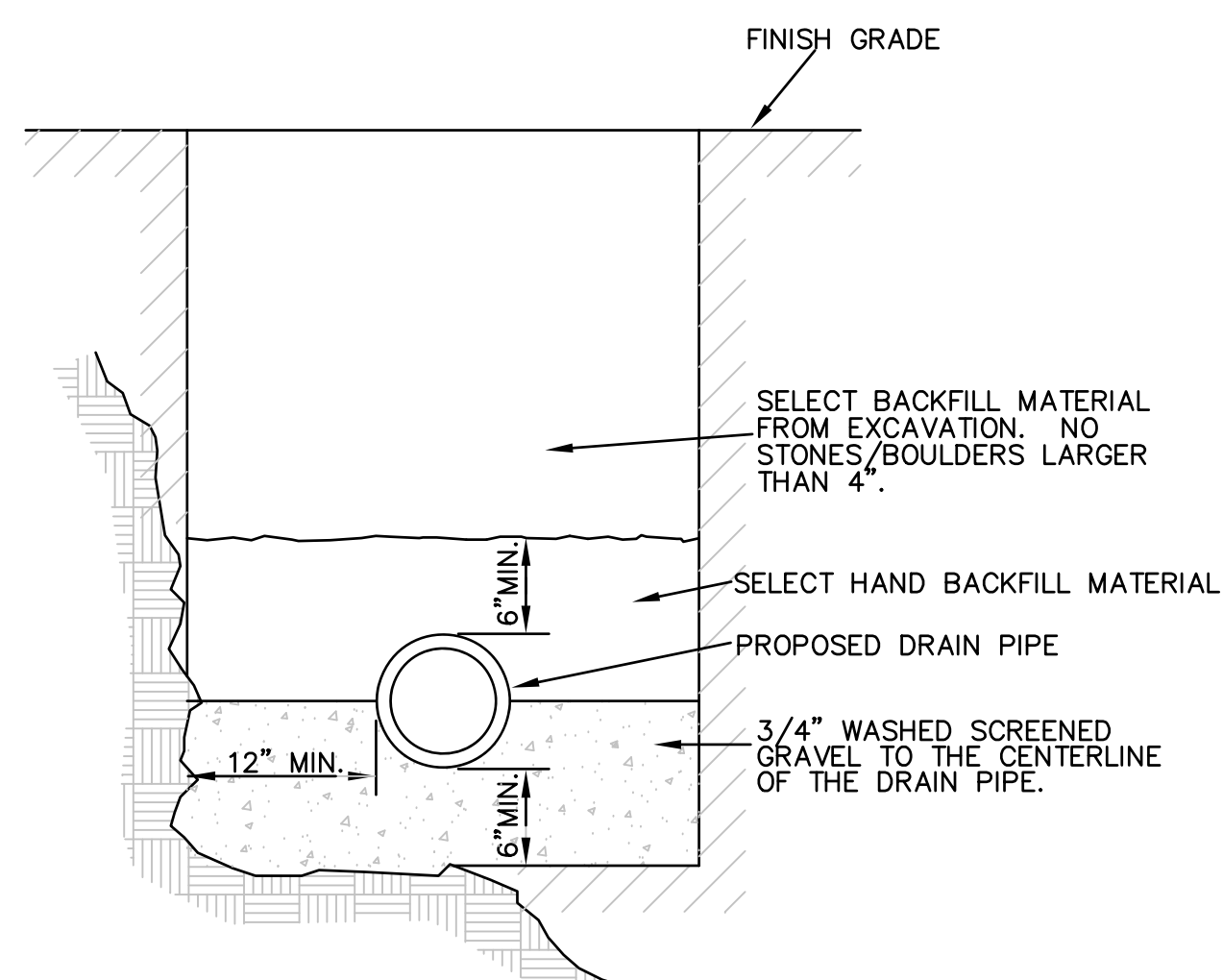
ON-SITE PAVEMENT SECTION

NOT TO SCALE



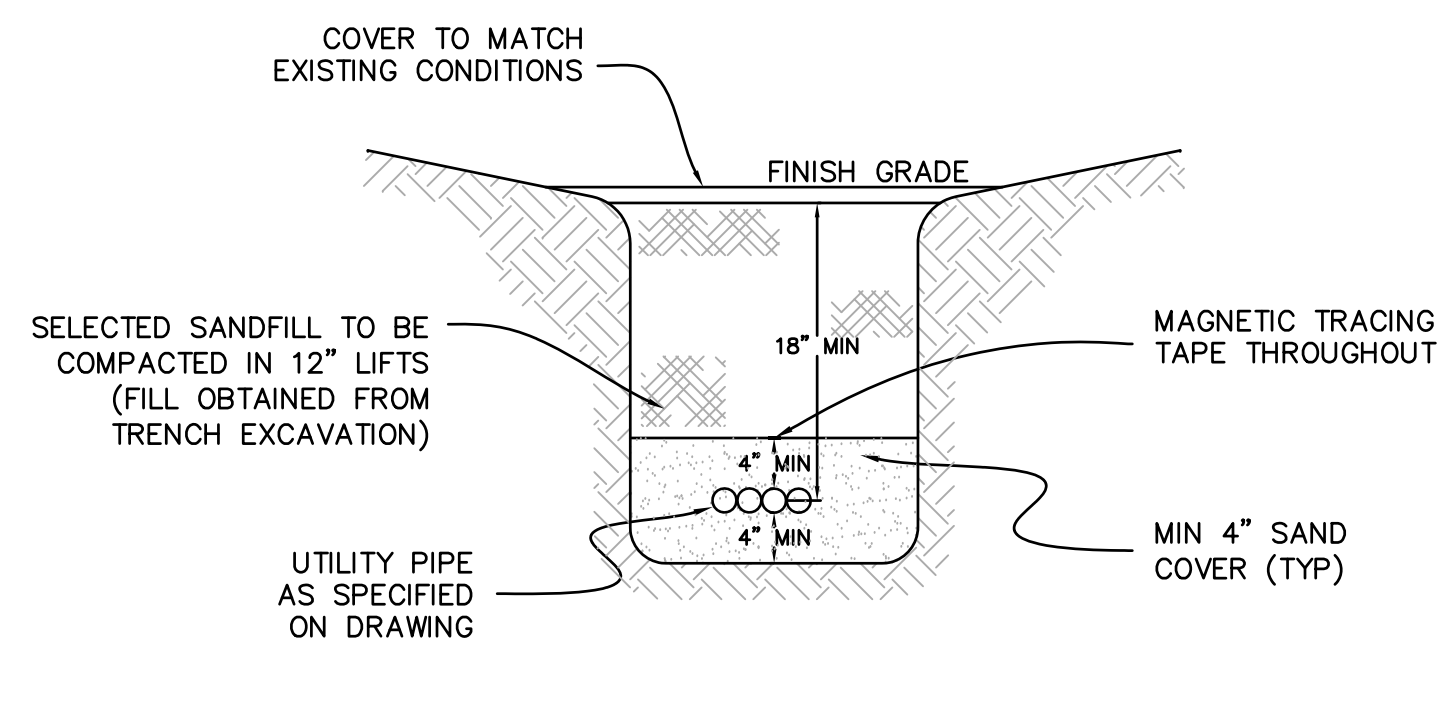
TOP SOIL & SEEDING DETAIL

NOT TO SCALE



TYP. STORM DRAIN TRENCH SECTION

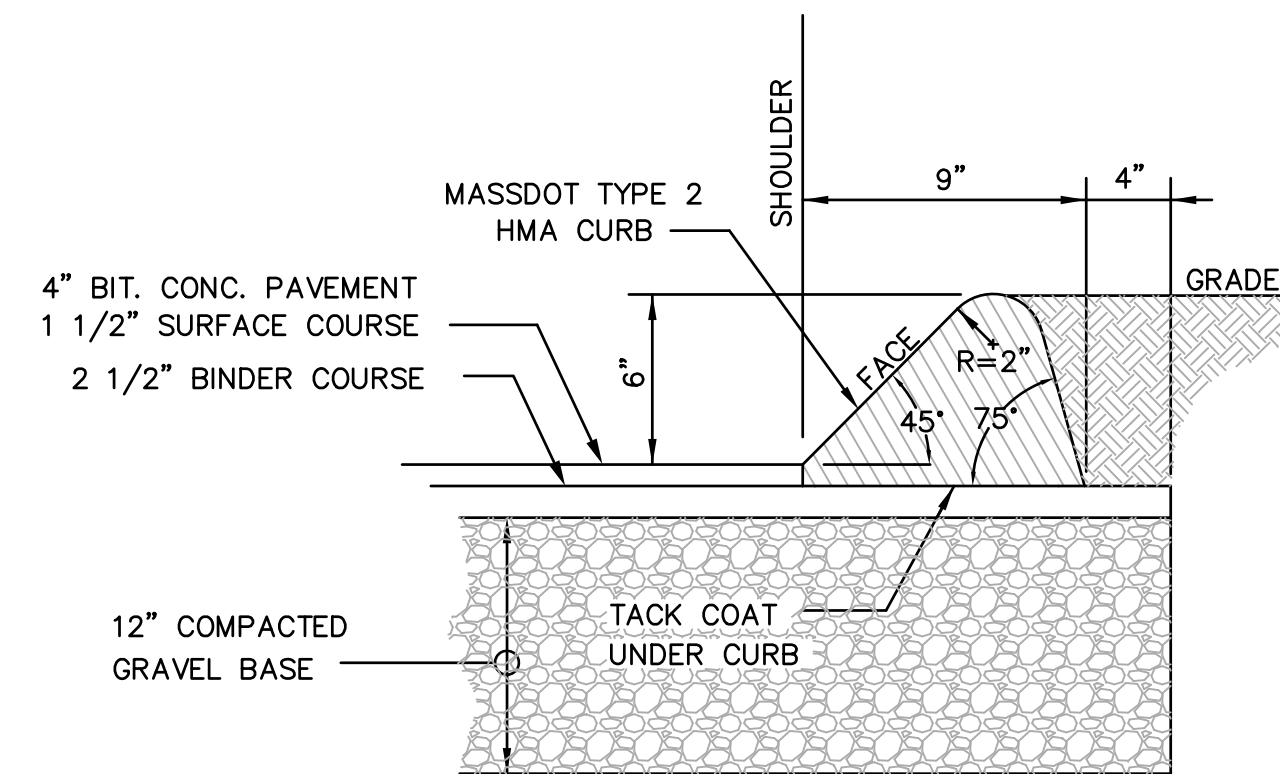
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NOTES: 1) TRENCH DEWATERING SHALL NOT BE DISCHARGED INTO RESOURCE AREAS. ALL DEWATERING DISCHARGE SHALL BE TO TEMPORARY SEDIMENTATION BASINS. (20'x20'x1' DEEP MINIMUM)

COMMUNICATIONS/ELEC TRENCH DETAIL

NOT TO SCALE



HOT MIX ASPHALT PAVEMENT & CURB DETAIL

NOT TO SCALE

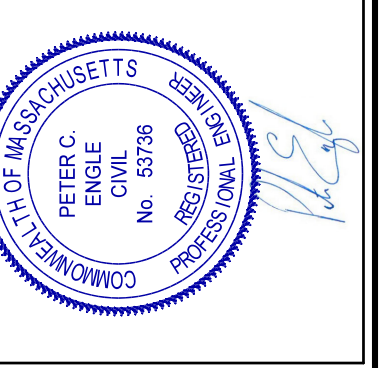
NOTE: CURB TYPE TO MATCH EXISTING TYPE OF CURB

STURBRIDGE PLANNING BOARD
 SITE PLAN APPROVAL

DATE:

REV	DATE	DESCRIPTION	PER REVIEW COMMENTS	MADE (APVD)
1	2.12.21			AB
				PE

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SITE PLAN
 420 MAIN STREET & 7 CEDAR STREET
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 PREPARED FOR
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 C/O STREETLIGHT CONCEPTS
 1601 TRAPELO ROAD, SUITE 282
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DRAWN BY:	WCN
DATE:	1/5/2021
CHK BY:	PE
SCALE:	AS NOTED
PROJ. NO.	287-2131-L

DETAIL SHEET

C-7

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

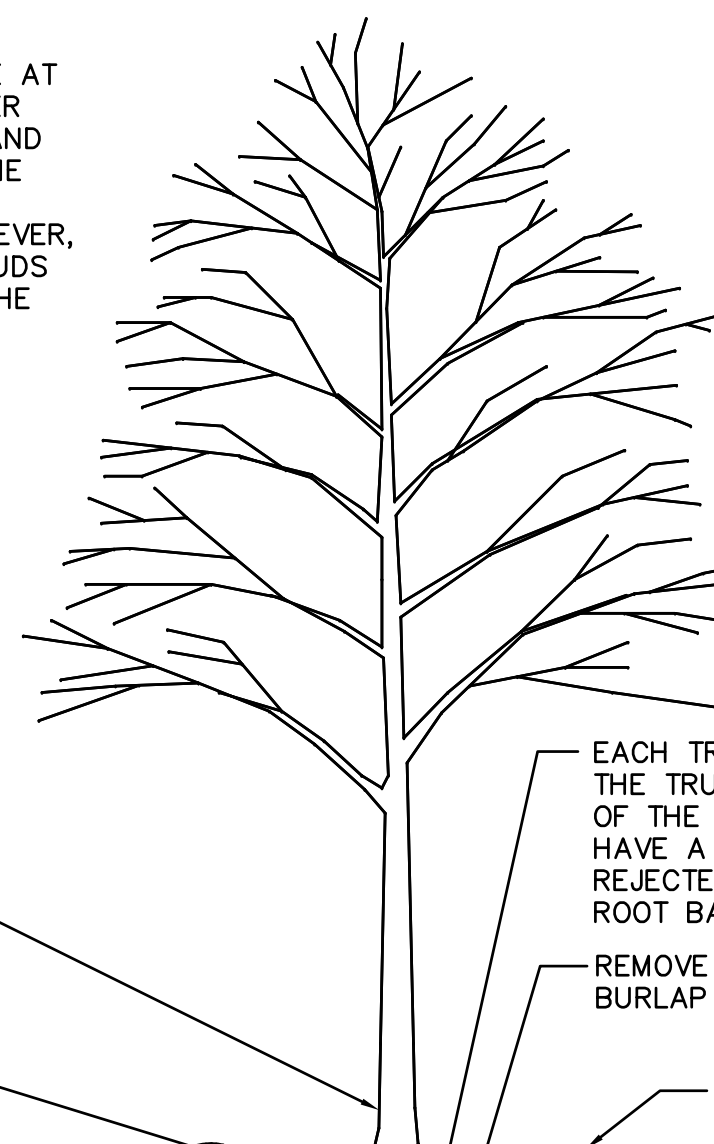
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE, WHEREVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IS SLOWLY DRAINING SOILS.

2" MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED FREE FOR A MINIMUM OF 3 YEARS AFTER PLANTING.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.



EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES THAT DO NOT HAVE A VISIBLE TRUNK FLARE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.

4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

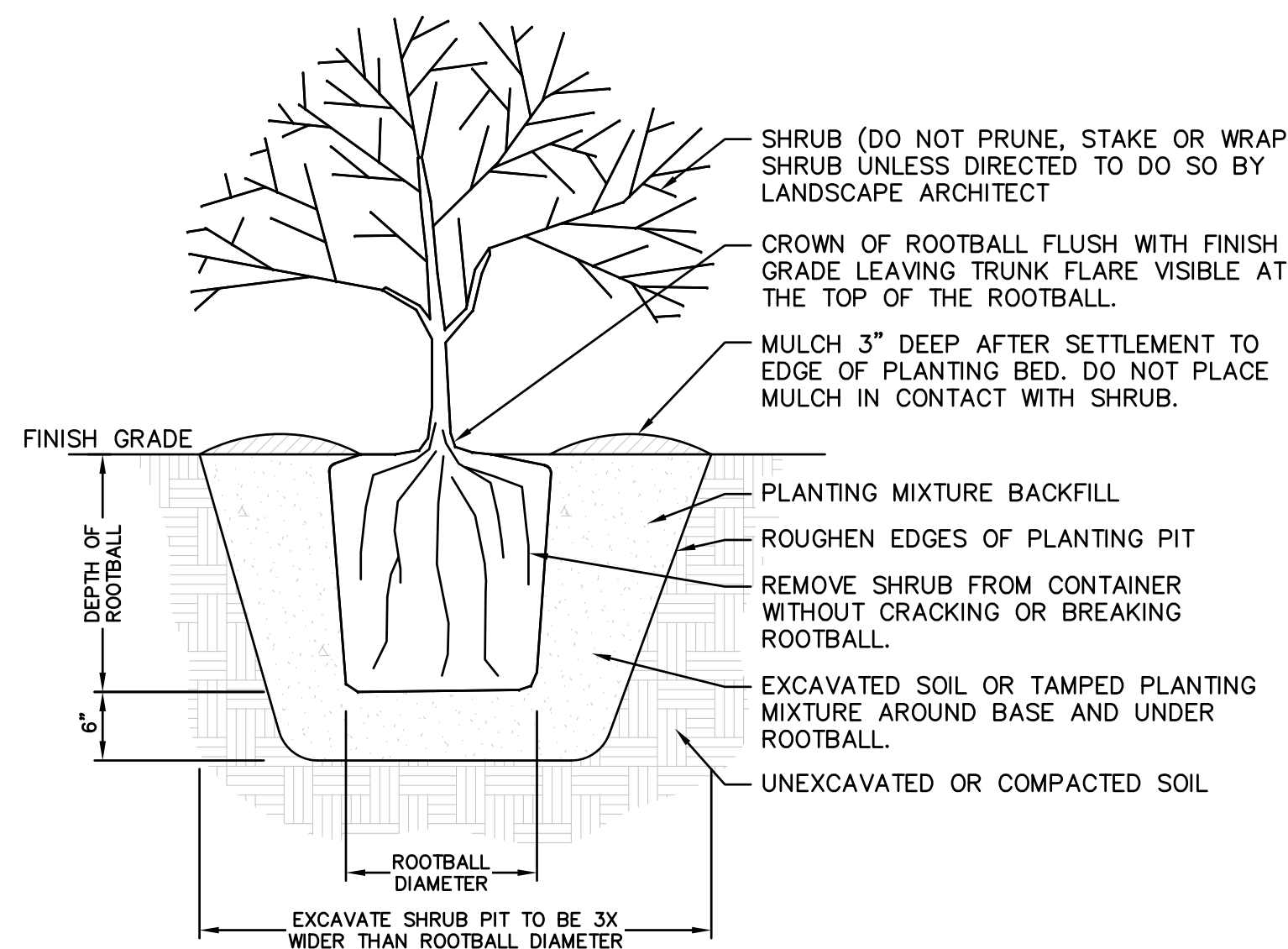
6' MIN. DIA. MULCH RING 8' DIA. PREFERRED

NOTES

- PLEASE REFER TO INTRODUCTION AND USE CRITERIA PRIOR TO USING THIS DETAIL.
- THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 16 SQ. FT., OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES

NOT TO SCALE



SHRUB (DO NOT PRUNE, STAKE OR WRAP SHRUB UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT)

CROWN OF ROOTBALL FLUSH WITH FINISH GRADE LEAVING TRUNK FLARE VISIBLE AT THE TOP OF THE ROOTBALL.

MULCH 3" DEEP AFTER SETTLEMENT TO EDGE OF PLANTING BED. DO NOT PLACE MULCH IN CONTACT WITH SHRUB.

PLANTING MIXTURE BACKFILL

ROUGHEN EDGES OF PLANTING PIT

REMOVE SHRUB FROM CONTAINER WITHOUT CRACKING OR BREAKING ROOTBALL.

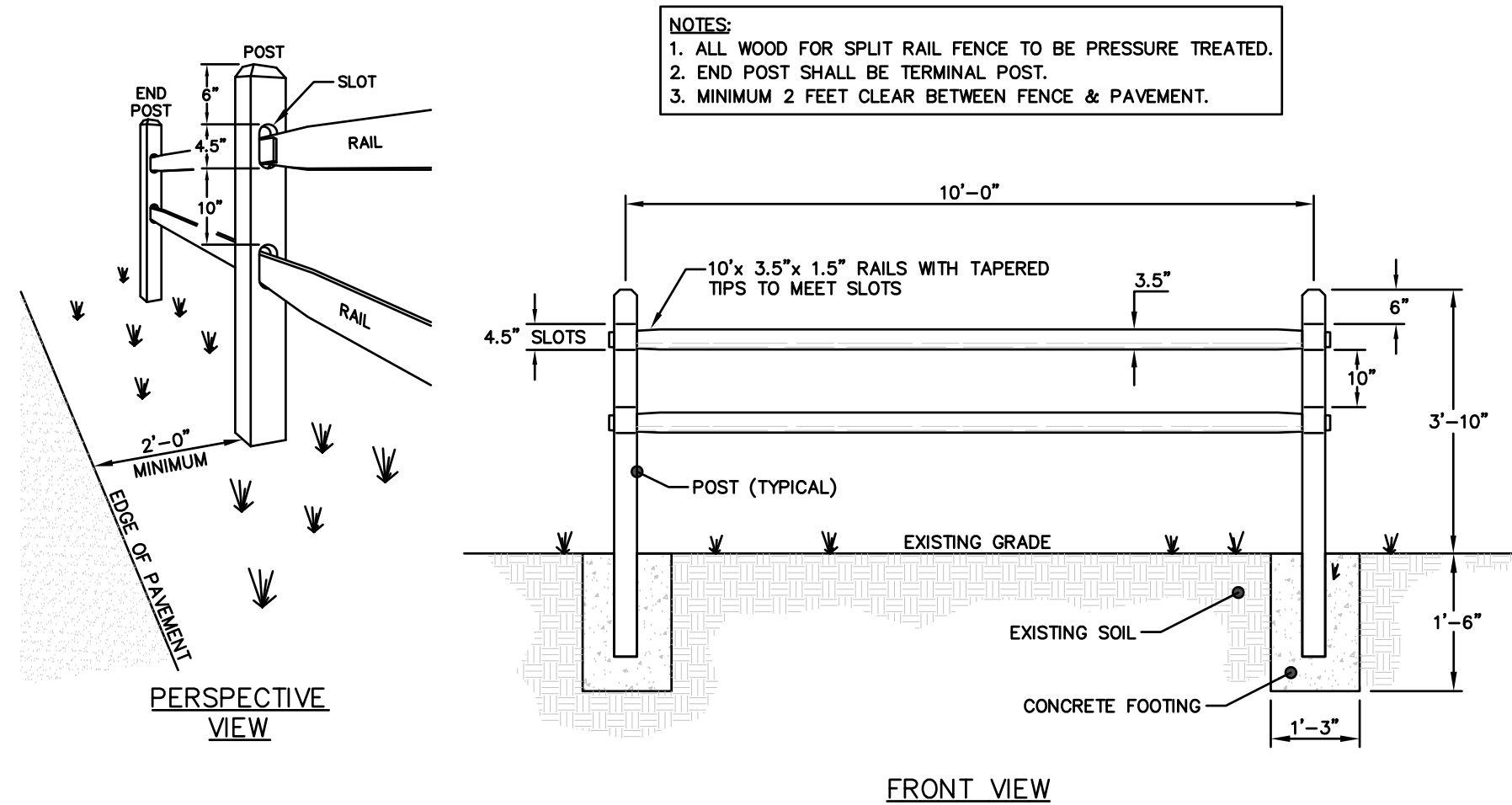
EXCAVATED SOIL OR TAMPED PLANTING MIXTURE AROUND BASE AND UNDER ROOTBALL.

UNEXCAVATED OR COMPACTED SOIL

EXCAVATE SHRUB PIT TO BE 3X WIDER THAN ROOTBALL DIAMETER

SHRUB PLANTING DETAIL

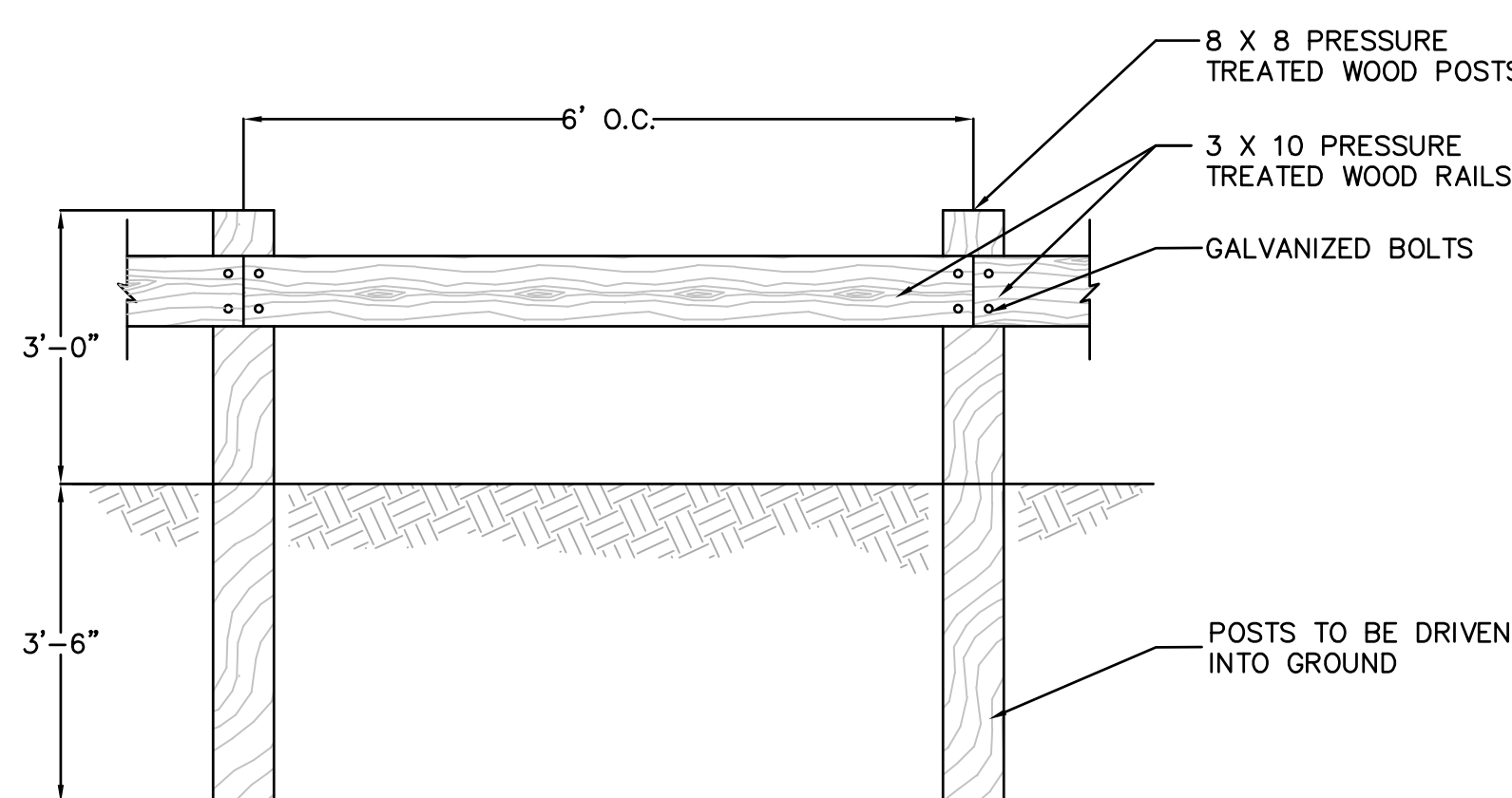
NOT TO SCALE



- NOTES:
- ALL WOOD FOR SPLIT RAIL FENCE TO BE PRESSURE TREATED.
 - END POST SHALL BE TERMINAL POST.
 - MINIMUM 2 FEET CLEAR BETWEEN FENCE & PAVEMENT.

SPLIT RAIL FENCE DETAIL

NOT TO SCALE



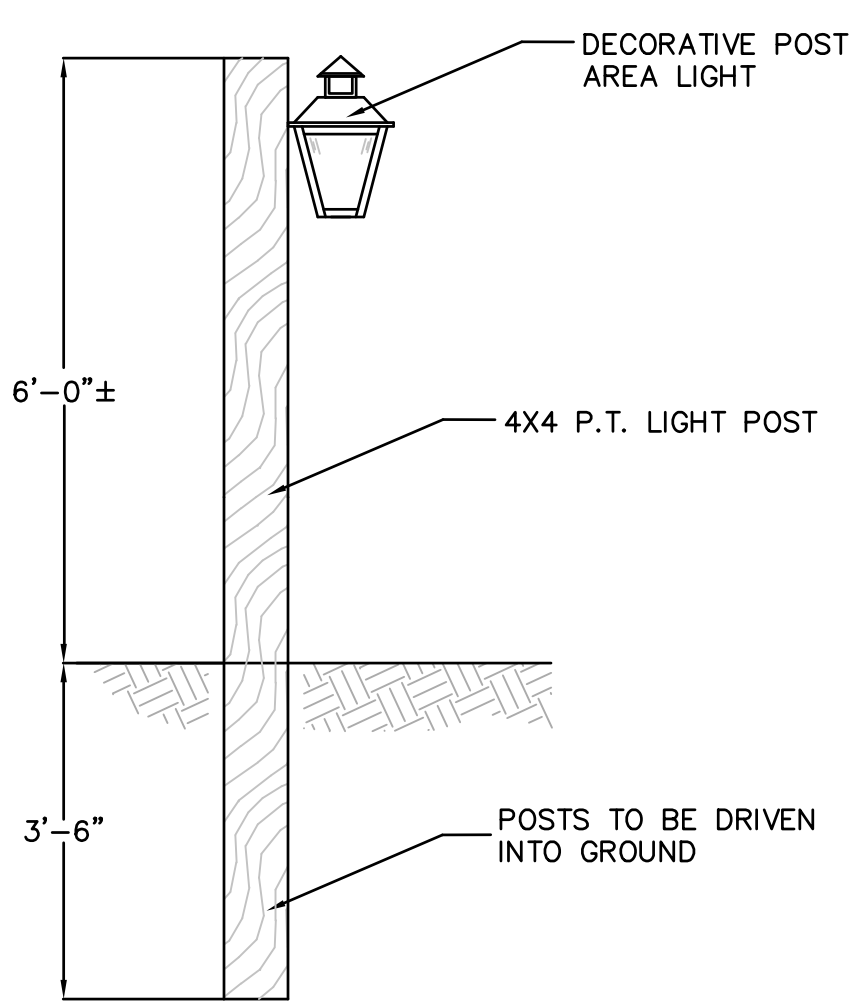
WOODEN GUARD RAIL DETAIL

NOT TO SCALE

LIGHTING REQUIREMENTS STURBRIDGE ZONING BYLAW SECTION 21.06 LIGHTING

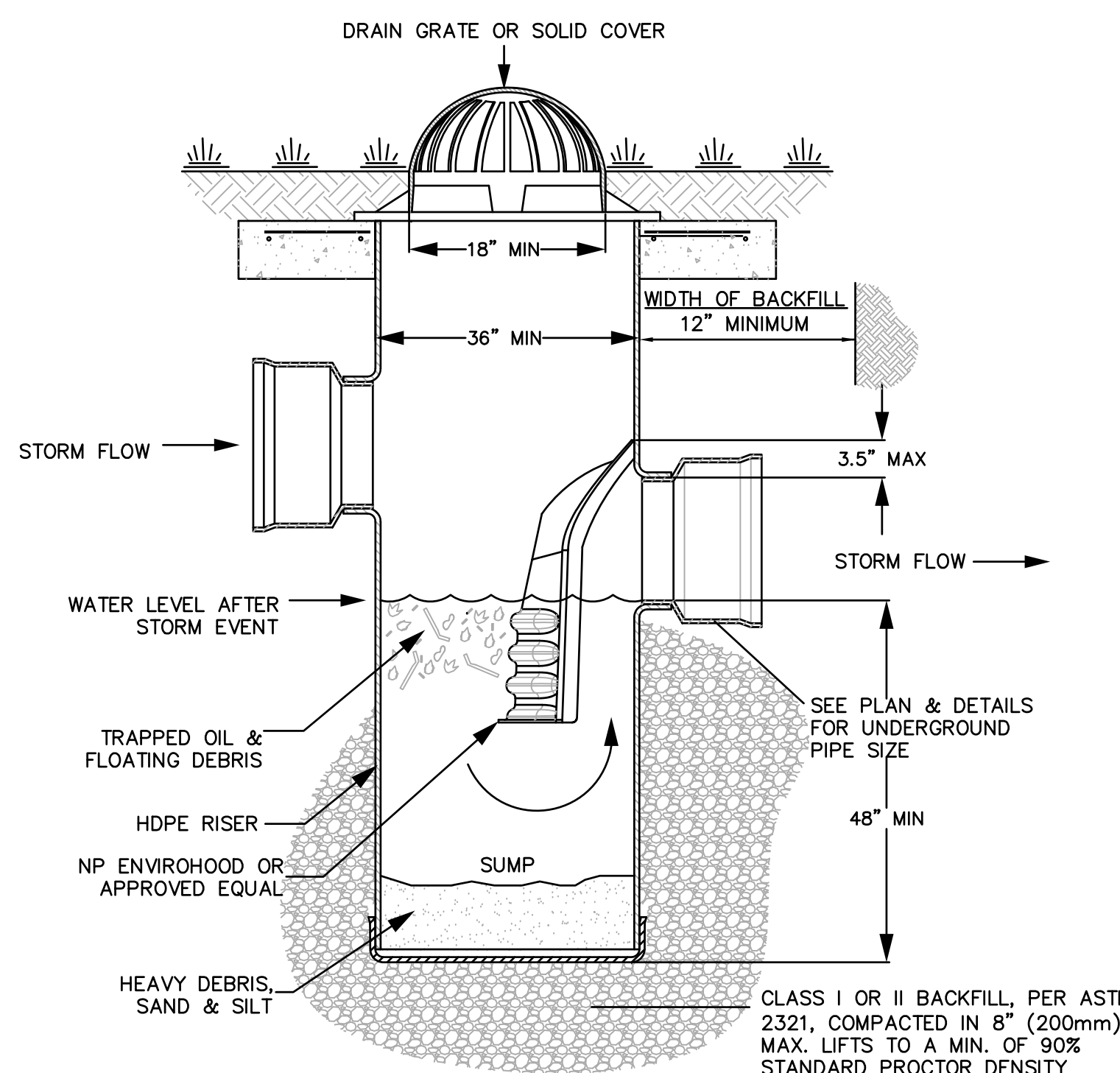
LIGHTS SHALL BE PARTIAL OR FULL CUT-OFFS AND SHALL BE ENERGY EFFICIENT. LIGHTS SHALL CONFORM WITH ILLUMINATION ENGINEERING SOCIETY (IES) STANDARDS.

EXTERIOR LIGHTING INSTALLATIONS SHALL INCLUDE TIMERS, DIMMERS, SENSORS, OR PHOTOCCELL CONTROLLERS THAT TURN LIGHTS OFF DURING DAYLIGHT HOURS OR DURING HOURS WHEN LIGHTING IS NOT NEEDED, TO REDUCE OVERALL ENERGY CONSUMPTION AND ELIMINATE UNNEEDED LIGHTING. FOR TYPICAL BUSINESS PARKING LOTS, AFTER ACTIVE HOURS, ILLUMINANCE SHOULD BE NO GREATER THAN REQUIRED FOR SECURITY PURPOSES. IN THE CASE OF ONE (OR MORE) TENANTS STAYING OPEN BEYOND THE HOURS OF THE MAJORITY OF THE PROPERTY, APPROPRIATE LEVELS OF LIGHTING SHALL BE MAINTAINED FOR SECURITY AND SAFETY OF THOSE WORKING AT AND VISITING THE ESTABLISHMENT.



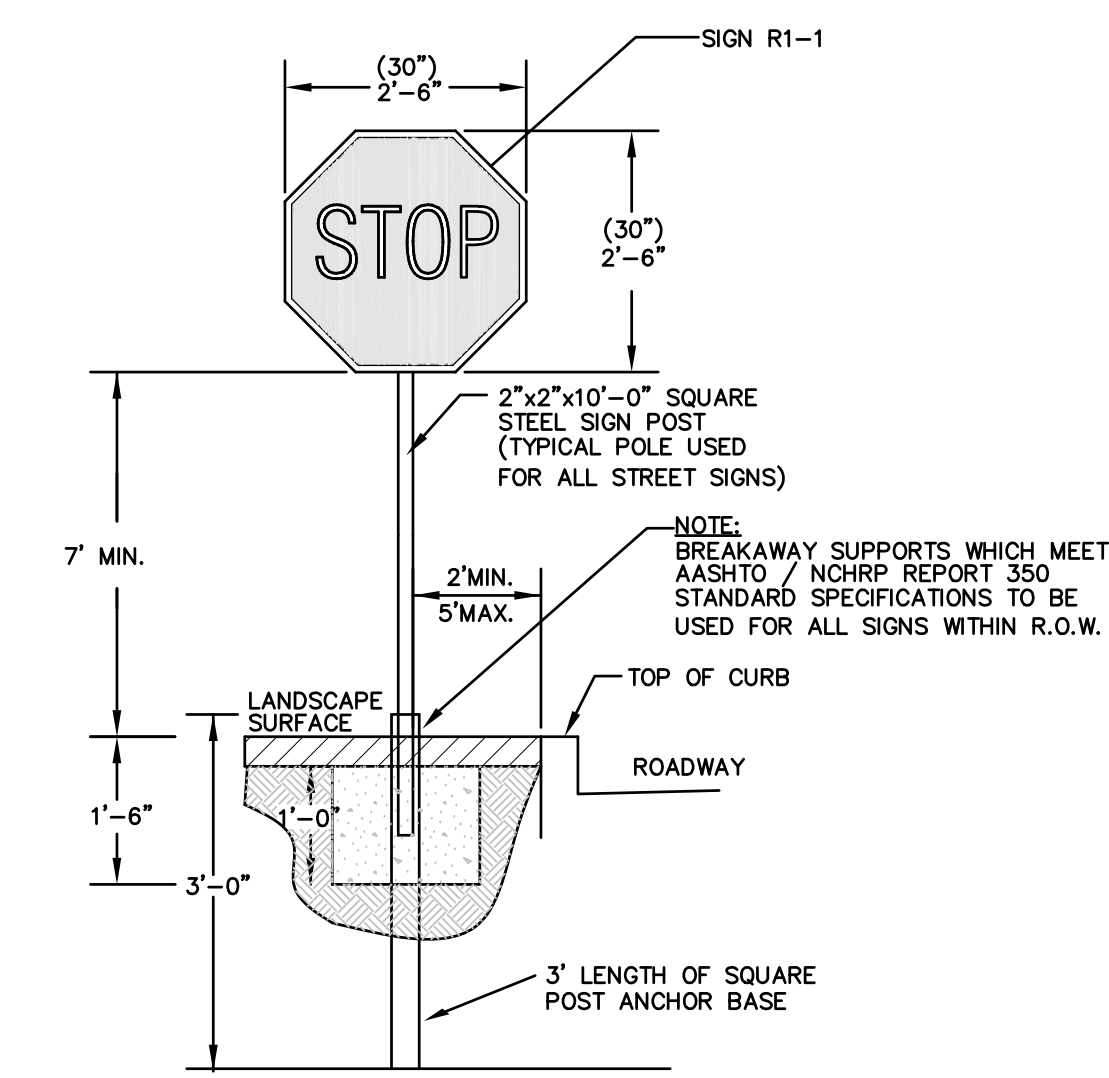
WOODEN LIGHT POST DETAIL

NOT TO SCALE



STANDARD DEEP SUMP CATCH BASIN DETAIL

NOT TO SCALE



STOP SIGN DETAIL

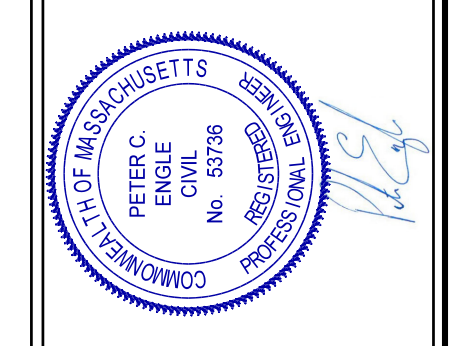
NOT TO SCALE

STURBRIDGE PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

REV	DATE	DESCRIPTION	PER REVIEW COMMENTS	MADE APVD
1	2.12.21			AB PE

PETER C. ENGLE P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



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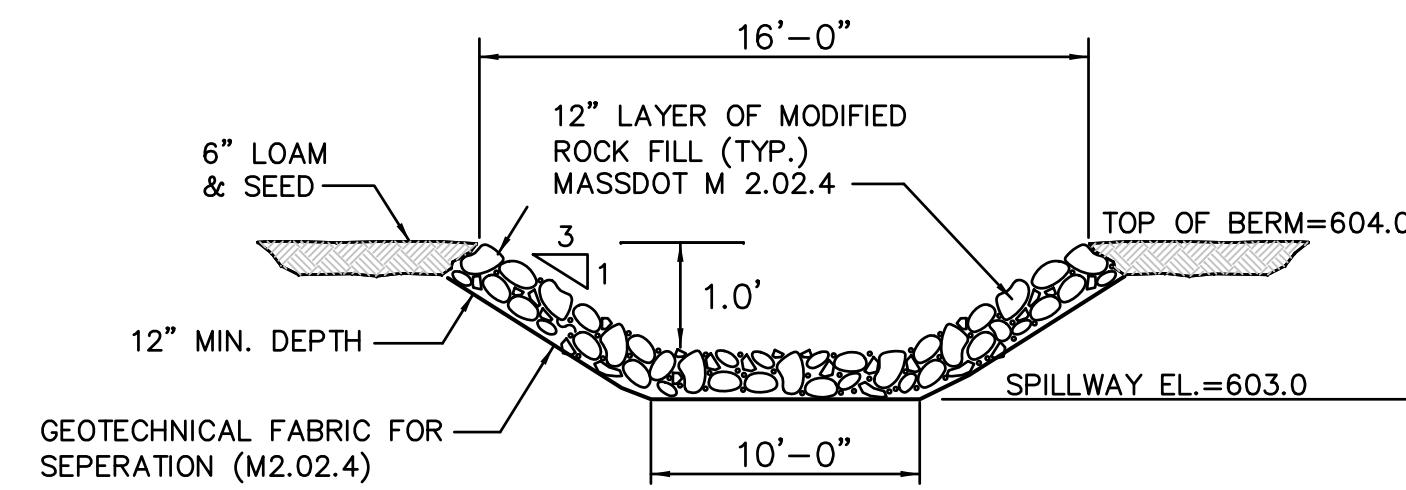
SITE PLAN
420 MAIN STREET & 7 CEDAR STREET
STURBRIDGE, MA 01566
PREPARED FOR
PORCHLIGHT INVESTMENTS III, L.L.C.
C/O STREETLIGHT CONCEPTS
1601 TRAPELO ROAD, SUITE 282
WALTHAM, MA 02451

DRAWN BY: WCN
DATE: 1/5/2021
CHK BY: PE
SCALE: AS NOTED
PROJ. NO. 287-2131-L

DETAIL SHEET
C-8

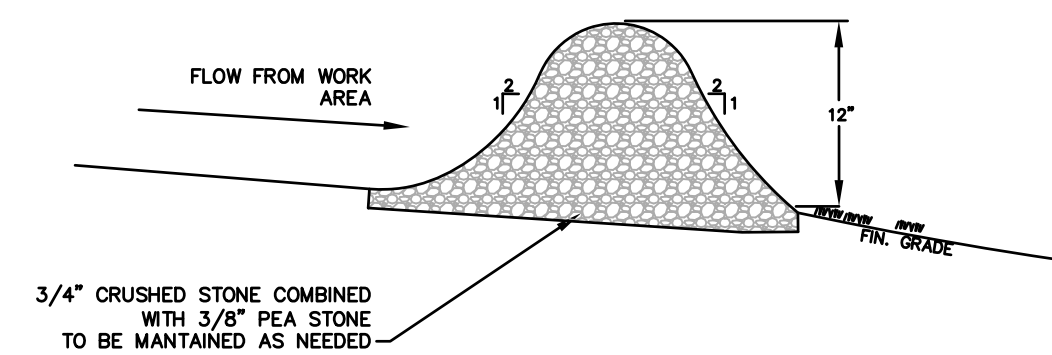
REVISIONS	DESCRIPTION	MADE (APVD)
1	2.12.21 PER REVIEW COMMENTS	AB PE

DATE: _____



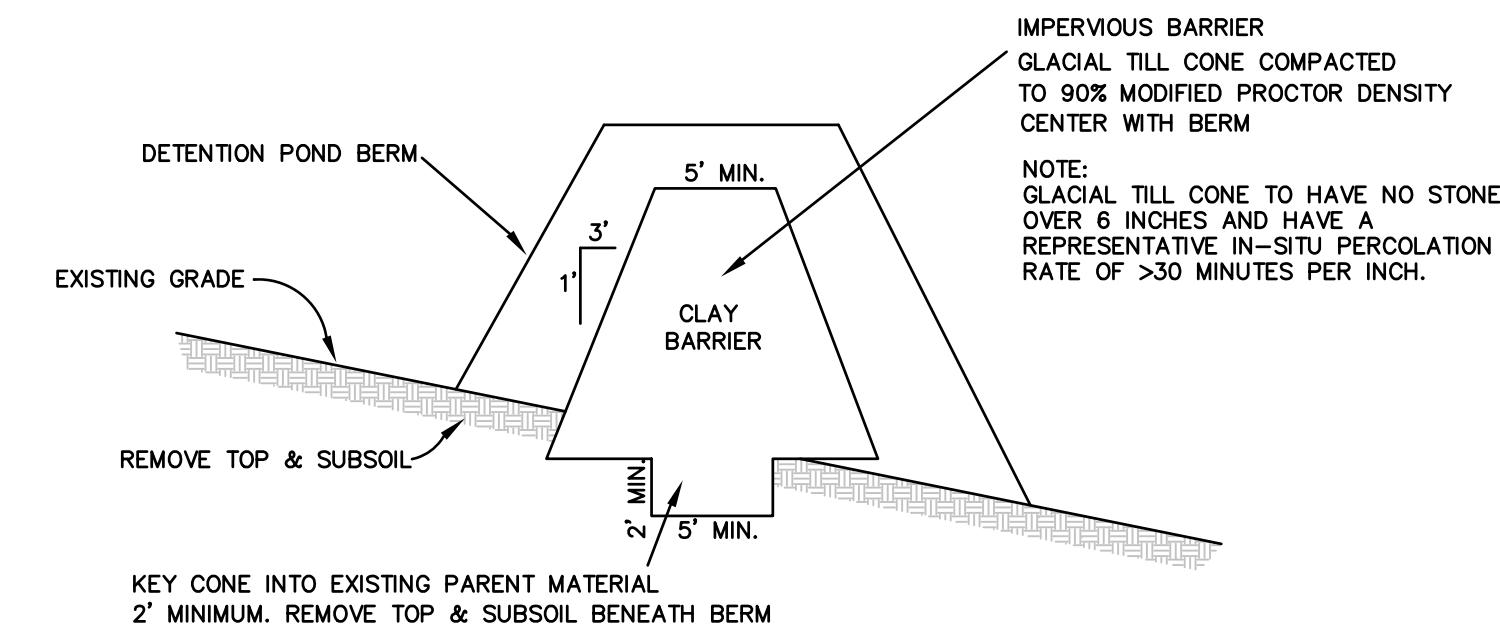
EMERGENCY SPILLWAY DETAIL

NOT TO SCALE



STONE CHECK DAM DETAIL

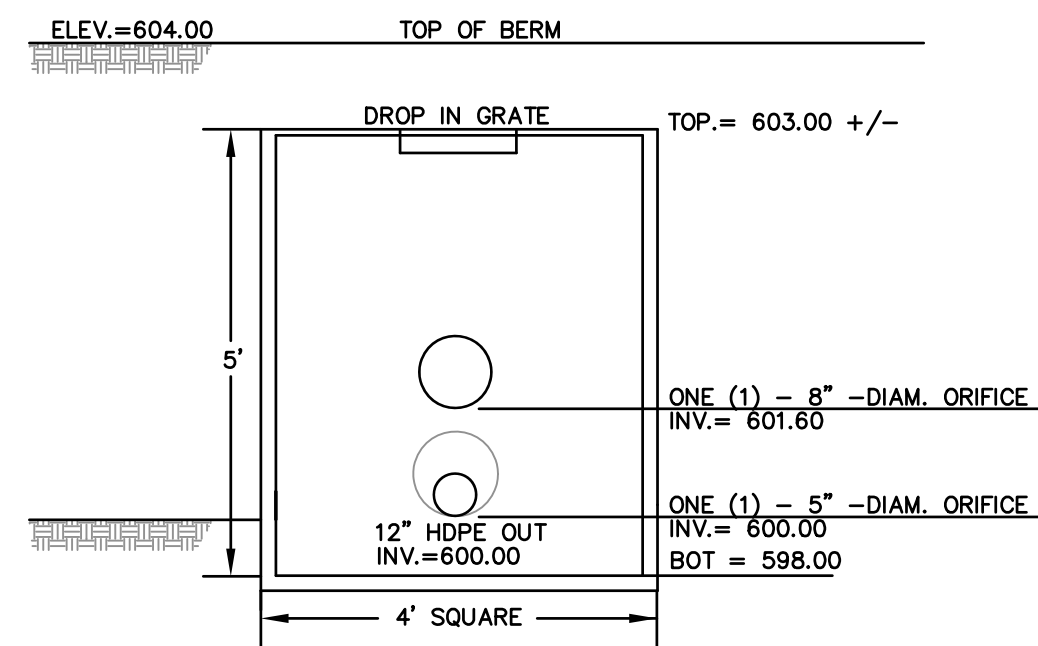
NOT TO SCALE



IMPERVIOUS BARRIER DETAIL

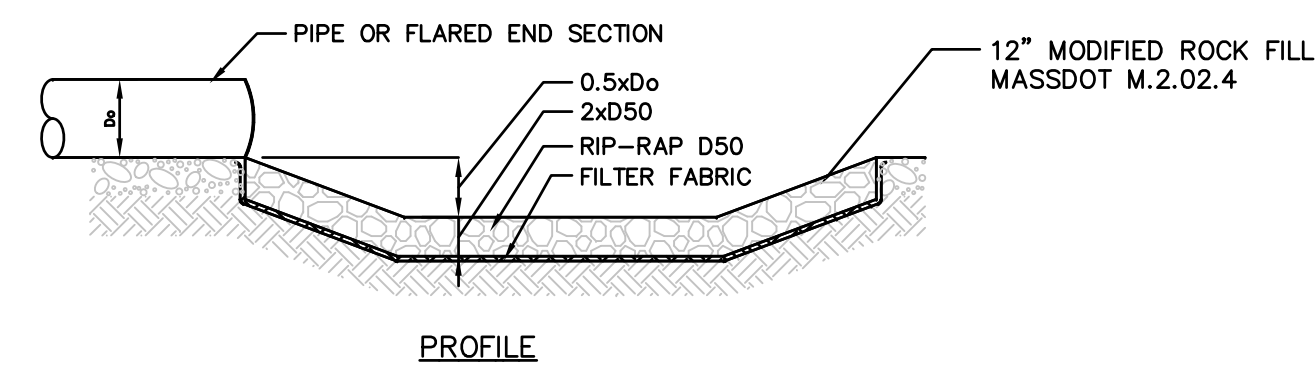
NOT TO SCALE

- NOTES:
- 1.) IMPERVIOUS BARRIER REQUIRED TO BE PROVIDED INSIDE EARTH BERMS THAT ARE FILLED TO CONSTRUCT THE DETENTION PONDS. SEE INDIVIDUAL POND DETAILS FOR ELEVATIONS AND GRADING SHEETS FOR LOCATIONS.
 - 2.) PLANNING BOARD'S ENGINEERING REPRESENTATIVE MUST BE PRESENT DURING THE CONSTRUCTION OF THE CLAY BARRIER TO ENSURE PROPER INSTALLATION & COMPACTION.
 - 3.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE PLANNING BOARD'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF DETENTION POND CONSTRUCTION TO SCHEDULE ALL NECESSARY INSPECTIONS.



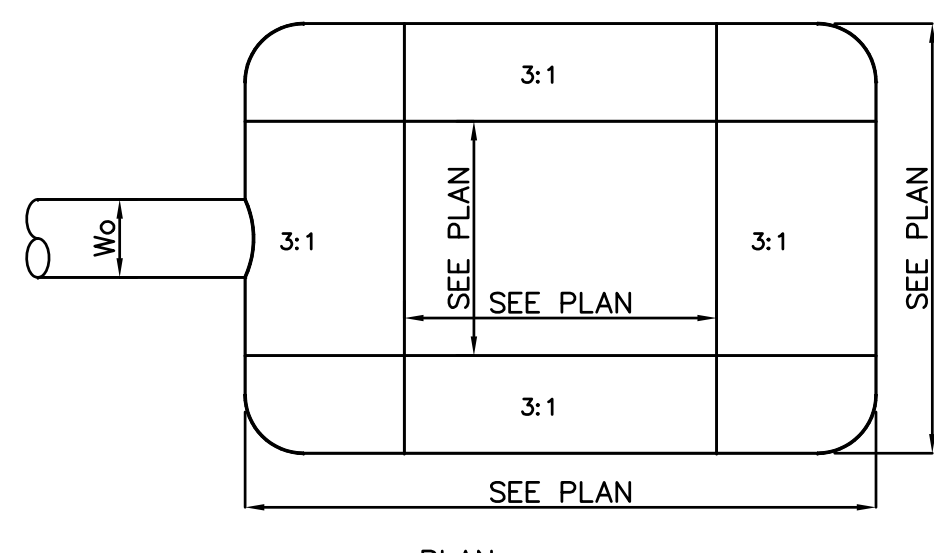
POND OUTLET CONTROL STRUCTURE

NOT TO SCALE

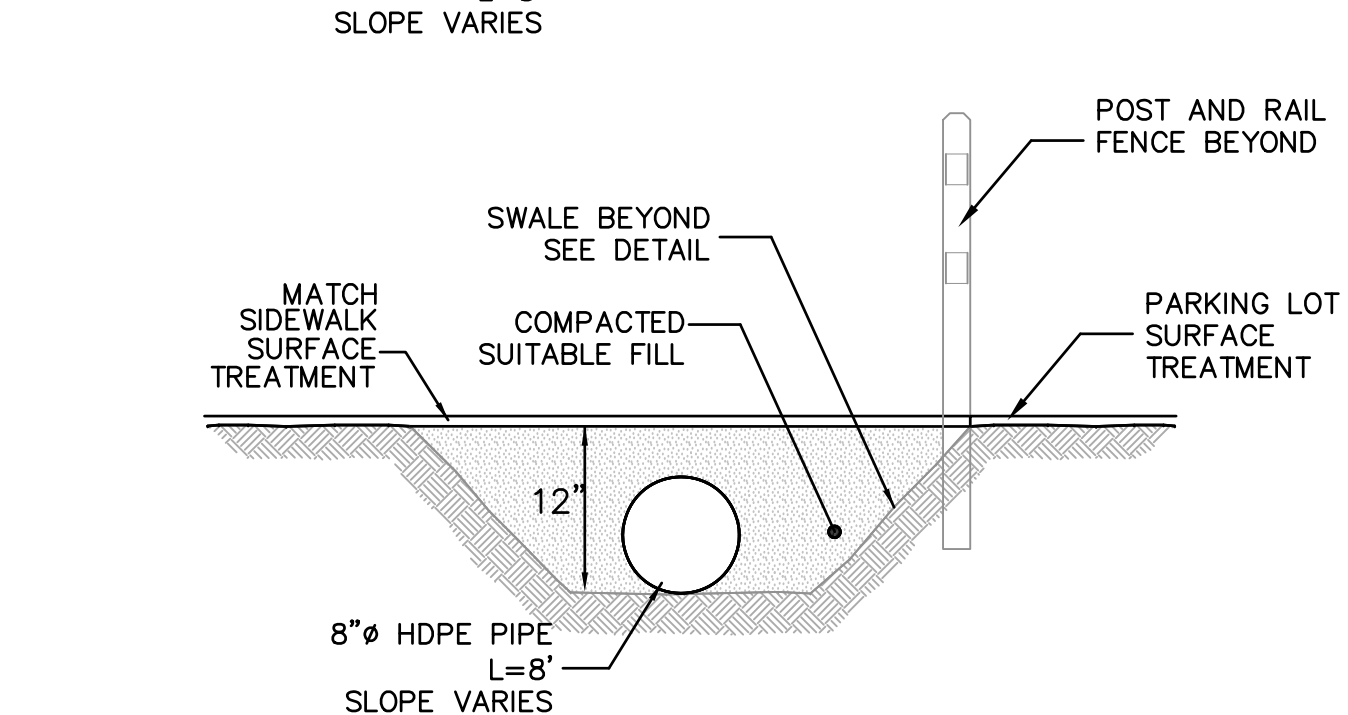
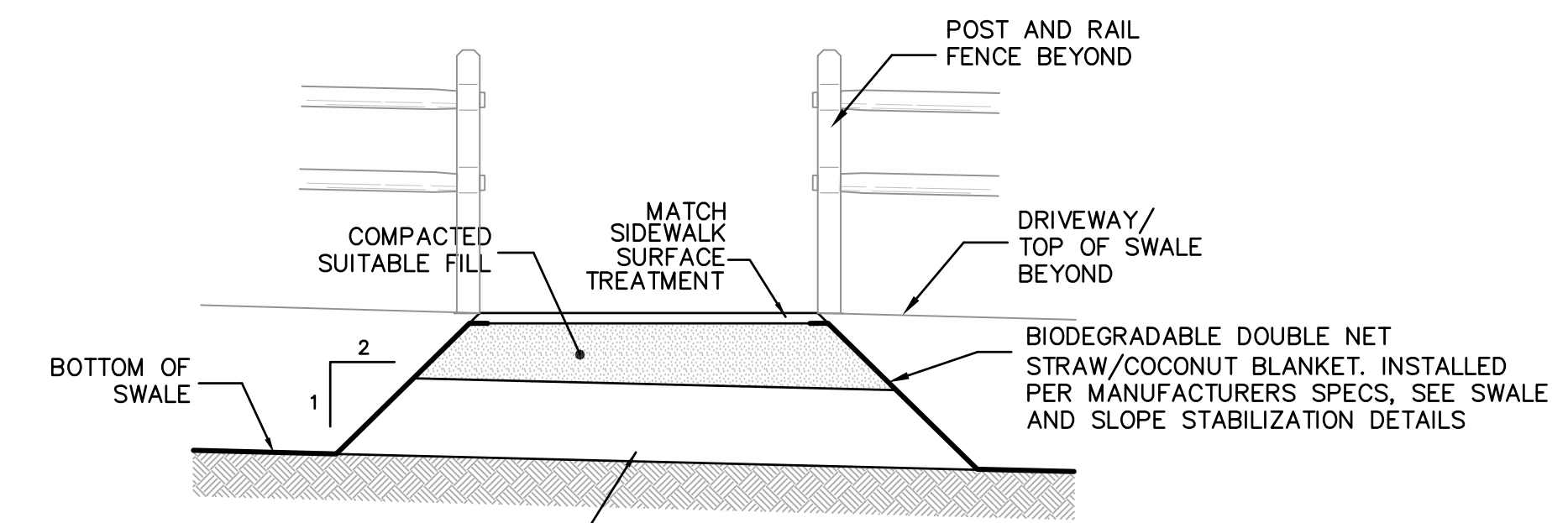


TYPICAL RIP-RAP OUTLET

NOT TO SCALE



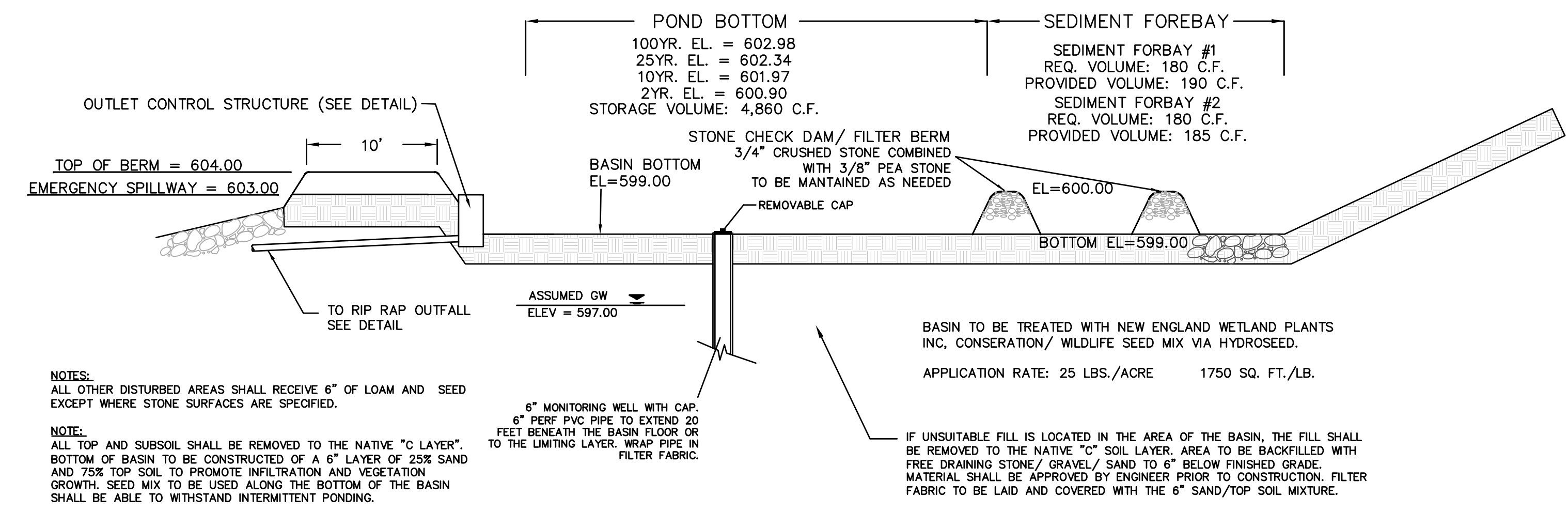
PLAN



- NOTES:
1. SEE GRADING PLAN FOR LOCATIONS.

SWALE CROSSING DETAIL

NOT TO SCALE



INFILTRATION BASIN

NOT TO SCALE

- NOTES:
- ALL OTHER DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED EXCEPT WHERE STONE SURFACES ARE SPECIFIED.
- NOTE:
- ALL TOP AND SUBSOIL SHALL BE REMOVED TO THE NATIVE "C" LAYER. BOTTOM OF BASIN TO BE CONSTRUCTED OF A 6" LAYER OF 25% SAND AND 75% TOP SOIL TO PROMOTE INFILTRATION AND VEGETATION GROWTH. SEED MIX TO BE USED ALONG THE BOTTOM OF THE BASIN SHALL BE ABLE TO WITHSTAND INTERMITTENT PONDING.
- 6" MONITORING WELL WITH CAP. 6" PERF PVC PIPE TO EXTEND 20 FEET BENEATH THE BASIN FLOOR OR TO THE LIMITING LAYER. WRAP PIPE IN FILTER FABRIC.
- IF UNSUITABLE FILL IS LOCATED IN THE AREA OF THE BASIN, THE FILL SHALL BE REMOVED TO THE NATIVE "C" SOIL LAYER. AREA TO BE BACKFILLED WITH FREE DRAINING STONE/ GRAVEL/ SAND TO 6" BELOW FINISHED GRADE. MATERIAL SHALL BE APPROVED BY ENGINEER PRIOR TO CONSTRUCTION. FILTER FABRIC TO BE LAID AND COVERED WITH THE 6" SAND/TOP SOIL MIXTURE.

BASIN TO BE TREATED WITH NEW ENGLAND WETLAND PLANTS INC, CONSERATION/ WILDLIFE SEED MIX VIA HYDROSEED. APPLICATION RATE: 25 LBS./ACRE 1750 SQ. FT./LB.

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