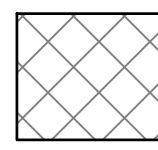




**GENERAL NOTES:**

- ALL SIDEWALKS, SLABS, AND MISCELLANEOUS DEMOLITION ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF SITE TO A LICENSED FACILITY UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE. NO BURNING OF DEBRIS SHALL BE ALLOWED ON-SITE. RECYCLED PAVEMENTS WILL NOT BE ALLOWED FOR USE AS SUBBASE FILL UNLESS THEY CONFORM TO THE PROJECT SPECIFICATIONS OR ARE OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
- UTILITY INFORMATION WITHIN THE CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS WERE OBTAINED FROM FIELD SURVEY INFORMATION OR ABOVE GROUND FEATURES AND RECORD MAPPING OF UNDERGROUND FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN IN SERVICE UNLESS DESIGNED FOR REMOVAL OR ABANDONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS PERTAINING TO PROTECTING ALL EXISTING UTILITIES TO REMAIN. THE CONTRACTOR WILL ONLY BE PERMITTED TO TEMPORARILY SHUT OFF A UTILITY FOR PROPOSED NEARBY WORK UPON WRITTEN AUTHORIZATION FROM THE OWNER.
- ANY ITEM THAT IS NOT DESIGNATED ON THIS PLAN TO REMOVED SHALL BE PROTECTED FROM DAMAGE. DAMAGE REPAIRS SHALL BE AT THE EXPENSE OF THE CONTRACTOR. SIDEWALK AND, OR, RAMP REMOVAL SHALL BE PERFORMED IN A MANNER AS TO PROTECT ADJUTING FEATURES THAT REMAIN. FULL DEPTH SAW CUTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND SHALL BE LOCATED AT THE NEAREST JOINT UNLESS SPECIFICALLY NOTED OTHERWISE HEREON.
- MANHOLES, CATCH BASINS, CLEAN OUTS, VALVE BOXES, FRAMES, COVERS AND GRATES TO REMAIN IN USE SHALL BE PROTECTED.
- FOR ALL UTILITIES LINES DESIGNATED TO BE REMOVED, PLACE AND COMPACT STRUCTURAL BACK FILL WITHIN TRENCH PER PROJECT REQUIREMENTS. FOLLOW NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS WITHIN RIGHT OF WAY.
- EXCAVATIONS FOR REMOVAL OF UTILITIES AND STRUCTURES THAT ARE LOCATED UNDER PROPOSED PAVEMENTS OR STRUCTURAL FOUNDATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL IN 6-INCH MAXIMUM LIFTS COMPACTED TO THE SATISFACTION OF THE PROJECT REPRESENTATIVE, TO PREVENT SETTLEMENT. COMMON EARTH FILL MAY BE USED FOR BACKFILL IN LAWN AREAS ONLY.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
- VERIFY SITE CONDITIONS, COORDINATE DIMENSIONS, ELEVATION AND DETAILS SHOWN ON CONTRACT DRAWINGS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PREPARATION OF SHOP DRAWINGS AND START OF CONSTRUCTION.
- PRIOR TO THE DEMOLITION OF ANY VEGETATION, THE CONTRACTOR SHALL FLAG THE INDIVIDUAL TREES AND, OR, SHRUBS TO BE REMOVED AND OBTAIN VERIFICATION FROM THE PROJECT REPRESENTATIVE THAT THE CORRECT PLANTS HAVE BEEN LOCATED. EXISTING TREES AND, OR, SHRUBS NOT DESIGNATED ON THIS PLAN FOR REMOVAL SHALL NOT BE DEMOLISHED UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE OWNER. TREE AND SHRUB REMOVAL SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL TREES NOT DESIGNATED TO BE REMOVED, WITHIN THE CONSTRUCTION LIMITS, IN ACCORDANCE WITH THE PROJECT DETAILS.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A CERTIFIED ARBORIST TO REMOVE BRANCHES WHICH INTERFERE WITH THE CONSTRUCTION OPERATIONS, OR REPAIR TREES HAVING SUFFERED DAMAGE BY CONSTRUCTION ACTIVITIES, AS PART OF ITS BASE BID.
- CLEARING AND GRUBBING SHALL INCLUDE STUMP GRINDING AND REMOVAL FROM THE SITE OF ALL DEBRIS, SUCH AS FENCE POSTS, RUBBISH, OR ITEMS NOT INTENDED TO REMAIN AS PART OF THE FINISHED PROJECT. BURNING OF DEBRIS ON SITE IS NOT PERMITTED.
- UPON APPROVAL BY A CERTIFIED ARBORIST, THE CONTRACTOR SHALL CUT ALL ROOTS, GREATER THAN 1-INCH, WITH A SHARP AXE THAT MUST BE REMOVED FOR INSTALLATION OF THE PROPOSED IMPROVEMENTS.
- PAVEMENTS TO BE REMOVED SHALL BE DISPOSED OF OFF SITE. EXISTING GRAVEL SUBBASES ASSOCIATED WITH PAVEMENTS MAY REMAIN IN PLACE, AS LONG AS IT WILL NOT CONFLICT WITH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. ALL REMAINING GRANULAR MATERIAL SHALL BE COVERED WITH A MINIMUM OF 6-INCHES OF TOPSOIL IN LANDSCAPE AREAS.

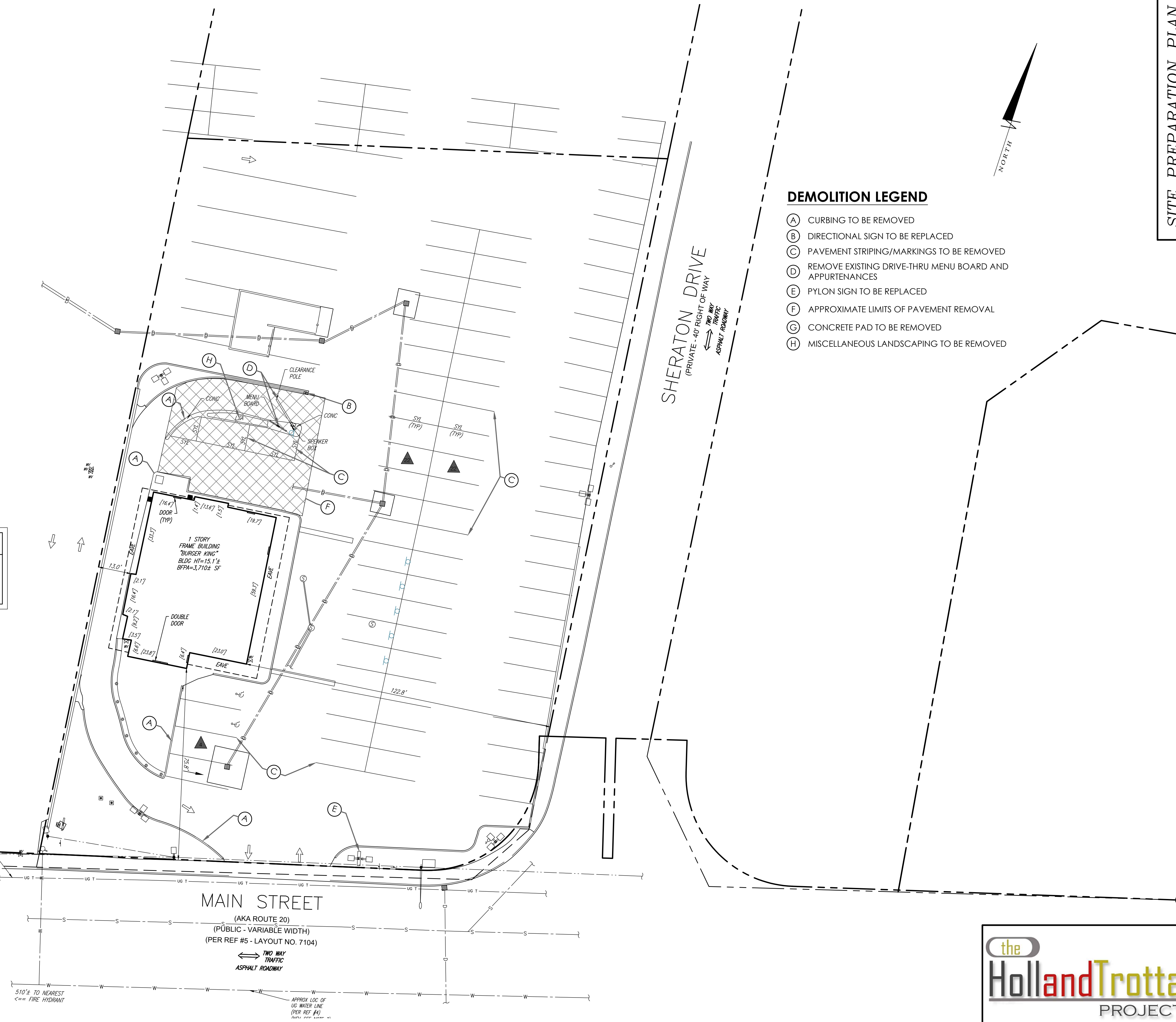
**HATCH LEGEND**



REMOVAL AREA

**DEMOLITION LEGEND**

- (A) CURBING TO BE REMOVED
- (B) DIRECTIONAL SIGN TO BE REPLACED
- (C) PAVEMENT STRIPING/MARKINGS TO BE REMOVED
- (D) REMOVE EXISTING DRIVE-THRU MENU BOARD AND APPURTENANCES
- (E) PYLON SIGN TO BE REPLACED
- (F) APPROXIMATE LIMITS OF PAVEMENT REMOVAL
- (G) CONCRETE PAD TO BE REMOVED
- (H) MISCELLANEOUS LANDSCAPING TO BE REMOVED



**SITE PREPARATION PLAN**

**BURGER KING**  
STORE #2612  
#374 Main Street  
TOWN OF STURBRIDGE COUNTY OF WORCESTER STATE OF MASSACHUSETTS

**Fitzgerald Engineering**  
Fitzgerald Engineering, P.L.L.C.  
277 Alexander Street  
Suite 210  
Rochester, NY 14607  
Phone: 585.281.9897  
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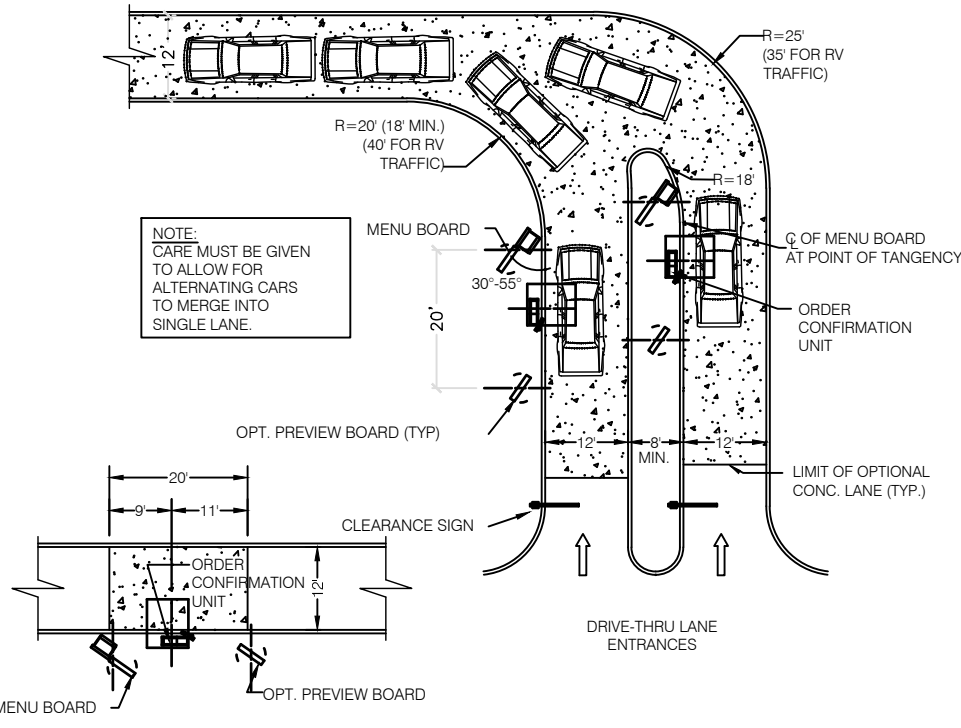
NEW YORK STATE  
LICENSED PROFESSIONAL

NO	REVISIONS	DATE	BY

**GRAPHIC SCALE:** 1" = 10'

**DRAWING ALTERATION NOTICE**  
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 2209 AND APPLIES TO THIS DRAWING:  
"NO ARCHITECT OR ENGINEER SHALL BE PERMITTED TO SIGN, SEAL, OR ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT HAS BEEN PREVIOUSLY PREPARED BY AN ENGINEER OR ARCHITECT, UNLESS THE ARCHITECT OR ENGINEER HAS SPECIFICALLY TOOK THE NECESSARY STEPS TO VERIFY THAT THE ITEM IS THE PROPERTY OF THE ARCHITECT OR ENGINEER WHO PREPARED THE ORIGINAL DRAWING AND TO OBTAIN HIS OR HER WRITTEN CONSENT TO SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SCALE: 1" = 20'  
DATE: February 8, 2023  
SHEET: C-2  
PROJECT NO.: 22-0520  
FILE NAME: 22-0520 Sturbridge Burger King.dwg  
DRAWN BY: SCP  
CHECKED BY: RJF



**NOTES:**

- DRAWING REFLECTS MENU BOARD IN PREFERRED LOCATIONS FOR OPTIONAL LOCATION AND ADDITIONAL INFORMATION, REFER TO DETAIL OF 'X' AND SITE DETAIL 'CA'.
- ORDER CONFIRMATION UNITS SHOULD BE 100' (MIN.) FROM FOOD DELIVERY WINDOW.
- IN NO CASE SHOULD THE ORDER STATIONS BE PLACED ON THE CURVE.
- USE OF FULL CONCRETE DRIVE THRU LANE IS OPTIONAL. WHEN USED, IT IS TO BE CONTINUOUS AS INDICATED ON THIS DRAWING TO 9' PAST CENTER OF DRIVE THRU PICKUP WINDOW. CONCRETE TO BE 3000 P.S.I., 6" THICK, WITH 60# X 20' 8" W W. M. WITH PREMOULDED BITUMINOUS NON-EXTENSIBLE EXPANSION JOINTS AT 10' OC. OPTIONAL TO POUR A 4" BASE SLAB OF 3000 P.S.I. CONCRETE, IMMEDIATELY FOLLOWED BY A 2" SURFACE SLAB OF 3000 P.S.I. CONCRETE DYES BLACK, USING ADMIXTURE (CHROMA-C-24 CHROMACOL BY SCHOFIELD CO. OR EQUAL). INSURE THE 2" WEARING SURFACE BONDS TO THE BASE SLAB.
- IN LIEU OF FULL CONCRETE DT LANE, 12' X 20' (MIN.) CONCRETE PAD MAY BE USED AT THE DRIVE THRU ORDER STATIONS, DRIVE THRU PAY WINDOW, AND DRIVE THRU PICKUP WINDOW. CONCRETE PER NOTE 4 ABOVE.

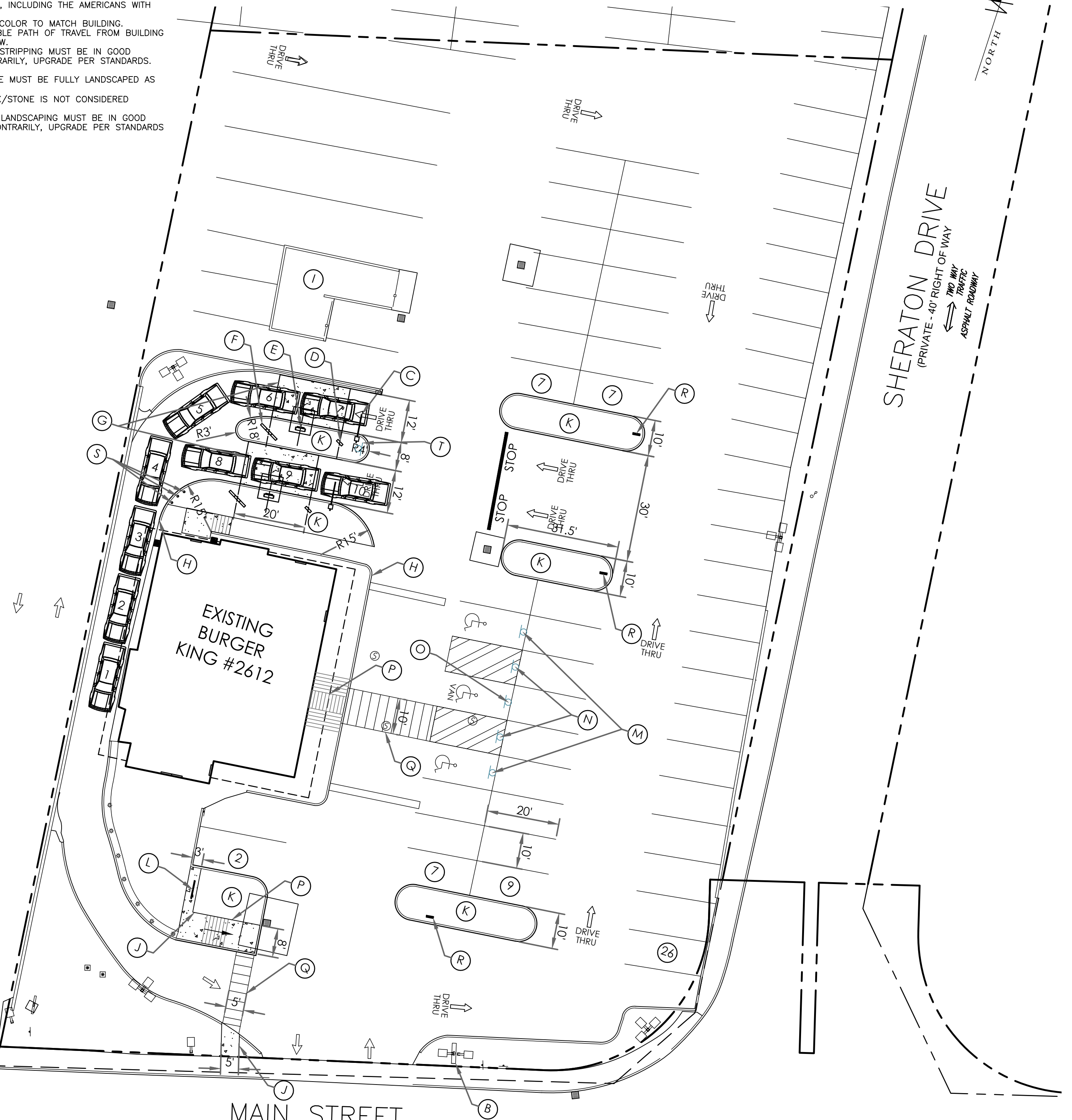
BURGER KING CORPORATION		DETAIL
SCALE	1" = 20'	OF
DATE	February 8, 2023	IX
REVISED	1/28/15	

**GENERAL NOTES:**

- FOR NEW RESTAURANTS: ALL SIGNAGE AND DRIVE THRU ORDER STATION(S) TO BE 2020 IMAGE COMPLIANT.
- FOR REMODELS: ALL EXTERIOR MENU BOARDS ARE TO BE REPLACED WITH APPROVED DIGITAL MODELS.
- DIGITAL PREVIEW BOARDS ARE OPTIONAL, BUT HIGHLY RECOMMENDED.
- EXISTING BLACK CANOPIES ARE ONLY APPROVED WHEN DT LAYOUT IS NOT CHANGING.
- LANDSCAPING IS REQUIRED AT DRIVE THRU ORDER STATION(S) AND OTHER AREAS. REFER TO BKC LANDSCAPE GUIDELINES.
- ALL REPAIR AND MAINTENANCE WORK TO BE IN ACCORDANCE WITH THE WALKTHRU INSPECTION (FACILITY INSPECTION REPORT).
- COMPLIANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES IS REQUIRED, INCLUDING THE AMERICANS WITH DISABILITIES ACT.
- TRASH ENCLOSURE COLOR TO MATCH BUILDING.
- SHOW ADA ACCESSIBLE PATH OF TRAVEL FROM BUILDING TO SIDEWALK IN ROW.
- SITE SURFACE AND STRIPPING MUST BE IN GOOD CONDITIONS, CONTRARILY, UPGRADE PER STANDARDS.
- LANDSCAPING:
  - DRIVE THRU LANE MUST BE FULLY LANDSCAPED AS PER STANDARDS
  - CONCRETE, ROCK/STONE IS NOT CONSIDERED LANDSCAPING
  - FOR REMODELS, LANDSCAPING MUST BE IN GOOD CONDITIONS, CONTRARILY, UPGRADE PER STANDARDS

**DRIVE-THRU GENERAL NOTES:**

- ASSURE DRAWING REFLECTS ORDER STATION GEOMETRY AND DIGITAL MENU BOARDS PER BKC STANDARDS
- OCU BOARDS SHOULD BE PLACED AT 5TH / 6TH CAR FROM PICKUP WINDOW FOR PROPER SPEED OF SERVICE
- ASSURE PROPER LANDSCAPE IS PROVIDED:
  - DRIVE THRU LANE MUST BE FULLY LANDSCAPED AS PER STANDARDS
  - CONCRETE, ROCK/STONE IS NOT CONSIDERED LANDSCAPING
  - FOR REMODELS, LANDSCAPING MUST BE IN GOOD CONDITIONS, CONTRARILY, UPGRADE PER STANDARDS
  - BLACK CONCRETE LINE, 9' PAST THE CENTERLINE OF THE DT PICKUP WINDOW, GRADE PER STANDARDS



**SITE LEGEND:**

- (A) COORDINATE WITH JSC MANAGEMENT IF EXISTING STRIPING SHALL BE REPAINTED
- (B) PYLON SIGN TO BE REPLACED WITH UPDATED BURGER KING BRANDING
- (C) CLEARANCE BAR (TYP)
- (D) OPTIONAL PREVIEW BOARD (TYP)
- (E) ORDER CONFIRMATION UNIT (TYP)
- (F) MENU BOARD (TYP)
- (G) LIMITS OF HEAVY DUTY CONCRETE PAD (MIN. 12' X 20') - REMOVE EXISTING ASPHALT PAVEMENT
- (H) CONNECT INTO EXISTING CONCRETE CURB
- (I) EXISTING DUMPSTER TO REMAIN
- (J) CONCRETE SIDEWALK
- (K) REFER TO LANDSCAPE PLAN FOR PROPOSED LANDSCAPING
- (L) BIKE RACK
- (M) ACCESSIBLE PARKING SIGN, POST & BOLLARD
- (N) "NO PARKING ANY TIME" SIGN, POST & BOLLARD
- (O) "VAN ACCESSIBLE" SIGN
- (P) ADA RAMP & LANDING
- (Q) CROSSWALK
- (R) DIRECTIONAL SIGN "DRIVE THRU" (TYP)
- (S) BOLLARDS
- (T) "NO TRAILERS" SIGN

**SITE DATA:**

LOCAL JURISDICTION:	TOWN OF STURBRIDGE
ZONING CLASSIFICATION:	C - COMMERCIAL DISTRICT
PERMITTED USES:	RESTAURANT WITH DRIVE-THROUGH
OWNER:	JANCO CENTRAL INC.
LESSEE:	JSC MANAGEMENT GROUP
PROPERTY ACREAGE:	± 1.2 ACRES

BULK REQUIREMENTS	REQUIRED	PROPOSED/ EXISTING TO REMAIN
FRONT YARD	25 FT	± 76 FT
REAR YARD	10 FT	± 140 FT
SIDE YARD	10 FT	13 FT
MAXIMUM IMPERVIOUS	70%	± 94% (EXISTING) ± 90% (PROPOSED)
MINIMUM LOT AREA	1 ACRE	± 1.2 ACRE
MINIMUM LOT WIDTH	150 FT	± 160 FT
MAXIMUM BUILDING COVERAGE	30%	± 6%
MAXIMUM BUILDING HEIGHT	35 FT	± 17 FT
INGRESS/EGRESS	TWO WAY = 25 FT	25 FT
PARKING REQUIREMENT	1 PER 3 SEATS AND 1 PER EMPLOYEE WORKING ON THE LARGEST SHIFT	40 SEATS + 10 EMPLOYEES = 24 SPACES (REQ.) 63 SPACES (PROP.)
PARKING STALL WIDTH	10 FT	10 FT
PARKING STALL LENGTH	20 FT	20 FT
PARKING LOT LANDSCAPING	LOTS EQUAL TO OR OVER 20 SPACES = 5%	±3% (EXISTING) ±6% (PROPOSED)
DRIVE-THRU REQUIREMENTS	REQUIRED	PROPOSED/ EXISTING TO REMAIN
MINIMUM STACKING REQUIREMENTS	180 FT MEASURED FROM THE SERVICE WINDOW TO THE ENTRY POINT OF THE DRIVE-THROUGH	CARS LENGTHS 1-7 + 8-10 = ± 200 FT
DRIVE THRU AISLE WIDTH	12 FT	11 FT (EXISTING) WESTERN LANE 12 FT (PROPOSED) REAR LANES

**SCOPE OF DESIGN & CONSTRUCTION:**

- DEMO THE OLD DRIVE THRU APPROACH AND ADD A NEW PROTOTYPICAL DOUBLE DRIVE-THRU.
- ALL NEW CONCRETE DRIVE THRU LANES AND APPROACH.
- NEW CURBING TO BE INSTALLED (IN DESIGNATED LOCATIONS).
- EXISTING DUMPSTER ENCLOSURE & APRON TO REMAIN AND TO BE PROTECTED DURING TIME OF CONSTRUCTION.
- NEW LED LIGHT FIXTURES TO REPLACE EXISTING LIGHT FIXTURES THROUGHOUT THE SITE. ALL LIGHT POLES TO BE PAINTED.
- NEW DIRECTIONAL SIGNS TO BE INSTALLED THROUGHOUT THE SITE.
- EXISTING PYLON & MONUMENT SIGNS TO BE REPLACED WITH NEW PYLON SIGN
- BUILDING RENOVATIONS.
- EXISTING DRAINAGE AND SANITARY STRUCTURES ON SITE WILL BE CLEANED, INSPECTED/TELEVIEWED AND REPAIRED AS NEEDED TO IMPROVE DRAINAGE AND FLOW.
- NEW CONCRETE TO BE INSTALLED AROUND ALL EXISTING CATCH BASINS.
- VEGETATIVE AREAS THAT ARE DISTURBED SHALL BE SEEDED/MULCH DURING FINAL STAGE OF CONSTRUCTION
- NEW ASPHALT PAVEMENT TO BE INSTALLED AS NEEDED
- APPROVALS WITH THE TOWN OF STURBRIDGE.

**MAIN STREET**  
(AKA ROUTE 20)  
(PUBLIC - VARIABLE WIDTH)  
(PER REF #5 - LAYOUT NO. 7104)  
TWO WAY TRAFFIC ASPHALT ROADWAY

**SITE PLAN**

**BURGER KING**  
STORE #2612  
#374 Main Street  
COUNTY OF WORCESTER STATE OF MASSACHUSETTS

TOWN OF STURBRIDGE COUNTY OF WORCESTER STATE OF MASSACHUSETTS  
LOCAL JURISDICTION: TOWN OF STURBRIDGE  
PROJECT: THE HOLLANDTROTTA PROJECT

**Fitzgerald Engineering**

Fitzgerald Engineering, PLLC  
277 Alexander Street  
Suite 210  
Rochester, NY 14607  
Phone: 585.281.9897  
Web Site: fitzgeraldengineering.net

NEW YORK STATE LICENSED PROFESSIONAL

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**GRAPHIC SCALE:** 1" = 10'

**DRAWING ALTERATION NOTICE**

THE FOLLOWING IS A SUMMARY OF ALL ALTERATIONS TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL ISSUE. ANY ALTERATIONS TO THIS DRAWING SHALL BE MADE IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF AN ENGINEER OR ARCHITECT AS REQUIRED BY THE STATE OF MASSACHUSETTS. ANY ALTERATIONS TO THIS DRAWING SHALL BE MADE IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF AN ENGINEER OR ARCHITECT AS REQUIRED BY THE STATE OF MASSACHUSETTS.

SCALE 1" = 20'

DATE February 8, 2023

SHEET SITE PLAN

PROJECT NO. 22-0520

FILE NAME 22-0520 Sturbridge Burger King.dwg

DRAWN BY SCP

CHECKED BY R/J





PLANTING SCHEDULE				
QTY	PLANT KEY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
3	A	Amelanchier Canadensis 'Autumn Brilliance'	Serviceberry	6' Multistem
<b>SHRUBS</b>				
1	B	Juniperus conferta	Blue Pacific Juniper	3 GAL.
8	C	Berberis thunbergii	Barberry Crimson Pymy	3 GAL.
1	D	Euonymus alatus 'Compactus'	Dwarf Compact Burning Bush	24" HT.
7	E	Buxus x 'Green Velvet'	Green Velvet Boxwood	3 GAL.
<b>Perennials</b>				
18	F	Helictotrichon sempervirens	Blue Oat Grass	2 GAL.
22	G	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	2 GAL.



**SITE PLAN**

**PROJECT**  
**BURGER KING**  
 STORE #2612  
 #374 Main Street  
 TOWN OF STURBRIDGE COUNTY OF WORCESTER STATE OF MASSACHUSETTS

**LOCATION**  
 374 MAIN STREET STURBRIDGE, MA 01586

**CLIENT**  
 THE HOLLANDTROTTA PROJECT

**Fitzgerald Engineering**

Fitzgerald Engineering, PLLC  
 277 Alexander Street  
 Suite 210  
 Rochester, NY 14607  
 Phone: 585.281.9897  
 Web Site: fitzgeraldengineering.net

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SCALE	1" = 20'
DATE	February 8, 2023
SHEET	C-5
PROJECT NO.	22-0520
FILE NAME	22-0520 Sturbridge Burger King.dwg
DRAWN BY	BURGER KING
CHECKED BY	R/J



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