

DEFINITIVE SUBDIVISION PLAN

"FISKE HILL EAST"

30 MAIN STREET & 20 FISKE HILL ROAD

STURBRIDGE, MASSACHUSETTS

OWNED BY:
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD
FISKDALE, MA 01518

DATE: 11/11/20

NOTES:

1. PROPERTY KNOWN AS MAP 3534, LOT 20 & MAP 3914, LOT 30 AS SHOWN ON THE GIS MAPS OF THE TOWN OF STURBRIDGE, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
2. AREA OF LOT 20 = 5,063,431 SF OR 116± AC. (PER RECORD PLAN)
 AREA OF LOT 30 = 791,866 SF OR 18.179 AC.
 TOTAL = 5,855,297 SF OR 134 AC.±
3. THE BEARING BASIS OF THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY LEVESQUE GEOMATICS INC AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY LEC ENVIRONMENTAL CONSULTANTS IN FEBRUARY 2020 AND FIELD LOCATED BY LEVESQUE GEOMATICS INC. APRIL 2020.
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON RTK GPS OBSERVATIONS ON THE KEYSTONE REAL TIME NETWORK AND ARE SUBJECT TO LOCAL BENCHMARK ADJUSTMENT.
8. THE PROPERTY SHOWN IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP 25027C0933E & 25027C0931E WITH AN EFFECTIVE DATE OF 7/04/2011.
9. LOT 20 SHOWN HEREON IS BASED UPON RECORD PLAN 371 / 114 ONLY AND IS NOT THE RESULT OF AN INSTRUMENT SURVEY BY LEVESQUE GEOMATICS INC.

REFERENCES:

PLAN BOOK / PLAN #
23 / 79
68 / 31
104 / 36
207 / 69
371 / 114
400 / 100
438 / 54
474 / 39
681 / 96
682 / 105
798 / 13
853 / 51

PROJECT SURVEYORS:

LEVESQUE GEOMATICS INC

43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041

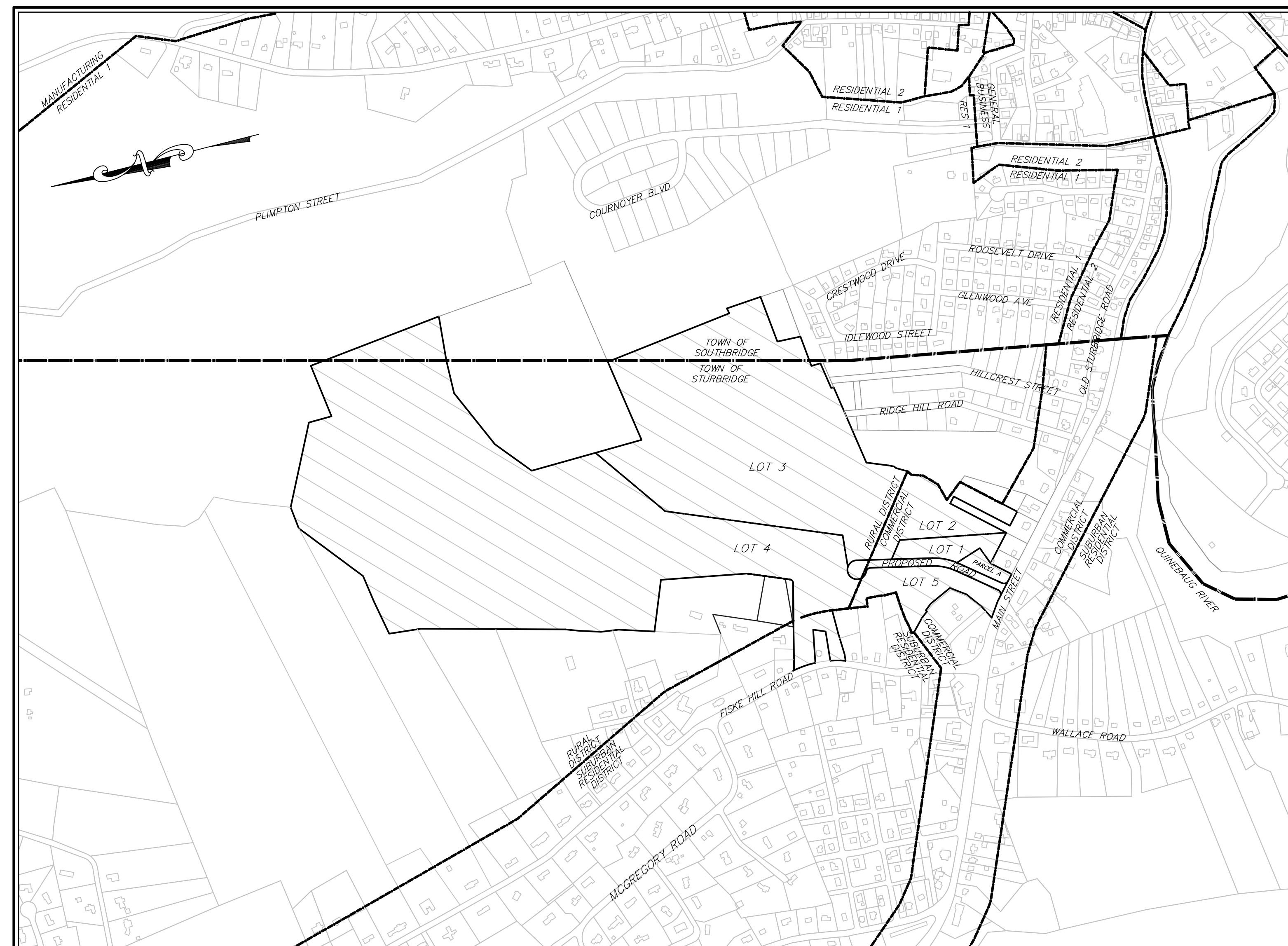
IN ACCORDANCE WITH SECTION 6.5 OF THE TOWN OF STURBRIDGE PLANNING BOARD'S SUBDIVISION RULES AND REGULATION, IT IS REQUESTED THAT WAIVERS BE ALLOWED FOR THE FOLLOWING:

1. SECTION 8.1.C - THAT THE PLAN SHOWS ALL EXISTING INDIVIDUAL TREES OF 10-INCH DIAMETER OR GREATER WITHIN 50' OF THE PROPOSED RIGHT-OF-WAY.
2. SECTION 8.1.J - 8.5X11 INCH SHEET SHOWING OUTLINE OF SUBDIVISION AT 100 OR 300 SCALE. 400 SCALE PROVIDED.
3. SECTION 10.C.1 - MAJOR STREET WIDTH AND PAVEMENT WIDTH TO BE 60' AND 32'. 52' AND 28' PROVIDED.
4. SECTION 10.E.2 - DEAD END STREET LENGTH OF NO GREATER THAN 500'. 1,030'± PROVIDED.
5. SECTION 11.B.2.A - MINIMUM 36" COVER PROVIDED ON DRAINAGE PIPES. 24" PROVIDED AT CB1 & CB2.
6. SECTION 12.A.2.A - WATER MAINS SHALL BE NOT LESS THAN 8" DIAMETER. 6" PROVIDED.

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE DATE _____

THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AND RECORDED BY ME ON (DATE) _____ (AT TIME) _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.
 DATE : _____

 TOWN CLERK



SITE LOCUS
 1" = 500'

PROJECT ENGINEERS:

McCLURE
 ENGINEERING, INC

119 Worcester Road Tel: (508) 248-2005
Charlton, MA 01507 Fax (508) 248-4887
 Email: chris@mcclureengineers.com

PLAN INDEX

EXISTING CONDITIONS PLANS	1-6
DEFINITIVE SUBDIVISION LOTTING PLANS	S1-S6
LAYOUT AND MATERIALS PLAN	C1
GRADING AND UTILITIES PLAN	C2
ROADWAY PLAN / PROFILE	C3
CURB CUT/ TRAFFIC MANAGEMENT PLAN	C4
LANDSCAPE & LIGHTING PLAN	C5
EROSION AND SEDIMENTATION CONTROL PLAN	C6
CONSTRUCTION DETAILS	C7-12

APPROVED ON _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____, DATED _____, AND TO BE (RECORDED) (REGISTERED) HEREWITH, AND SUBJECT TO CONDITIONS LISTED WITHIN THE PLAN.

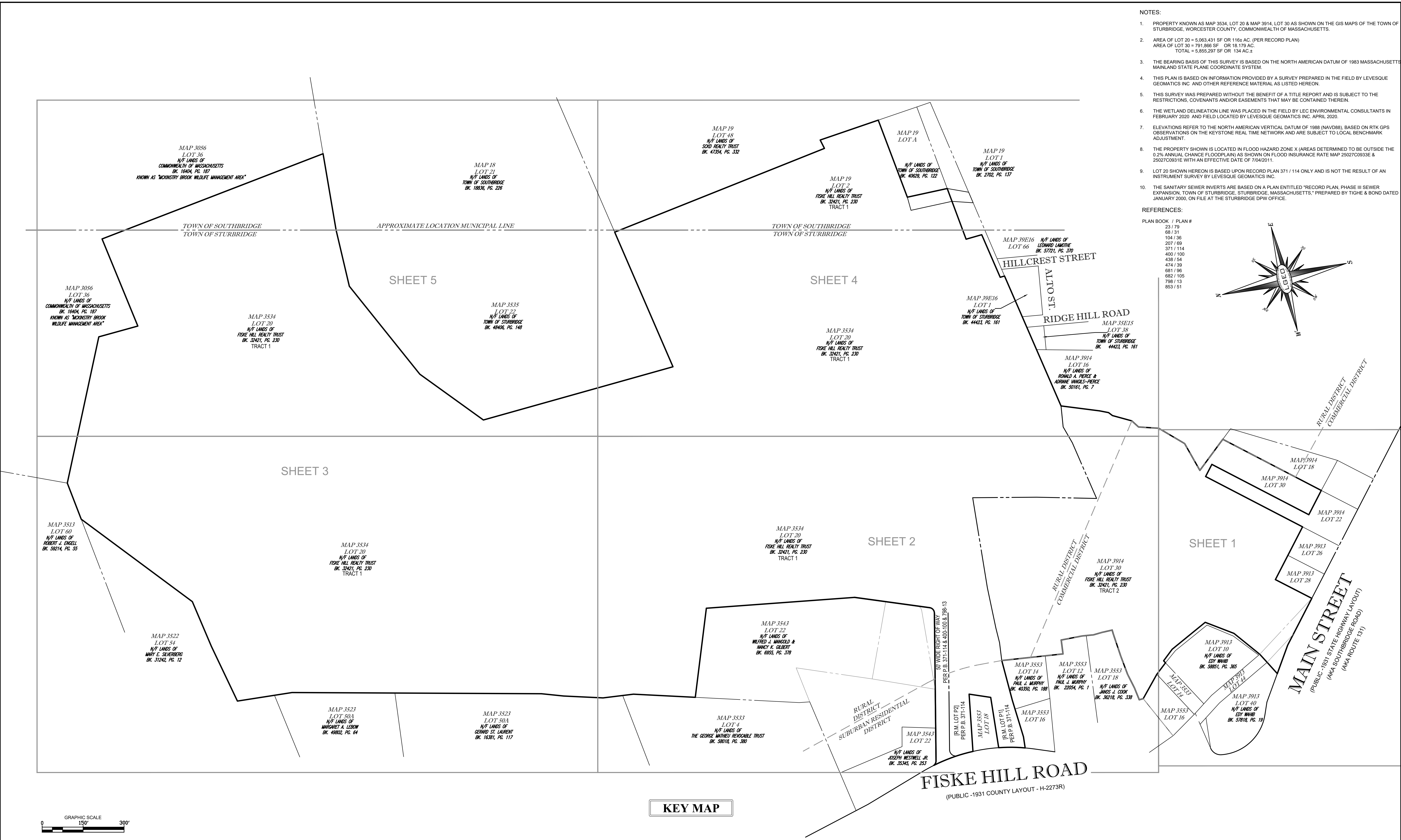
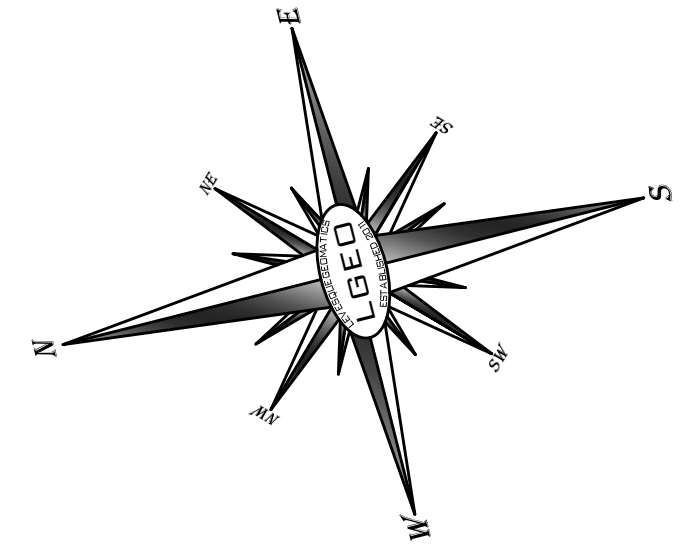
REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REV. PER CLIENT	PE	JL
2	5.28.21	REV. PER PEER REVIEW	WN	PE

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 - THE SANITARY SEWER INVERTS ARE BASED ON A PLAN ENTITLED "RECORD PLAN, PHASE III SEWER EXPANSION, TOWN OF STURBRIDGE, STURBRIDGE, MASSACHUSETTS," PREPARED BY TIGHE & BOND DATED JANUARY 2000, ON FILE AT THE STURBRIDGE DPW OFFICE.

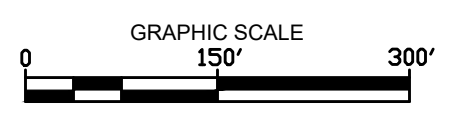
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PLAN BOOK / PLAN #

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KEY MAP

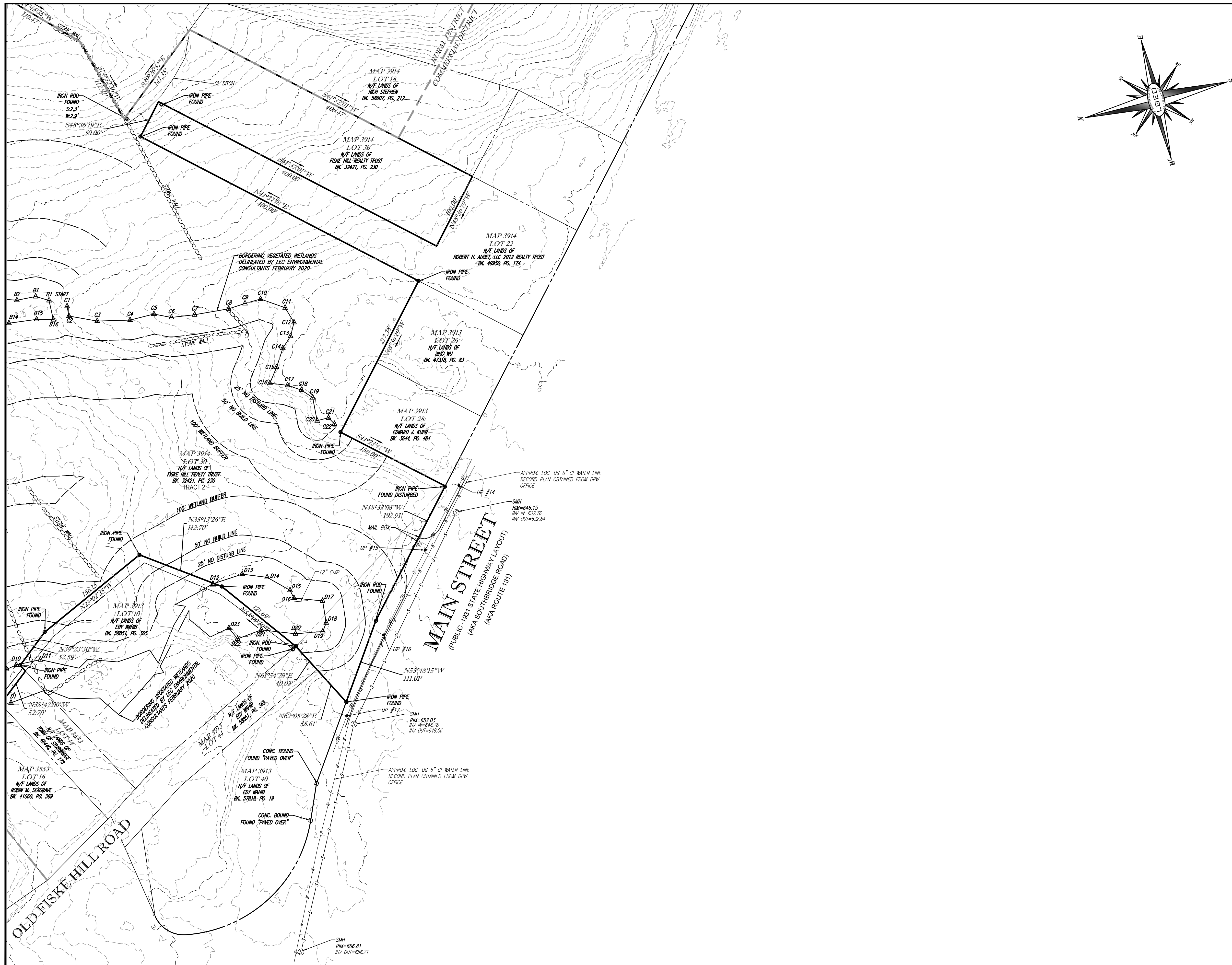


REVISIONS			BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY OF FISKE HILL REALTY TRUST MAIN STREET (ROUTE 20) & FISKE HILL ROAD TOWN OF STURBRIDGE WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS	LEVESQUE GEOMATICS INC 43 GLENDALE ROAD STURBRIDGE, MA 01518 PHONE: (508) 868-0041	 SEAL	THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.		DATE	JOB NO.
NO.	DATE	DESCRIPTION							
								SCALE 1" = 150'	
								DRAWN JIL	SHEET NO.
								CHKD. JIL	1 of 6

DATE 6/10/2020

DATE

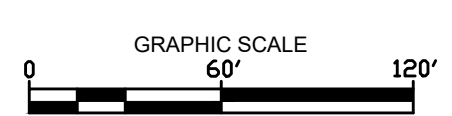
JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #53840



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REVISIONS		
NO.	DATE	DESCRIPTION

BOUNDARY AND TOPOGRAPHIC SURVEY
OF
MAP 3534, LOT 20 & MAP 3914, LOT 30
PROPERTY OF FISKE HILL REALTY TRUST
MAIN STREET (ROUTE 20) & FISKE HILL ROAD
TOWN OF STURBRIDGE
WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041

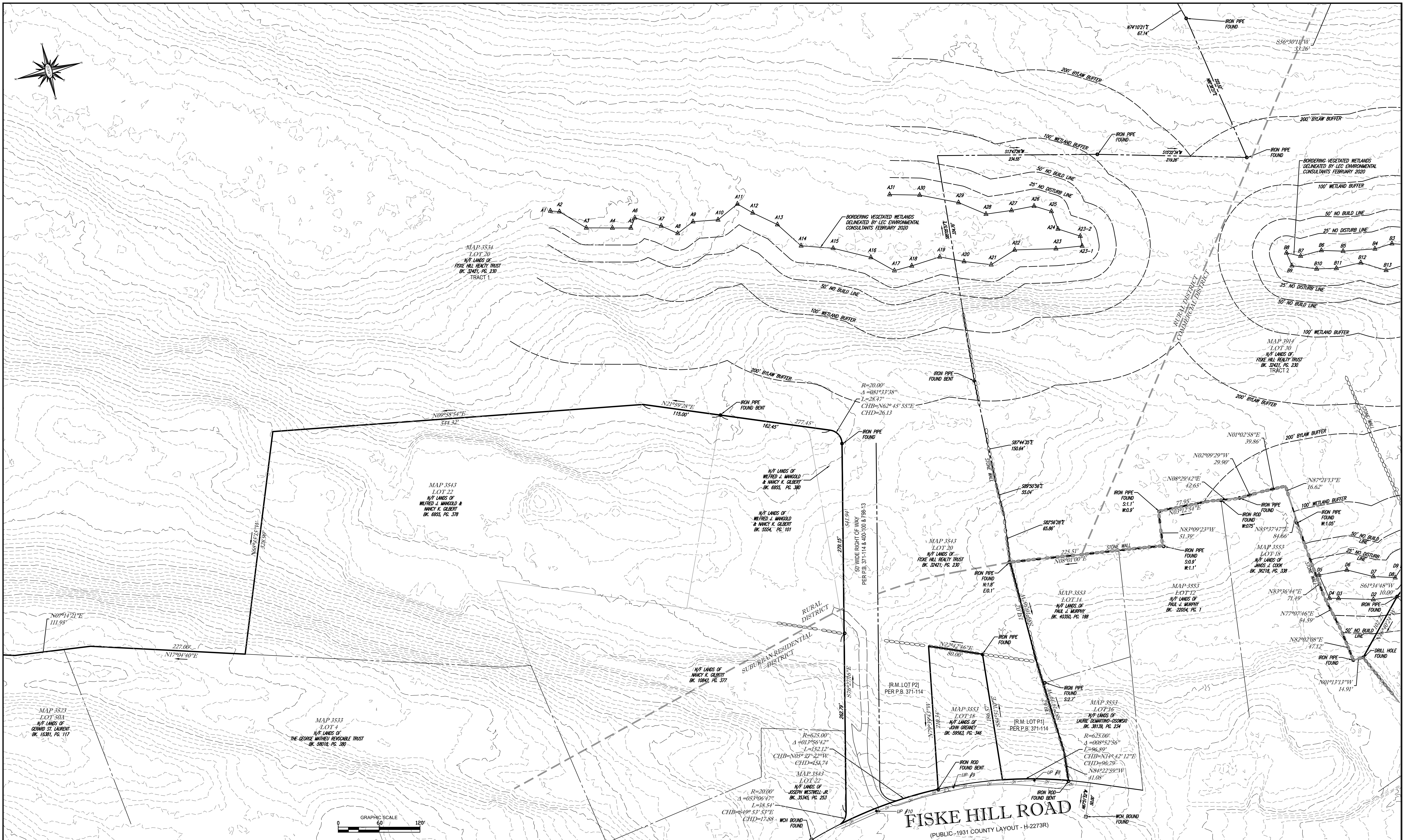


THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

DATE: 6/10/2020
DATE: 6/10/2020

JOSEPH I. LIVESQUE III
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #63840

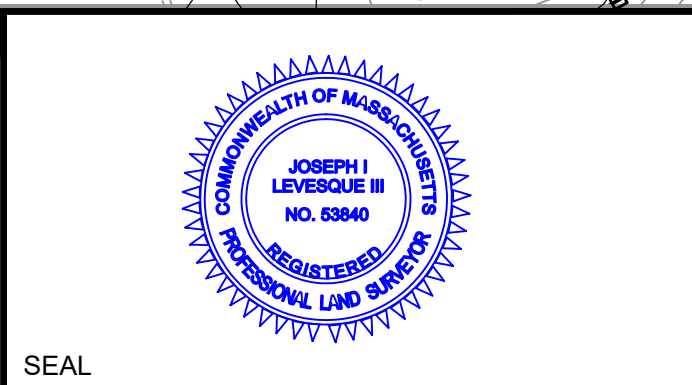
DATE	JOB NO.
MAY 25, 2020	MCE-023
SCALE	SHEET NO.
1" = 60'	2 of 6
DRAWN	CHKD.
JIL	JIL



REVISIONS		
NO.	DATE	DESCRIPTION

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 OF
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 TOWN OF STURBRIDGE
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 COMMONWEALTH OF MASSACHUSETTS

LEVESQUE GEOMATICS INC
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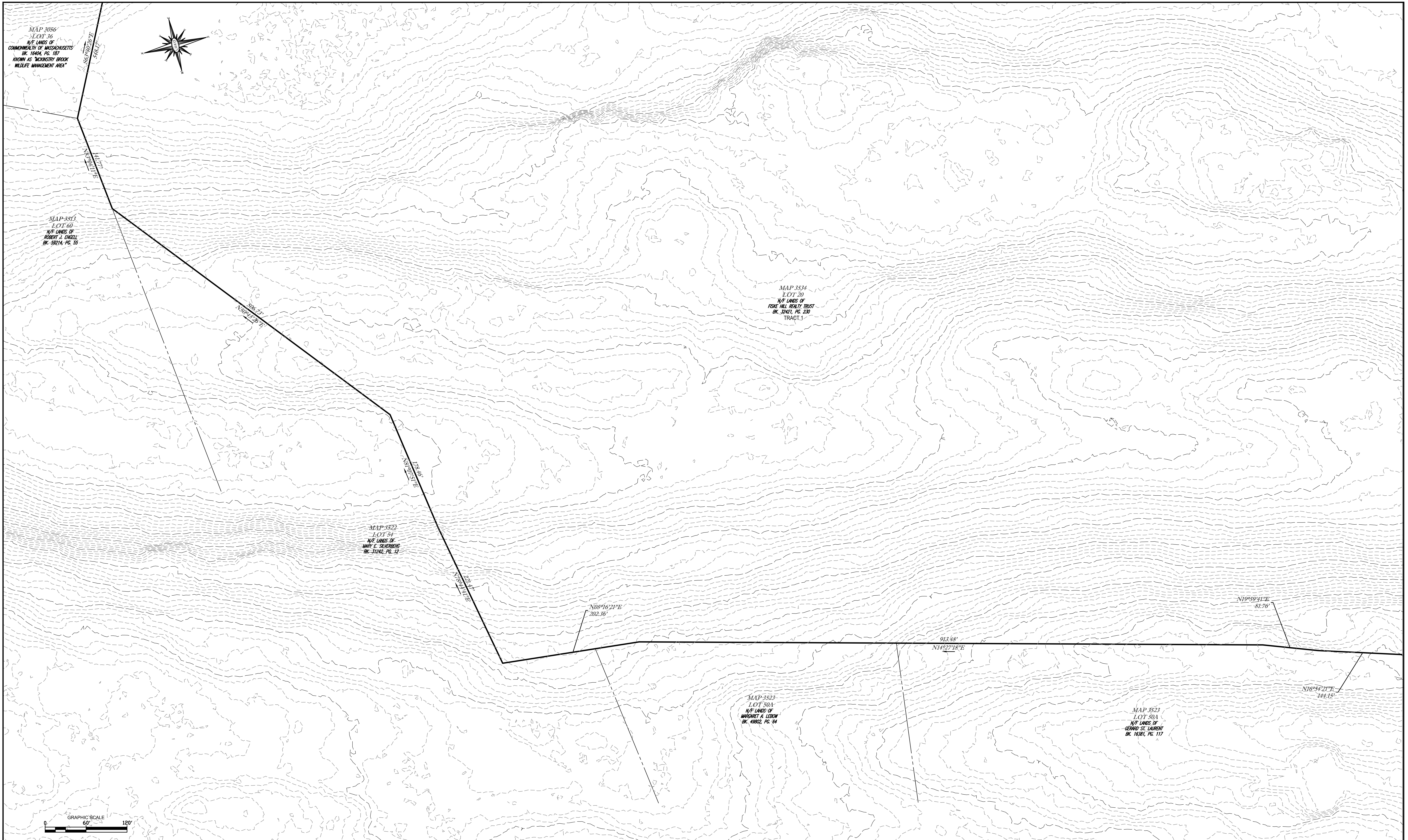


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DATE: 6/10/2020
 SCALE: 1" = 60'
 DRAWN: JIL
 CHKD: JIL

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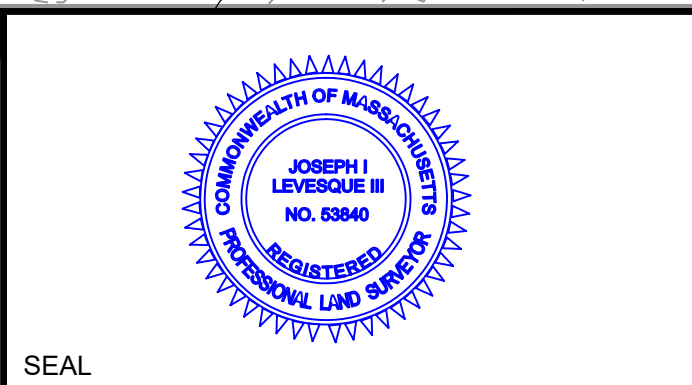
DATE	MAY 25, 2020	JOB NO.	MCE-023
SCALE	1" = 60'	SHEET NO.	3 of 6
DRAWN	JIL		
CHKD	JIL		



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NO.	DATE	DESCRIPTION

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 MAIN STREET (ROUTE 20) & FISKE HILL ROAD
 TOWN OF STURBRIDGE
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 COMMONWEALTH OF MASSACHUSETTS

LEVESQUE GEOMATICS INC
 43 GLENDALE ROAD
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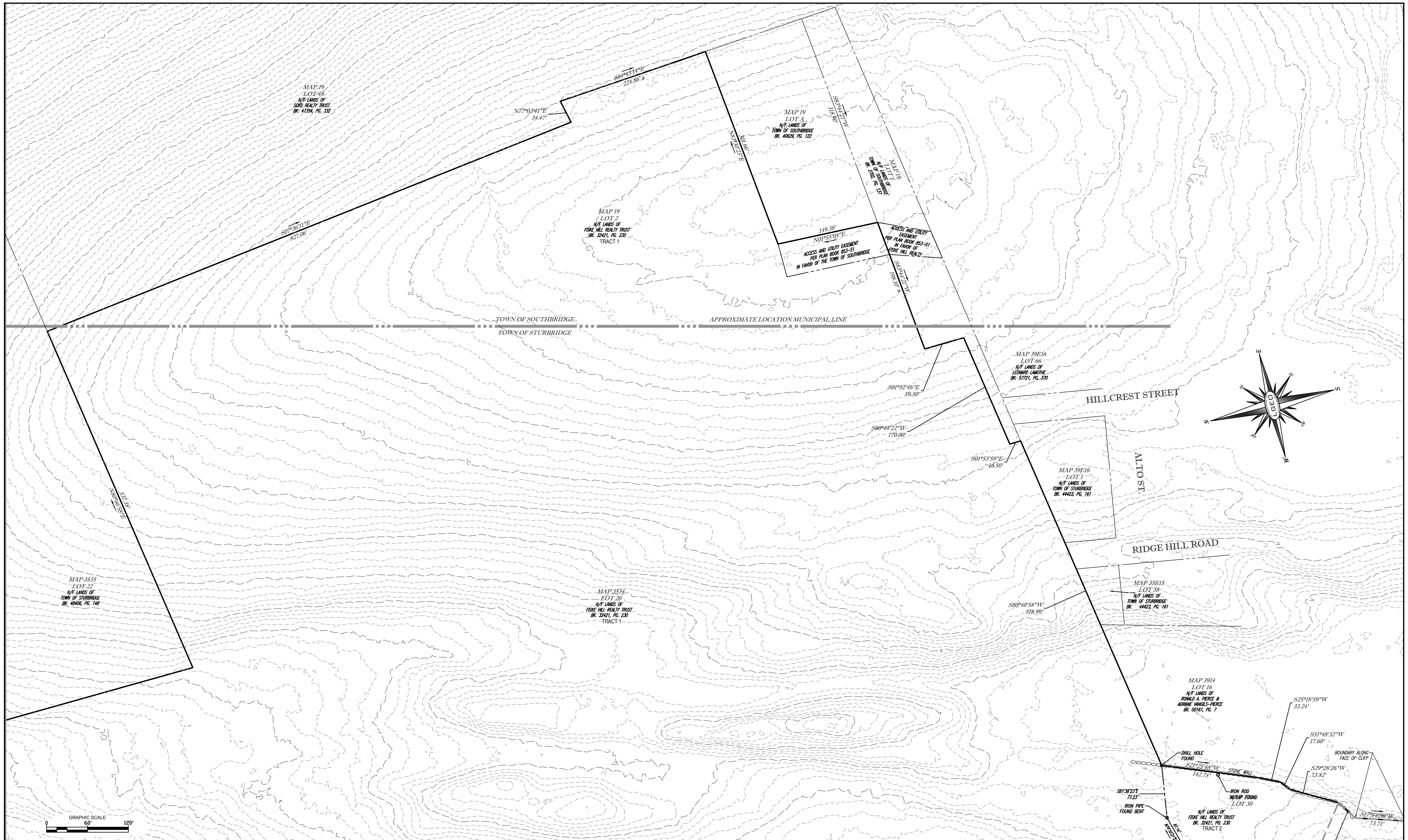
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Joseph I. Livesque III
 JOSEPH I. LIVESQUE III
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #53840

6/10/2020
 DATE

DATE	MAY 25, 2020
SCALE	1" = 60'
DRAWN	JIL
CHKD.	JIL

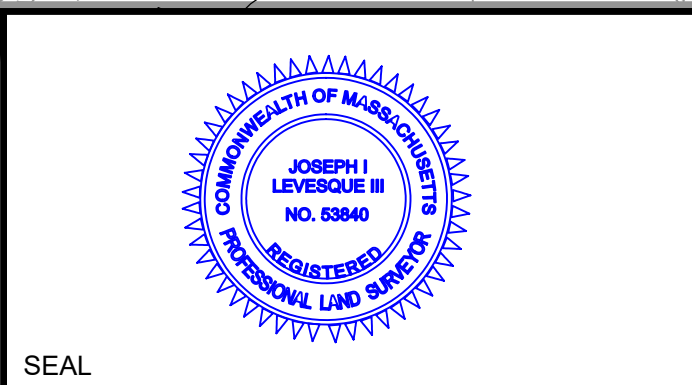
JOB NO.	MCE-023
SHEET NO.	4 of 6



REVISIONS		
NO.	DATE	DESCRIPTION

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WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041



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DATE: 6/10/2020

DATE: MAY 25, 2020

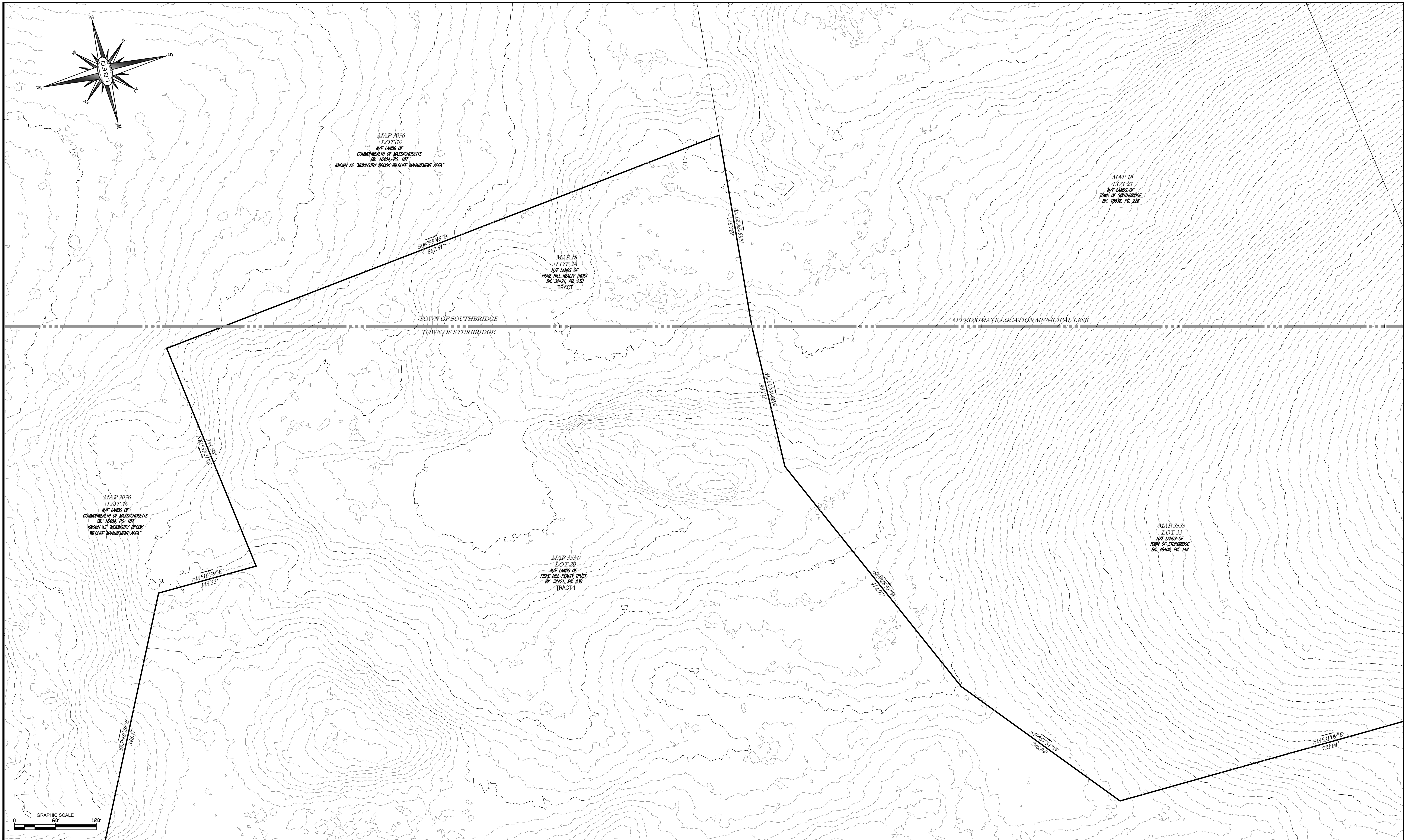
SCALE: 1" = 60'

DRAWN: JIL

CHKD: JIL

JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #63840

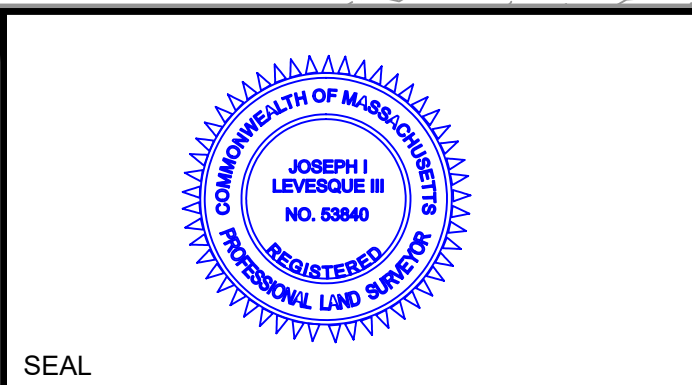
DATE	MAY 25, 2020	JOB NO.	MCE-023
SCALE	1" = 60'	SHEET NO.	5 of 6
DRAWN	JIL		
CHKD	JIL		



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NO.	DATE	DESCRIPTION

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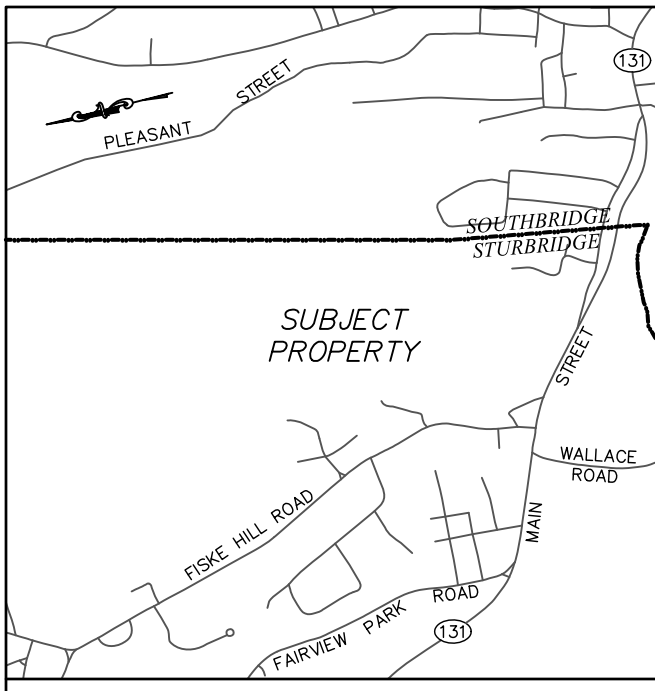
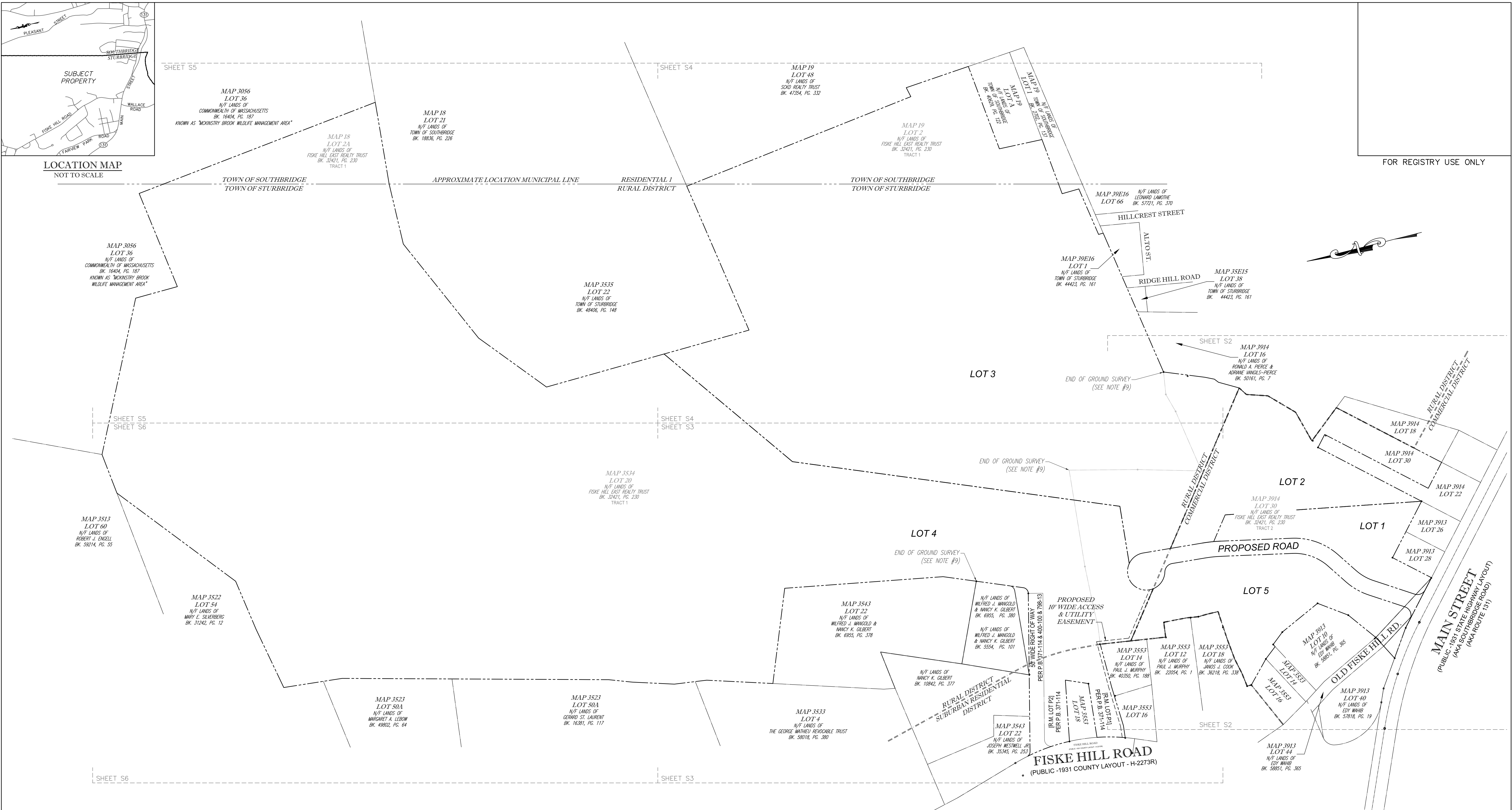
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JOSEPH I. LEVESQUE III
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #63840

DATE	MAY 25, 2020
SCALE	1" = 60'
DRAWN	JIL
CHKD.	JIL

JOB NO.	MCE-023
SHEET NO.	6 of 6



FOR REGISTRY USE ONLY

LOCATION MAP
NOT TO SCALE

NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____ AND RECORDED BY ME ON (DATE) _____.
AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL.

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE

DATE: _____
TOWN CLERK

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

LEGEND:

- BK. BOOK
- BND BOUND
- E EAST
- FND FOUND
- IP IRON PIN
- IR IRON ROD
- L= ARC LENGTH
- N NORTH
- N / F NOW OR FORMERLY
- PC POINT OF CURVE
- PG. PAGE
- PT POINT OF TANGENT
- R= RADIUS
- S SOUTH
- TYP. TYPICAL
- W WEST
- W/ WITH
- WCH WORCESTER COUNTY HIGHWAY BOUND

PROJECT ENGINEER:
McCLURE
ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: pengle@mcclureengineers.com

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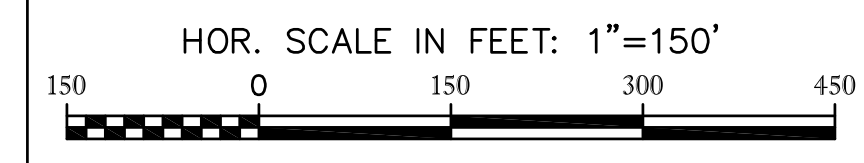
THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

12/4/2020
DATE
JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL
LAND SURVEYOR #53840

REV	DATE	DESCRIPTION	MADE	APP.
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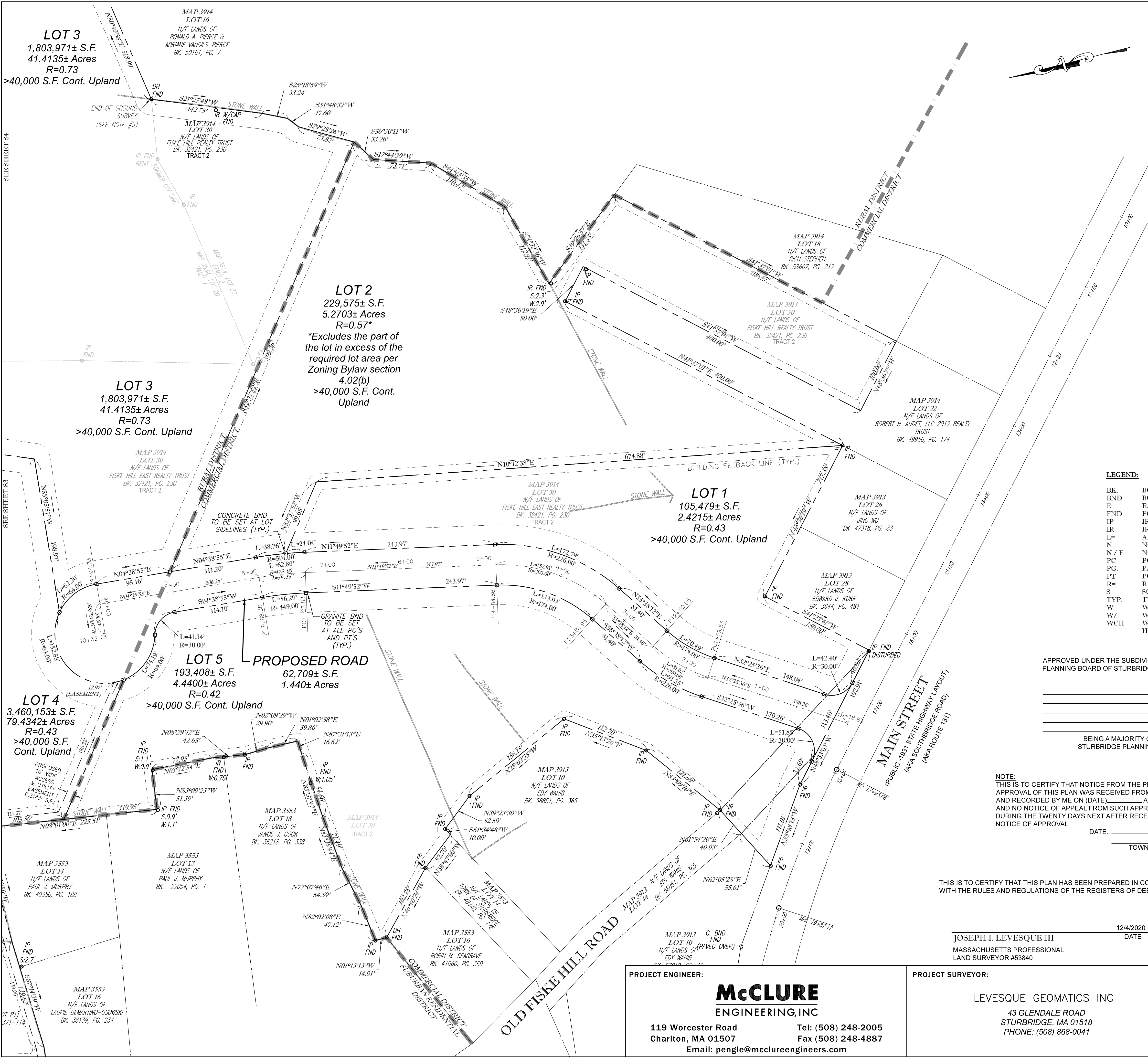
DEFINITIVE SUBDIVISION LOTTING PLAN

LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MASSACHUSETTS 01566
OWNED BY
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518



DRAWN BY: MM FIELD BY: JL
COMP. BY: JL CHK BY: JL
SCALE: 1"=150' DATE: 11/11/20
PROJ. NO. 287-2117-K

SHEET
S1 OF S6



LOT 3
1,803,971± S.F.
41.4135± Acres
R=0.73
>40,000 S.F. Cont. Upland

LOT 2
229,575± S.F.
5.2703± Acres
R=0.57*
*Excludes the part of the lot in excess of the required lot area per Zoning Bylaw section 4.02(b)
>40,000 S.F. Cont. Upland

LOT 3
1,803,971± S.F.
41.4135± Acres
R=0.73
>40,000 S.F. Cont. Upland

LOT 1
105,479± S.F.
2.4215± Acres
R=0.43
>40,000 S.F. Cont. Upland

LOT 5
193,408± S.F.
4.4400± Acres
R=0.42
>40,000 S.F. Cont. Upland

PROPOSED ROAD
62,709± S.F.
1.440± Acres

LOT 4
3,460,153± S.F.
79.4342± Acres
R=0.43
>40,000 S.F. Cont. Upland

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	RURAL RESIDENTIAL
MIN. LOT SIZE	1 ACRE
MIN. FRONTAGE	150'
MIN. FRONT YARD DEPTH	30'
MIN. SIDE YARD DEPTH	20'
MIN. REAR YARD DEPTH	20'
MAX. BUILDING HEIGHT	35' / 2 STORIES
MAX. LOT COVERAGE	15%

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	COMMERCIAL
MIN. LOT SIZE	1 ACRE
MIN. FRONTAGE	150'
MIN. FRONT YARD DEPTH	25'
MIN. SIDE YARD DEPTH	10'
MIN. REAR YARD DEPTH	10'
MAX. BUILDING HEIGHT	35' / 3 STORIES
MAX. LOT COVERAGE	30%
MAX. IMPERVIOUS	70%

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	SUBURBAN RESIDENTIAL
MIN. LOT SIZE	3/4 ACRE*
MIN. FRONTAGE	125'
MIN. FRONT YARD DEPTH	30'
MIN. SIDE YARD DEPTH	15'
MIN. REAR YARD DEPTH	15'
MAX. BUILDING HEIGHT	35' / 2 STORIES
MAX. LOT COVERAGE	15%

DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	RESIDENTIAL 1
MIN. LOT SIZE	22,500 S.F.
MIN. FRONTAGE	125'
MIN. FRONT YARD DEPTH	30'
MIN. SIDE YARD DEPTH	20'
MIN. REAR YARD DEPTH	35'
MAX. BUILDING HEIGHT	35' / 2.5 STORIES
MAX. LOT COVERAGE	30%

*1/2 ACRE AREA ALLOWED IF LOT IS SERVICED BY TOWN WATER AND SEWER.

- NOTES:**
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TOTAL = 5,855,297 SF OR 134 AC±
 - THE BEARING BASIS OF THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY LEVESQUE GEOMATICS INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY LEC ENVIRONMENTAL CONSULTANTS IN FEBRUARY 2020 AND FIELD LOCATED BY LEVESQUE GEOMATICS INC. APRIL 2020.
 - THE PROPERTY SHOWN IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP 25027C0933E & 25027C0931E WITH AN EFFECTIVE DATE OF 7/04/2011.
 - GRANITE BOUNDS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS. AT POINTS OF CHANGE IN DIRECTION OR CURVATURE OF STREET SIDE LINES, ARCS ON CURVES AT INTERVALS OF 300 FEET AND ALL EASEMENT BOUNDARIES. PRE-CAST REINFORCED CONCRETE BOUNDS SHALL BE INSTALLED AT AT LEAST ONE (1) SIDE LINE OF EACH LOT. SEE PLAN FOR PROPOSED BOUND LOCATIONS.
 - PROPERTY LINES SHOWN NORTH OF THE POINTS NOTED ARE BASED ON PLAN BOOK 371, PLAN 114 & PLAN BOOK 474, PLAN 39 AND ARE NOT THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY LEVESQUE GEOMATICS, INC.

- LEGEND:**
- BK. BOOK
 - BND BOUND
 - E EAST
 - FND FOUND
 - IP IRON PIN
 - IR IRON ROD
 - L- ARC LENGTH
 - N NORTH
 - N / F NOW OR FORMERLY
 - PC POINT OF CURVE
 - PG. PAGE
 - PT POINT OF TANGENT
 - R= RADIUS
 - S SOUTH
 - TYP. TYPICAL
 - W WEST
 - W/ WITH
 - WCH WORCESTER COUNTY HIGHWAY BOUND

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____ AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL

DATE: _____
TOWN CLERK

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #53840

PROJECT SURVEYOR:
LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041

PROJECT ENGINEER:
McCLURE
ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: pengle@mcclureengineers.com

PLAN REFERENCES:

PLAN BOOK	PLAN #
23	79
68	31
104	36
207	69
371	114
400	100
438	54
474	39
681	96
682	105
798	13
853	51

REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REVISION PER CLIENT	PE	JL
2	5.28.21	REVISION PER PEER REVIEW	WCN	PE

DEFINITIVE SUBDIVISION LOTTING PLAN

LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MASSACHUSETTS 01566
OWNED BY
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518

HOR. SCALE IN FEET: 1"=60'
60 0 60 120 180

DRAWN BY: MM **FIELD BY:** JL
COMP. BY: JL **CHK BY:** JL
SCALE: 1"=60' **DATE:** 11/11/2020
PROJ. NO. 287-2117-K

SHEET
S2 OF S6

MAP 3534
LOT 20
N/F LANDS OF
FISKE HILL EAST REALTY TRUST
BK. 32421, PG. 230
TRACT 1

LOT 3
1,803,971± S.F.
41.4135± Acres
R=0.73
>40,000 S.F. Cont. Upland

LOT 2
229,575± S.F.
5.2703± Acres
R=0.57*
*Excludes the part of
the lot in excess of the
required lot area per
Zoning Bylaw section
4.02(b)
>40,000 S.F. Cont.
Upland

LOT 3
1,803,971± S.F.
41.4135± Acres
R=0.73
>40,000 S.F. Cont. Upland

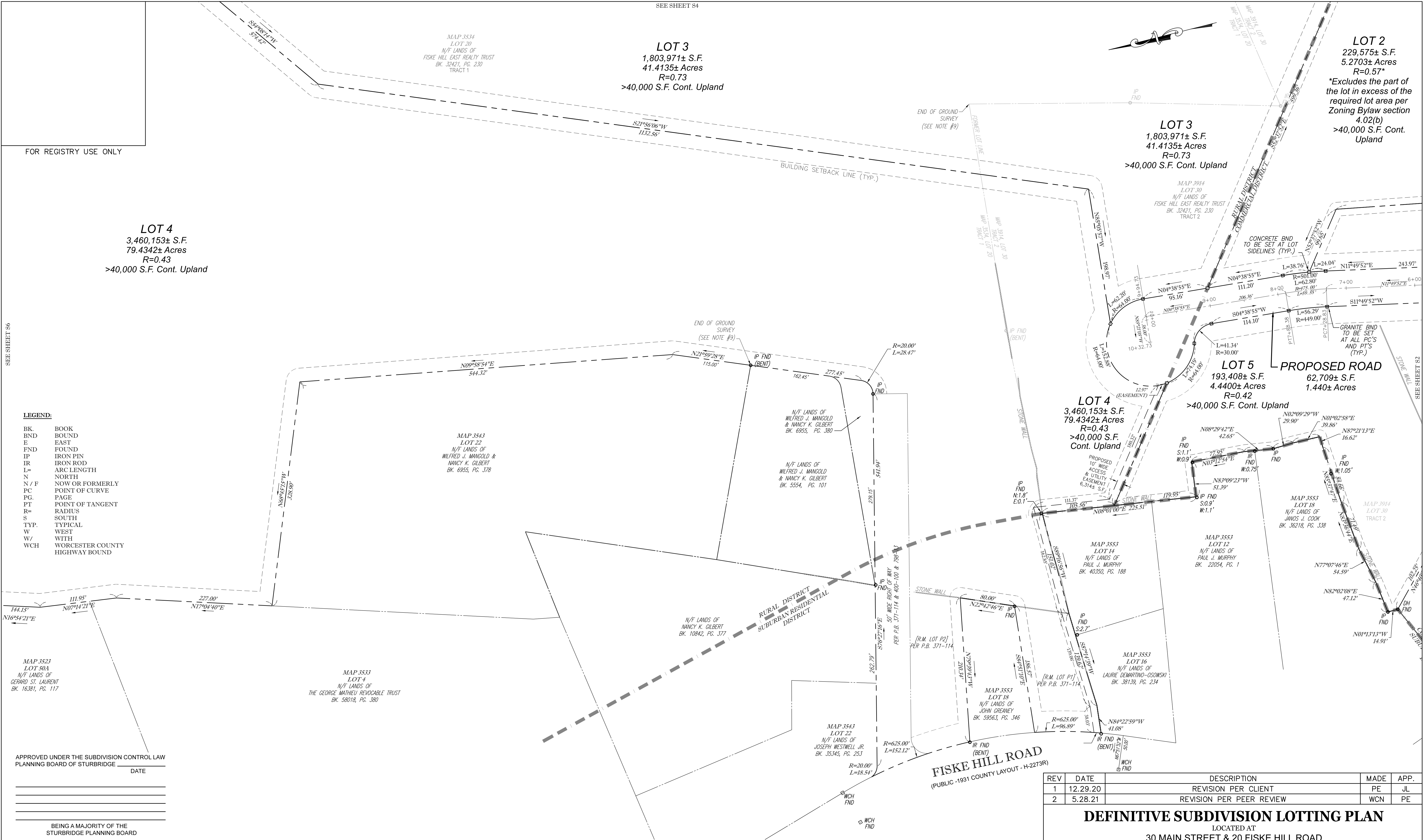
LOT 4
3,460,153± S.F.
79.4342± Acres
R=0.43
>40,000 S.F. Cont. Upland

LOT 4
3,460,153± S.F.
79.4342± Acres
R=0.43
>40,000 S.F.
Cont. Upland

LOT 5
193,408± S.F.
4.4400± Acres
R=0.42
>40,000 S.F. Cont. Upland

PROPOSED ROAD
62,709± S.F.
1.440± Acres

- LEGEND:**
- BK. BOOK
 - BND BOUND
 - E EAST
 - FND FOUND
 - IP IRON PIN
 - IR IRON ROD
 - L= ARC LENGTH
 - N NORTH
 - N / F NOW OR FORMERLY
 - PC POINT OF CURVE
 - PG. PAGE
 - PT POINT OF TANGENT
 - R= RADIUS
 - S SOUTH
 - TYP. TYPICAL
 - W WEST
 - W/ WITH
 - WCH WORCESTER COUNTY HIGHWAY BOUND



MAP 3523
LOT 50A
N/F LANDS OF
GERARD ST. LAURENT
BK. 16361, PG. 117

MAP 3533
LOT 4
N/F LANDS OF
THE GEORGE MATHIEU REVOCABLE TRUST
BK. 58018, PG. 380

MAP 3543
LOT 22
N/F LANDS OF
WILFRED J. MANCOLD &
NANCY K. GILBERT
BK. 6955, PG. 378

N/F LANDS OF
WILFRED J. MANCOLD
& NANCY K. GILBERT
BK. 6955, PG. 380

N/F LANDS OF
WILFRED J. MANCOLD
& NANCY K. GILBERT
BK. 5554, PG. 101

N/F LANDS OF
NANCY K. GILBERT
BK. 10842, PG. 377

MAP 3543
LOT 22
N/F LANDS OF
JOSEPH WESTWELL JR.
BK. 35345, PG. 253

MAP 3553
LOT 18
N/F LANDS OF
JOHN GREANEY
BK. 59563, PG. 346

MAP 3553
LOT 16
N/F LANDS OF
LAURIE DEMARTINO-OSOWSKI
BK. 38139, PG. 234

MAP 3553
LOT 12
N/F LANDS OF
PAUL J. MURPHY
BK. 22054, PG. 1

MAP 3553
LOT 18
N/F LANDS OF
JAMES J. COOK
BK. 36218, PG. 338

MAP 3914
LOT 30
TRACT 2

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE
APPROVAL OF THIS PLAN WAS RECEIVED FROM _____
AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____
AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL
LAND SURVEYOR #53940

12/4/2020
DATE

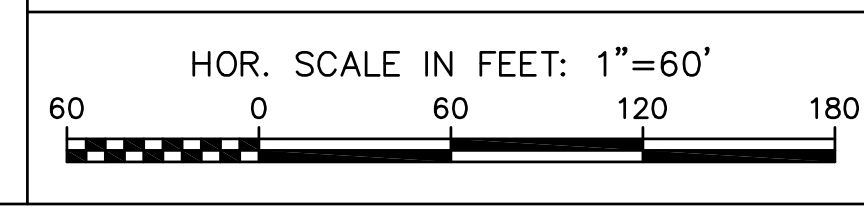
PROJECT ENGINEER:
McCLURE
ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: pengle@mcclureengineers.com

PROJECT SURVEYOR:
LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041

REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REVISION PER CLIENT	PE	JL
2	5.28.21	REVISION PER PEER REVIEW	WCN	PE

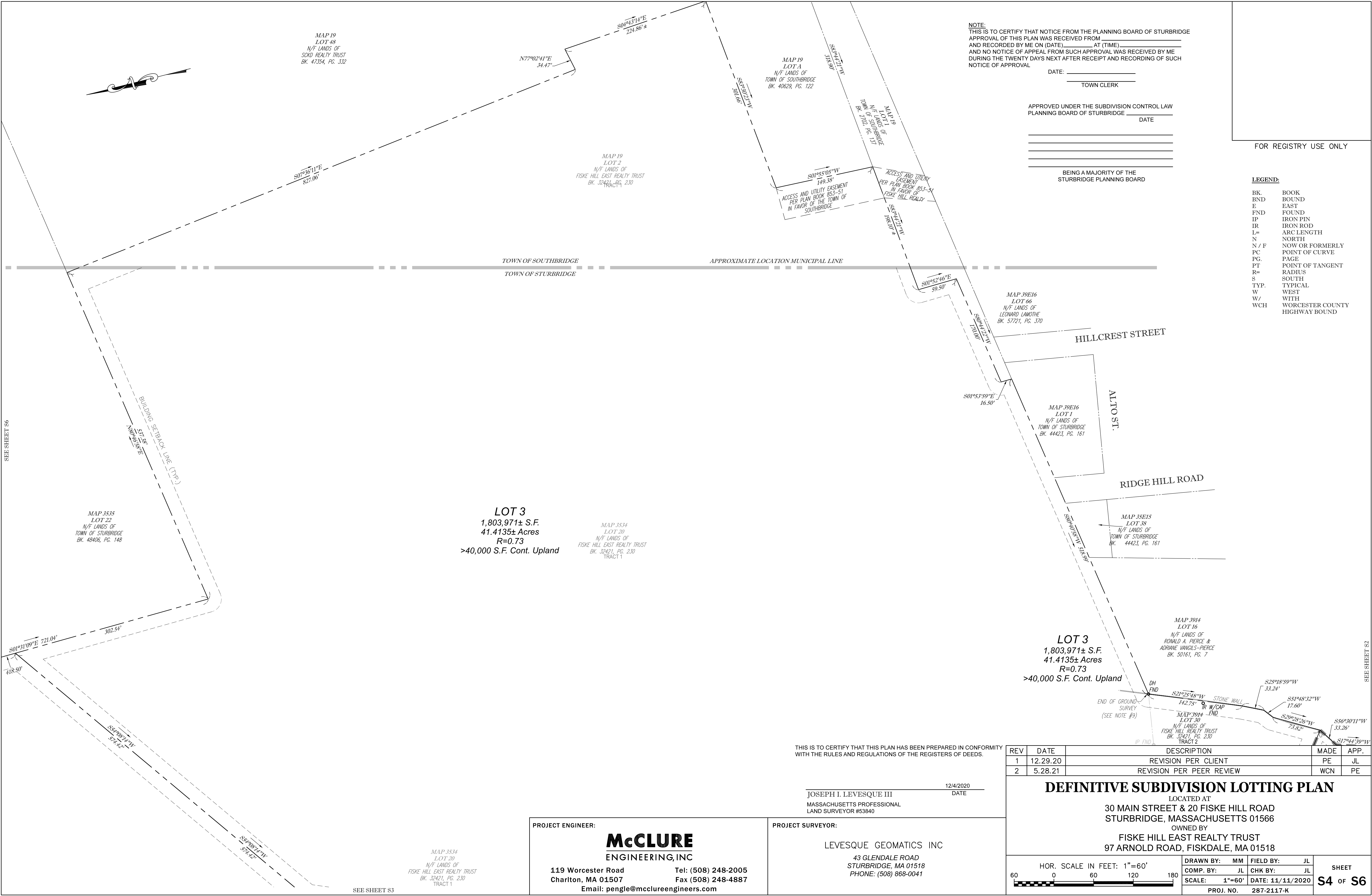
DEFINITIVE SUBDIVISION LOTTING PLAN

LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MASSACHUSETTS 01566
OWNED BY
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518



DRAWN BY: MM FIELD BY: JL
COMP. BY: JL CHK BY: JL
SCALE: 1"=60' DATE: 11/11/2020
PROJ. NO. 287-2117-K

SHEET
S3 OF S6



NOTE:
 THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE
 APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____
 AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____
 AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
 DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
 NOTICE OF APPROVAL

DATE: _____
 TOWN CLERK _____
 APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE _____ DATE _____

 BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD

FOR REGISTRY USE ONLY

- LEGEND:
- BK. BOOK
 - BND BOUND
 - E EAST
 - FND FOUND
 - IP IRON PIN
 - IR IRON ROD
 - L= ARC LENGTH
 - N NORTH
 - N / F NOW OR FORMERLY
 - PC POINT OF CURVE
 - PG. PAGE
 - PT POINT OF TANGENT
 - R= RADIUS
 - S SOUTH
 - TYP. TYPICAL
 - W WEST
 - W/ WITH
 - WCH WORCESTER COUNTY HIGHWAY BOUND

LOT 3
 1,803,971± S.F.
 41.4135± Acres
 R=0.73
 >40,000 S.F. Cont. Upland

LOT 3
 1,803,971± S.F.
 41.4135± Acres
 R=0.73
 >40,000 S.F. Cont. Upland

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
 WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

12/4/2020
 DATE
 JOSEPH I. LEVESQUE III
 MASSACHUSETTS PROFESSIONAL
 LAND SURVEYOR #53840

PROJECT ENGINEER:
McCLURE
 ENGINEERING, INC
 119 Worcester Road
 Charlton, MA 01507
 Email: pengle@mcclureengineers.com
 Tel: (508) 248-2005
 Fax (508) 248-4887

PROJECT SURVEYOR:
 LEVESQUE GEOMATICS INC
 43 GLENDALE ROAD
 STURBRIDGE, MA 01518
 PHONE: (508) 868-0041

REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REVISION PER CLIENT	PE	JL
2	5.28.21	REVISION PER PEER REVIEW	WCN	PE

DEFINITIVE SUBDIVISION LOTTING PLAN
 LOCATED AT
 30 MAIN STREET & 20 FISKE HILL ROAD
 STURBRIDGE, MASSACHUSETTS 01566
 OWNED BY
 FISKE HILL EAST REALTY TRUST
 97 ARNOLD ROAD, FISKDALE, MA 01518

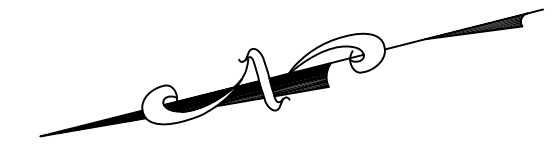
HOR. SCALE IN FEET: 1"=60'
 60 0 60 120 180

DRAWN BY: MM	FIELD BY: JL	SHEET S4 OF S6
COMP. BY: JL	CHK BY: JL	
SCALE: 1"=60'	DATE: 11/11/2020	PROJ. NO. 287-2117-K

SEE SHEET S6

SEE SHEET S2

SEE SHEET S3



MAP 3056
LOT 36
N/F LANDS OF
COMMONWEALTH OF MASSACHUSETTS
BK. 16404, PG. 187
KNOWN AS "MCKINSTRY BROOK WILDLIFE
MANAGEMENT AREA"

MAP 18
LOT 2A
N/F LANDS OF
FISKE HILL EAST REALTY TRUST
BK. 32421, PG. 230
TRACT 1

MAP 18
LOT 21
N/F LANDS OF
TOWN OF SOUTHBURIDGE
BK. 18836, PG. 226

TOWN OF SOUTHBURIDGE
TOWN OF STURBRIDGE

APPROXIMATE LOCATION MUNICIPAL LINE

LOT 4
3,460,153± S.F.
79.4342± Acres
R=0.43
>40,000 S.F. Cont. Upland

MAP 3056
LOT 36
N/F LANDS OF
COMMONWEALTH OF MASSACHUSETTS
BK. 16404, PG. 187
KNOWN AS "MCKINSTRY BROOK
WILDLIFE MANAGEMENT AREA"

MAP 3534
LOT 20
N/F LANDS OF
FISKE HILL EAST REALTY TRUST
BK. 32421, PG. 230
TRACT 1

MAP 3535
LOT 22
N/F LANDS OF
TOWN OF SOUTHBURIDGE
BK. 48406, PG. 148

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE

DATE

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

NOTE:
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DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL

DATE: _____
TOWN CLERK

LEGEND:

- BK. BOOK
- BND BOUND
- E EAST
- FND FOUND
- IP IRON PIN
- IR IRON ROD
- L= ARC LENGTH
- N NORTH
- N / F NOW OR FORMERLY
- PC POINT OF CURVE
- PG. PAGE
- PT POINT OF TANGENT
- R= RADIUS
- S SOUTH
- TYP. TYPICAL
- W WEST
- W/ WITH
- WCH WORCESTER COUNTY HIGHWAY BOUND

FOR REGISTRY USE ONLY

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

12/4/2020
DATE

JOSEPH I. LEVESQUE III
MASSACHUSETTS PROFESSIONAL
LAND SURVEYOR #53840

PROJECT ENGINEER:

McCLURE
ENGINEERING, INC

119 Worcester Road Tel: (508) 248-2005
Charlton, MA 01507 Fax (508) 248-4887
Email: pengle@mcclureengineers.com

PROJECT SURVEYOR:

LEVESQUE GEOMATICS INC

43 GLENDALE ROAD
STURBRIDGE, MA 01518
PHONE: (508) 868-0041

REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REVISION PER CLIENT	PE	JL
2	5.28.21	REVISION PER PEER REVIEW	WCN	PE

DEFINITIVE SUBDIVISION LOTTING PLAN

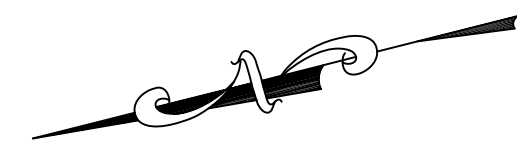
LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MASSACHUSETTS 01566
OWNED BY
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518

HOR. SCALE IN FEET: 1"=60'

DRAWN BY: MM	FIELD BY: JL	SHEET S5 of S6
COMP. BY: JL	CHK BY: JL	
SCALE: 1"=60'	DATE: 11/11/2020	PROJ. NO. 287-2117-K

SEE SHEET S6

SEE SHEET S4



FOR REGISTRY USE ONLY

SEE SHEETS S

LOT 4
 3,460,153± S.F.
 79.4342± Acres
 R=0.43
 >40,000 S.F. Cont. Upland

MAP 3056
 LOT 36
 N/F LANDS OF
 COMMONWEALTH OF MASSACHUSETTS
 BK. 1640A, PG. 187
 KNOWN AS "MCKINSTRY BROOK
 WILDLIFE MANAGEMENT AREA"

MAP 3513
 LOT 60
 N/F LANDS OF
 ROBERT J. ENGELL
 BK. 39214, PG. 55

MAP 3534
 LOT 20
 N/F LANDS OF
 FISKE HILL EAST REALTY TRUST
 BK. 32421, PG. 230
 TRACT 1

MAP 3522
 LOT 54
 N/F LANDS OF
 MARY E. SILVERBERG
 BK. 31242, PG. 12

MAP 3523
 LOT 50A
 N/F LANDS OF
 MARGARET A. LEBOW
 BK. 49802, PG. 64

MAP 3523
 LOT 50A
 N/F LANDS OF
 GERARD ST. LAURENT
 BK. 16381, PG. 117

- LEGEND:**
- BK BOOK
 - BND BOUND
 - E EAST
 - FND FOUND
 - IP IRON PIN
 - IR IRON ROD
 - L= ARC LENGTH
 - N NORTH
 - N / F NOW OR FORMERLY
 - PC POINT OF CURVE
 - PG PAGE
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 - S SOUTH
 - TYP. TYPICAL
 - W WEST
 - W/ WITH
 - WCH WORCESTER COUNTY HIGHWAY BOUND

NOTE:
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DATE: _____
 TOWN CLERK

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE _____
 DATE _____

BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD

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JOSEPH I. LEVESQUE III
 MASSACHUSETTS PROFESSIONAL
 LAND SURVEYOR #53840

12/4/2020
 DATE

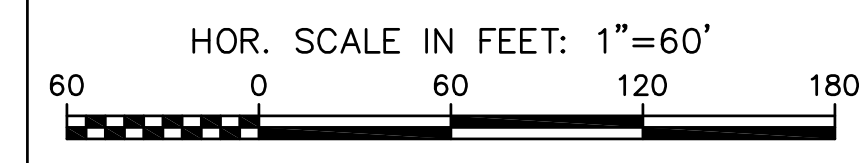
PROJECT ENGINEER:
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 ENGINEERING, INC
 119 Worcester Road
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 LEVESQUE GEOMATICS INC
 43 GLENDALE ROAD
 STURBRIDGE, MA 01518
 PHONE: (508) 868-0041

REV	DATE	DESCRIPTION	MADE	APP.
1	12.29.20	REVISION PER CLIENT	PE	JL
2	5.28.21	REVISION PER PEER REVIEW	WCN	PE

DEFINITIVE SUBDIVISION LOTTING PLAN

LOCATED AT
 30 MAIN STREET & 20 FISKE HILL ROAD
 STURBRIDGE, MASSACHUSETTS 01566
 OWNED BY
 FISKE HILL EAST REALTY TRUST
 97 ARNOLD ROAD, FISKDALE, MA 01518



DRAWN BY: MM	FIELD BY: JL
COMP. BY: JL	CHK BY: JL
SCALE: 1"=60'	DATE: 11/11/2020
PROJ. NO. 287-2117-K	

SHEET
S6 of S6

- GENERAL CONSTRUCTION NOTES:**
- THE CONSTRUCTION SHALL CONFORM TO THE STANDARDS AS SET BY THE STURBRIDGE PLANNING BOARD SUBDIVISION RULES AND REGULATIONS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
 - ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE TOWN OF STURBRIDGE SPECIFICATIONS AND DETAILS OR IN THE ABSENCE OF APPROPRIATE STANDARDS, THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", SHALL APPLY.
 - ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
 - THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
 - UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
 - WORK WITHIN THE MAIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CONDITIONS OF THE PERMIT ISSUED BY THE TOWN OF STURBRIDGE D.P.W.
 - ALL CONSTRUCTION CONTROL SHALL BE BASED ON THE DEFINITIVE SUBDIVISION PLAN AS APPROVED AND ENDORSED BY THE TOWN STURBRIDGE PLANNING BOARD AS RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS.

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE

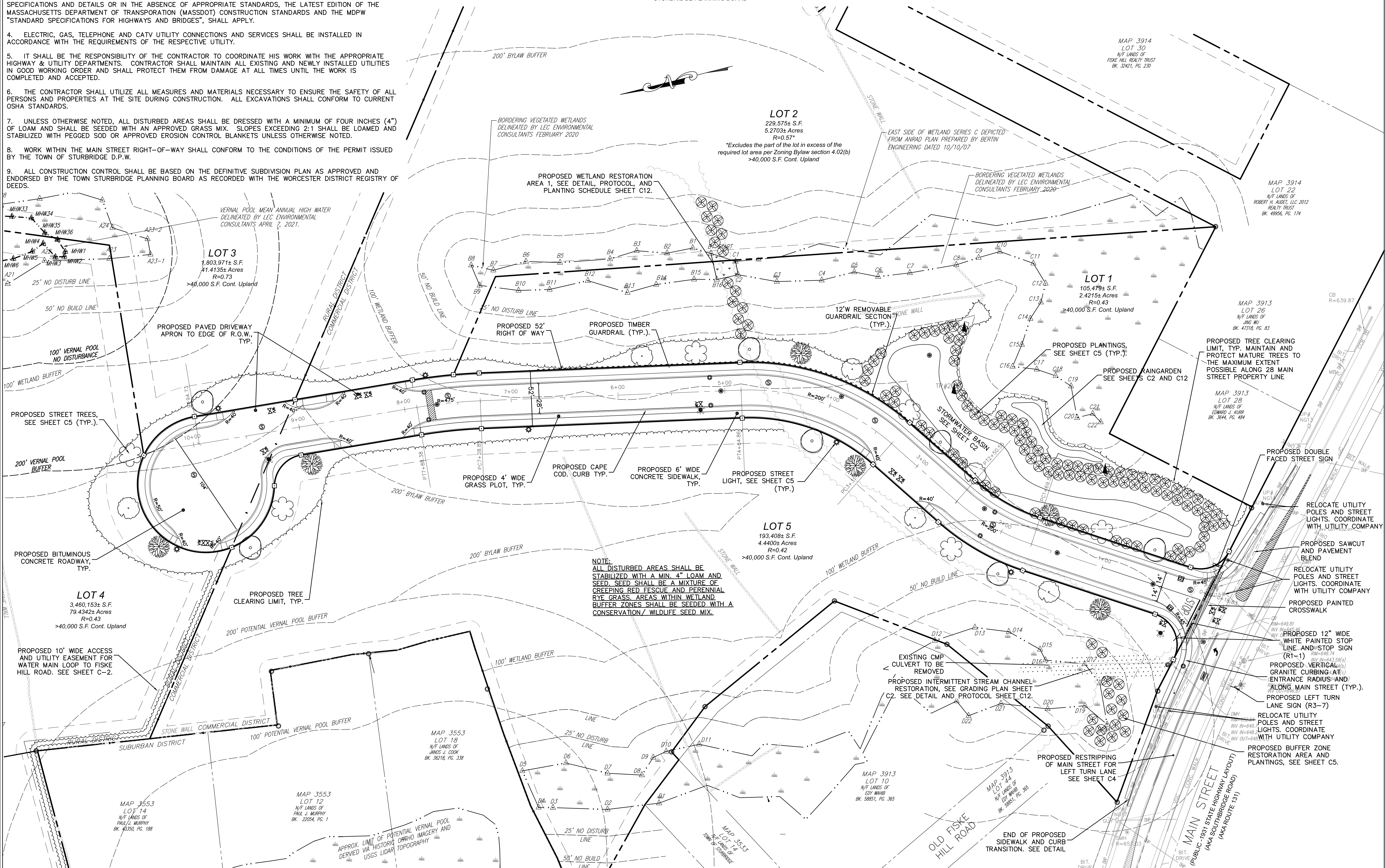
DATE: _____

BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD

TOWN CLERK

NOTE:
 THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE
 APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____
 AND RECORDED BY ME ON (DATE) _____
 AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
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 NOTICE OF APPROVAL

DATE: _____



PETER C. ENGLE, P.E.
 PROFESSIONAL ENGINEER
 MA LIC. NO. 53736

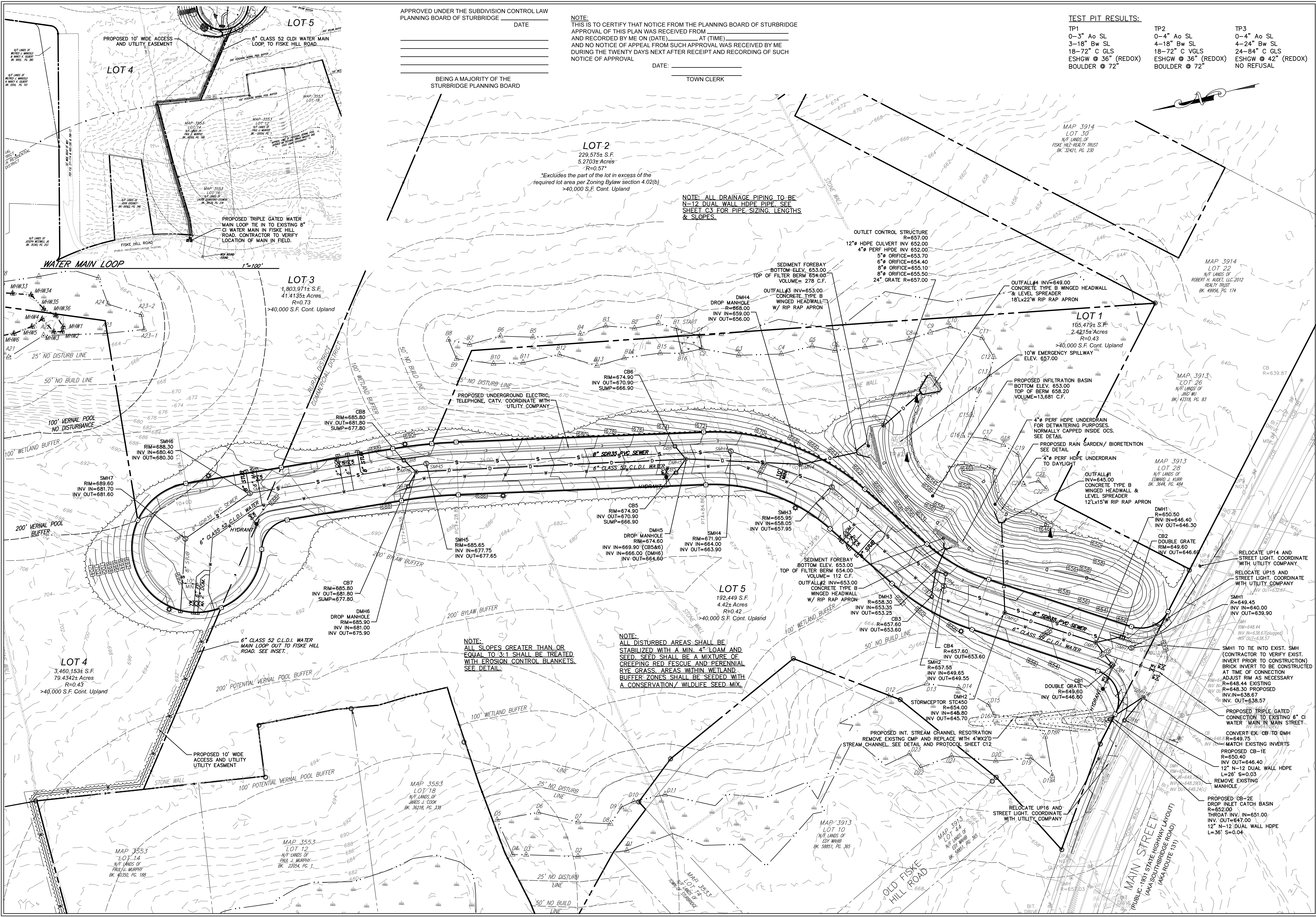
McCLURE ENGINEERING, INC.
 119 Worcester Road
 Charlton, MA 01507
 Tel: (508) 248-2005
 Fax: (508) 248-4887
 Email: pengle@mcclureengineers.com

DEFINITIVE SUBDIVISION PLAN
 LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
 STURBRIDGE, MA 01566
 PREPARED FOR
FISKE HILL EAST REALTY TRUST
 97 ARNOLD ROAD, FISKE DALE, MA 01518

DRAWN BY: MM
DATE: 11/11/2020
CHK BY: PCF
SCALE: 1"=40'
PROJ. NO.: 287-2117-K

LAYOUT AND MATERIALS PLAN

C1



APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE

DATE: _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

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APPROVAL OF THIS PLAN WAS RECEIVED FROM _____
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AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL

DATE: _____

TOWN CLERK

TEST PIT RESULTS:

TP1	TP2	TP3
0-3" Ao SL	0-4" Ao SL	0-4" Ao SL
3-18" Bw SL	4-18" Bw SL	4-24" Bw SL
18-72" C GLS	18-72" C VGLS	24-84" C GLS
ESHGW @ 36" (REDOX)	ESHGW @ 36" (REDOX)	ESHGW @ 42" (REDOX)
BOULDER @ 72"	BOULDER @ 72"	NO REFUSAL

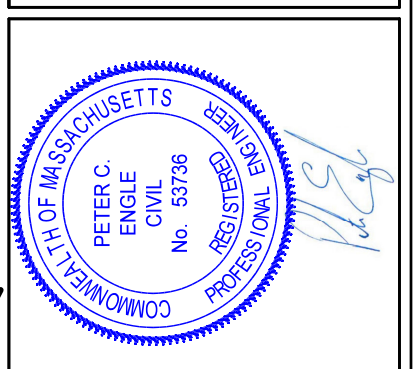
SCALE IN FEET: 1"=40'

HOR. 0 40 80 120

REV.	DATE	DESCRIPTION	MADE BY	APVD BY
1	12.29.20	REV. PER CLIENT	WN	PE
2	5.28.21	REV. PER PEER REVIEW	WN	PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER

MA LIC. NO. 53736



McCLURE
ENGINEERING, INC

119 Worcester Road
Charlton, MA 01507

Tel: (508) 248-2005
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DEFINITIVE SUBDIVISION PLAN
LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MA 01566

PREPARED FOR
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518

DRAWN BY: MM
DATE: 11/11/2020
CHK BY: PCE
SCALE: 1"=40'
PROJ. NO. 287-2117-K

GRADING AND UTILITIES PLAN

C2

NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE
APPROVAL OF THIS PLAN WAS RECEIVED FROM _____
AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____
AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL

DATE: _____
TOWN CLERK _____

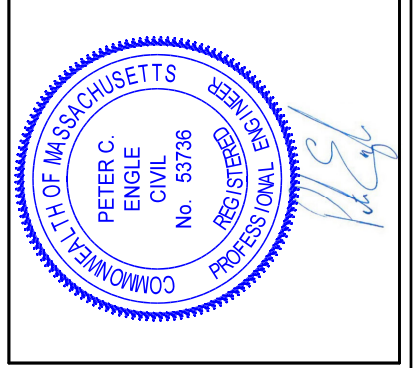
APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD



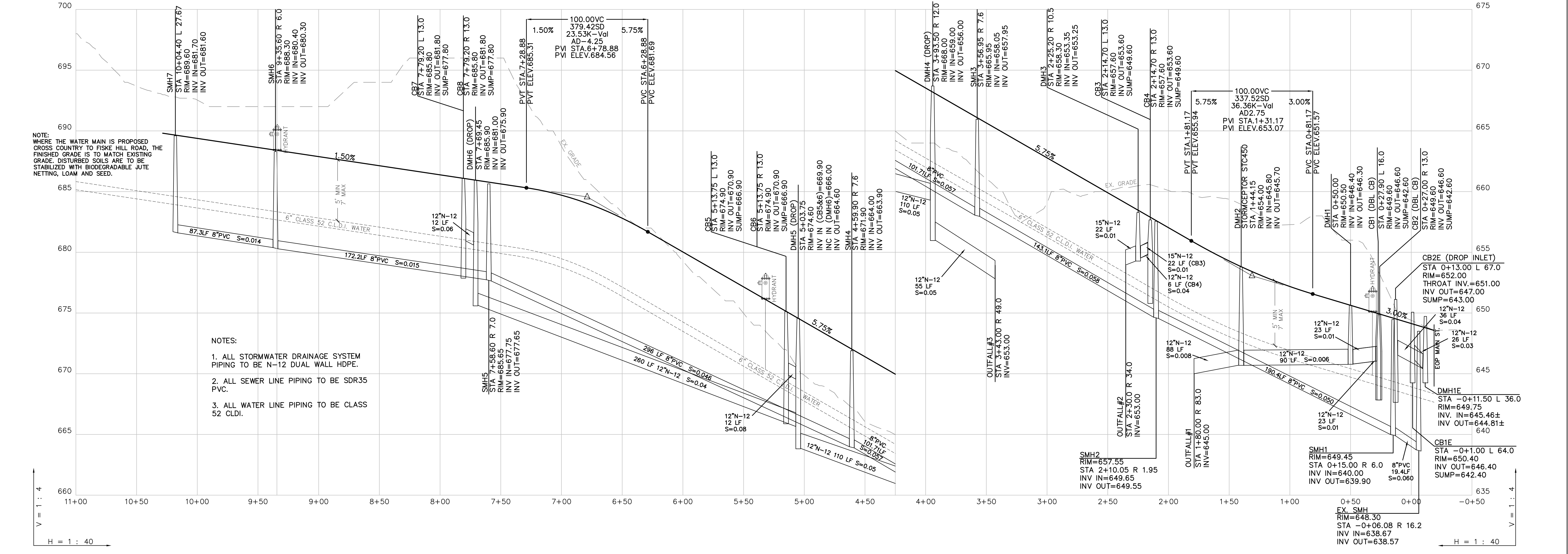
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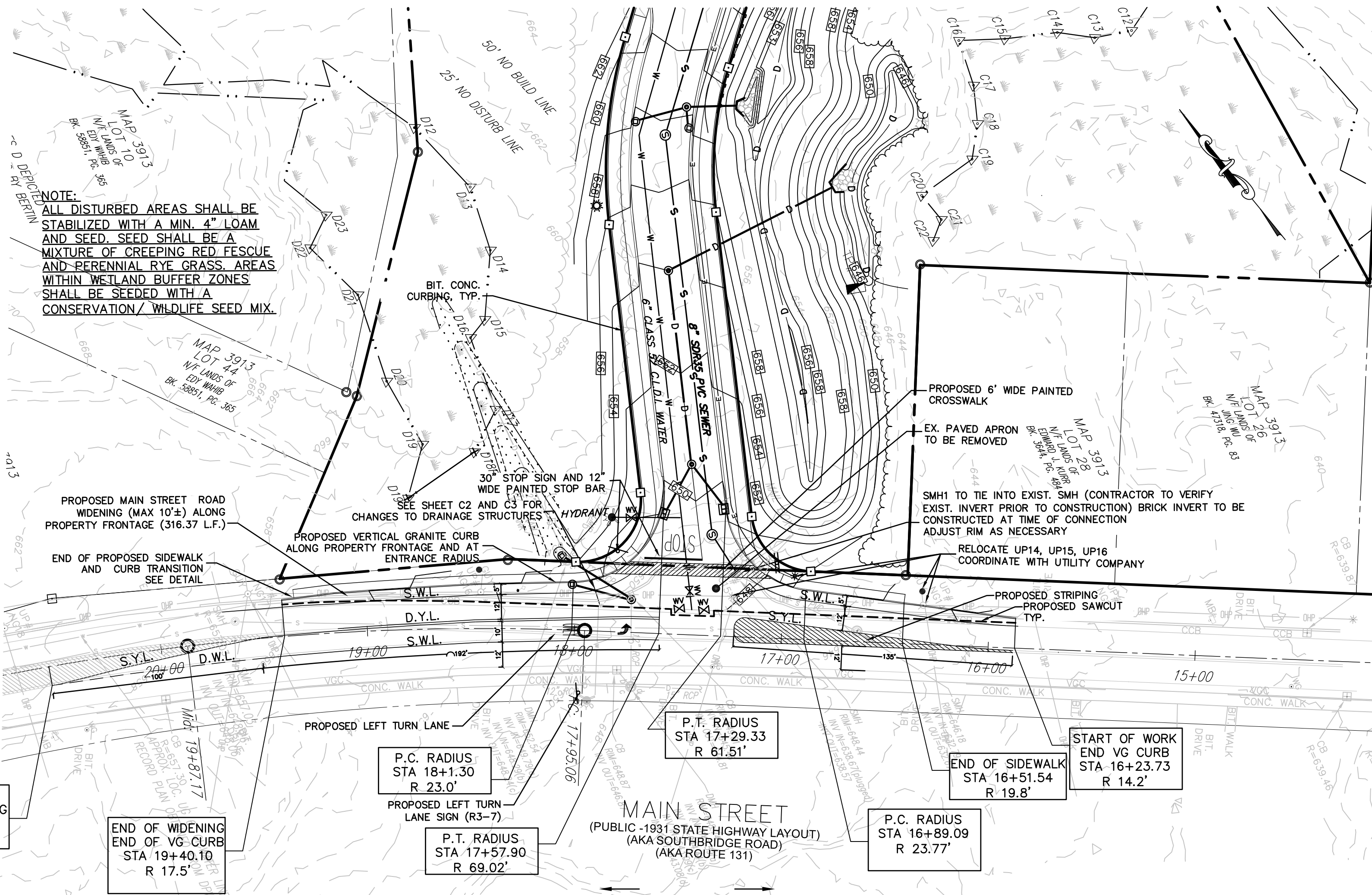
NOTE:
WHERE THE WATER MAIN IS PROPOSED
CROSS COUNTRY TO FISKE HILL ROAD, THE
FINISHED GRADE IS TO MATCH EXISTING
GRADE. DISTURBED SOILS ARE TO BE
STABILIZED WITH BIODEGRADABLE JUTE
NETTING, LOAM AND SEED.

- NOTES:
1. ALL STORMWATER DRAINAGE SYSTEM PIPING TO BE N-12 DUAL WALL HDPE.
 2. ALL SEWER LINE PIPING TO BE SDR35 PVC.
 3. ALL WATER LINE PIPING TO BE CLASS 52 CLDI.

DRAWN BY: MM
DATE: 11/11/2020
CHK BY: PCF
SCALE: 1"=40'
PROJ. NO. 287-2117-K

ROADWAY
PLAN/PROFILE

C3



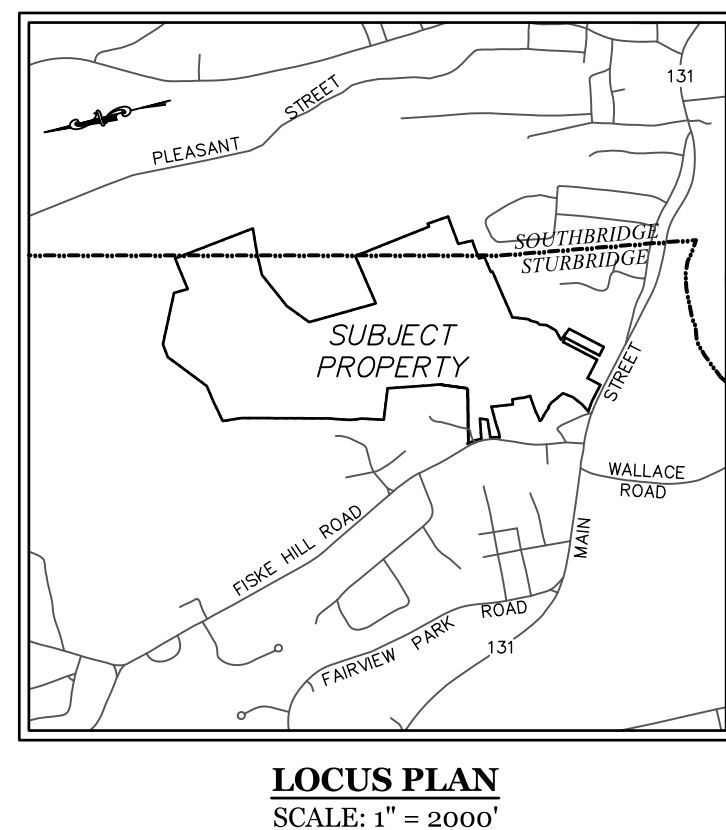
NOTE:
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DATE: _____

TOWN CLERK _____

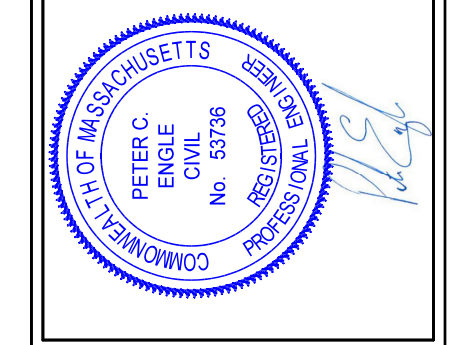
APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD



REV.	DATE	DESCRIPTION	MADE BY	APVD BY
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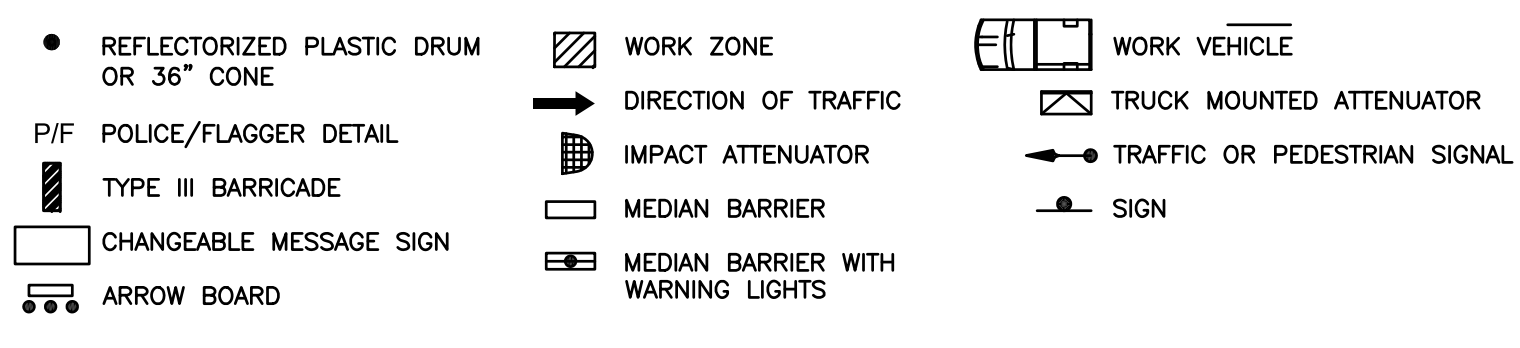
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DRAWN BY: MM
DATE: 11/11/2020
CHK BY: PCE
SCALE: 1"=40'
PROJ. NO. 287-2117-K
CURB CUT/ TRAFFIC MANAGEMENT PLAN & DETAILS
C4

NOTES:

- ALL TEMPORARY TRAFFIC CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY EACH ABUTTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
- THE ADVISORY SPEED LIMIT, IF REQUIRED, SHALL BE DETERMINED BY THE ENGINEER.
- DISTANCES ARE A GUIDE AND MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- ALL SIGNS SHALL BE MOUNTED ON THEIR OWN STANDARD SIGN SUPPORTS.

LEGEND:



DIG-SAFE (1-888-344-7233) NOTE:
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

STOPPING SIGHT DISTANCE AS A FUNCTION OF SPEED

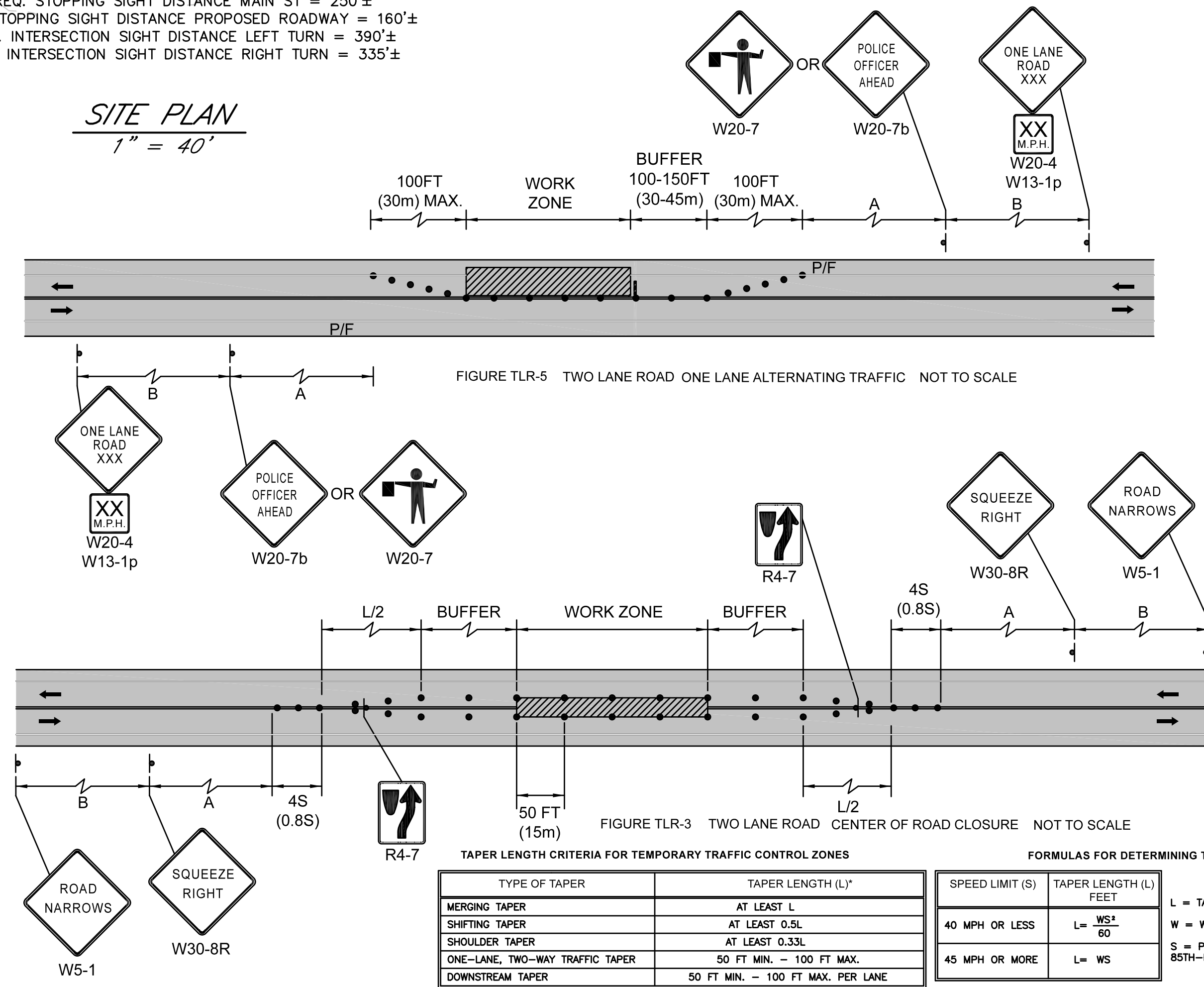
SPEED* (mph)	DISTANCE (ft)
20	115
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730
75	820

*POSTED SPEED, OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED

THESE VALUES MAY BE USED TO DETERMINE THE LENGTH OF LONGITUDINAL BUFFER SPACES.

THE DISTANCES IN THE ABOVE CHART REPRESENT THE MINIMAL VALUES FOR BUFFER SPACING.

SITE PLAN
1" = 40'



TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES

TYPE OF TAPER	TAPER LENGTH (L)*
MERGING TAPER	AT LEAST L
SHIFTING TAPER	AT LEAST 0.5L
SHOULDER TAPER	AT LEAST 0.33L
ONE-LANE, TWO-WAY TRAFFIC TAPER	50 FT MIN. - 100 FT MAX.
DOWNSTREAM TAPER	50 FT MIN. - 100 FT MAX. PER LANE

FORMULAS FOR DETERMINING TAPER LENGTHS

SPEED LIMIT (S)	TAPER LENGTH (L) FEET
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR MORE	$L = WS$

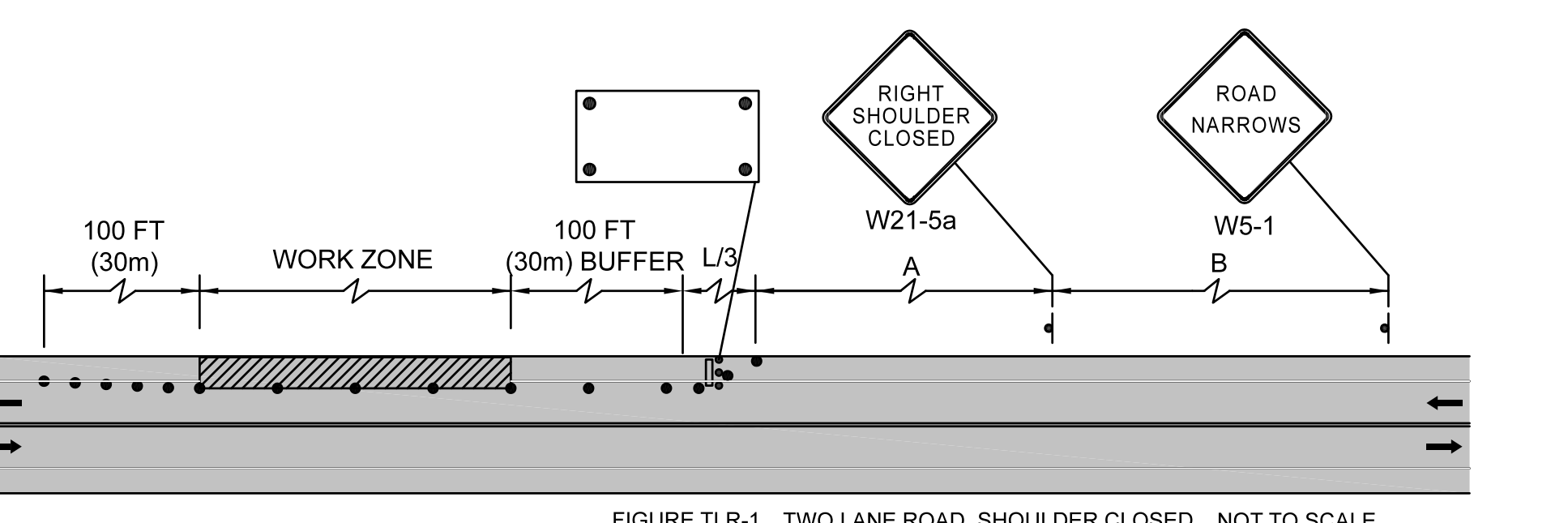
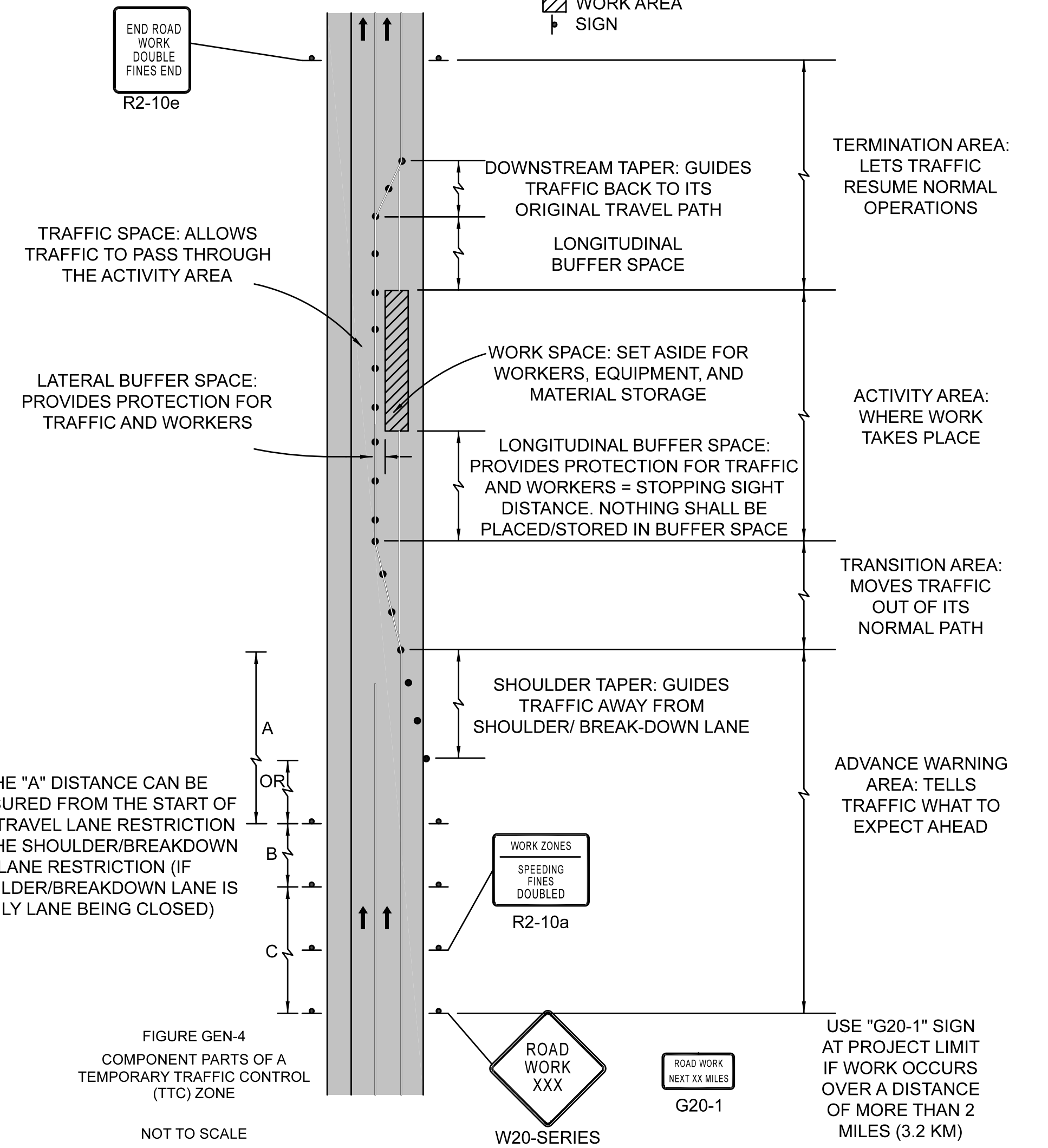
SUGGESTED WORK ZONE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS **		
	A	B	C
LOCAL OR LOW VOLUME ROADWAYS	350	350	350
MOST OTHER ROADWAYS	500	500	500
FREWAYS AND EXPRESSWAYS	1,000	1,500	2,640

THE FIRST AND SECOND WARNING SIGNS ABOVE ARE REFERRED TO AS THE OPERATIONAL (DAY-TO-DAY) WORK ZONE SIGNS AND MAY BE MOVED DEPENDING ON WHERE THE SPECIFIC ROADWAY WORK FOR THAT DAY IS LOCATED.

R2-10a SIGNS SHALL BE PLACED BETWEEN THE SECOND AND THIRD SIGNS AS DESCRIBED ABOVE.

R2-10a, R2-10a, AND W20-1 SERIES SIGNS ARE TO BE INCLUDED ON ALL DETAILS/TYPICAL SETUPS.



LEGEND

- ↑ DIRECTION OF TRAVEL
- CHANNELIZING DEVICE
- ▨ WORK AREA
- ▬ SIGN

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

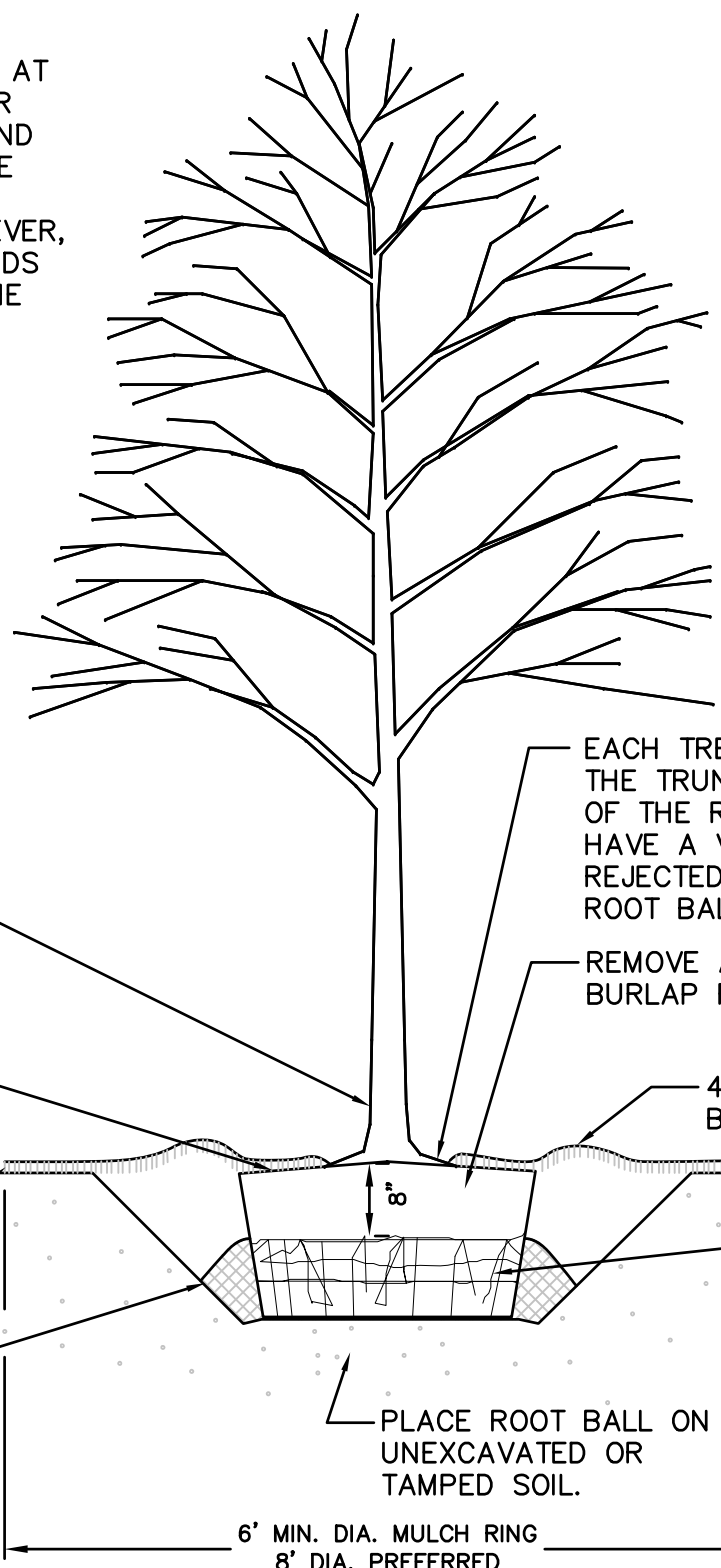
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE, WHEREVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IS SLOWLY DRAINING SOILS.

2" MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED FREE FOR A MINIMUM OF 3 YEARS AFTER PLANTING.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.



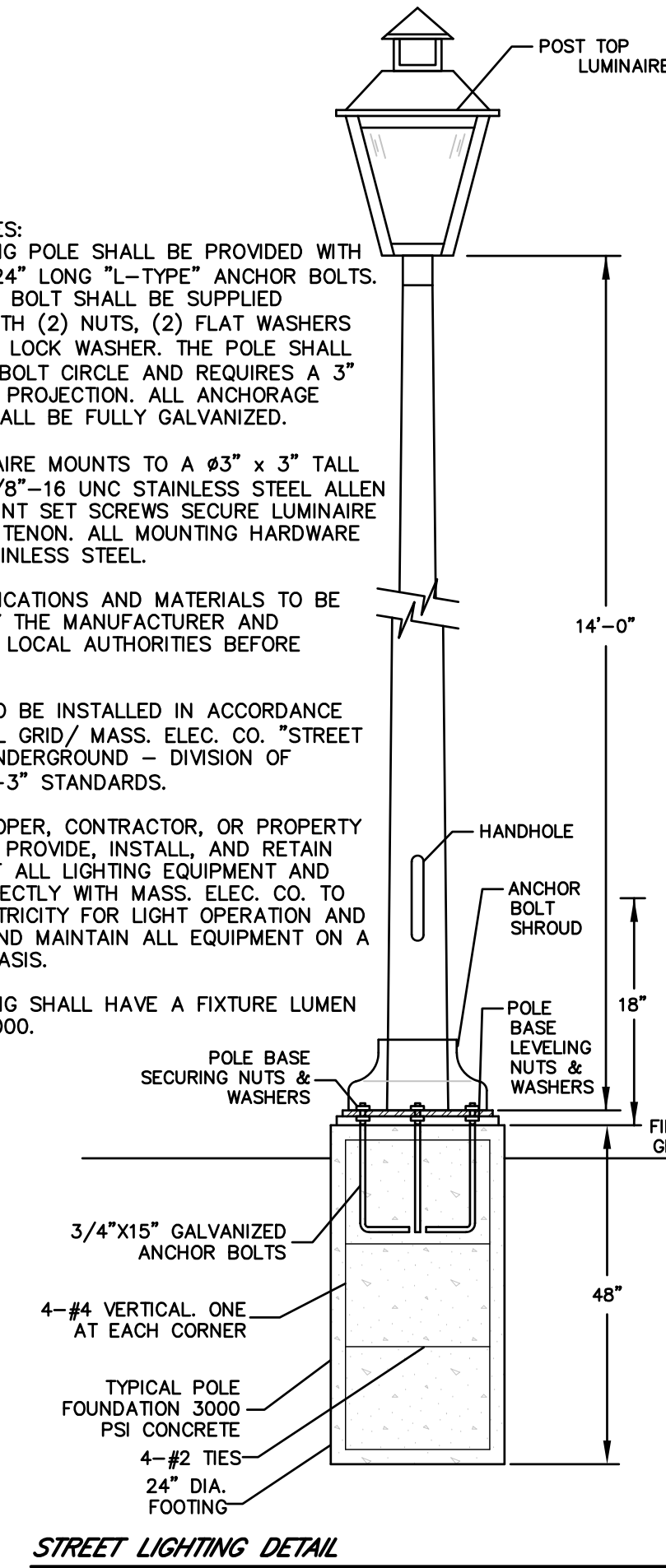
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DATE: _____
TOWN CLERK

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

- GENERAL NOTES:
- THE LIGHTING POLE SHALL BE PROVIDED WITH (4) #3/4" x 24" LONG "L-TYPE" ANCHOR BOLTS. EACH ANCHOR BOLT SHALL BE SUPPLIED ASSEMBLED WITH (2) NUTS, (2) FLAT WASHERS AND (1) SPLIT LOCK WASHER. THE POLE SHALL HAVE A #10" BOLT CIRCLE AND REQUIRES A 3" ANCHOR BOLT PROJECTION. ALL ANCHORAGE HARDWARE SHALL BE FULLY GALVANIZED.
 - THE LUMINAIRE MOUNTS TO A #3" x 3" TALL TENON. (3) 3/8"-16 UNC STAINLESS STEEL ALLEN HEAD CUP POINT SET SCREWS SECURE LUMINAIRE TO POST TOP TENON. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 - ALL SPECIFICATIONS AND MATERIALS TO BE CONFIRMED BY THE MANUFACTURER AND APPROVED BY LOCAL AUTHORITIES BEFORE INSTALLATION.
 - LIGHTING TO BE INSTALLED IN ACCORDANCE WITH NATIONAL GRID/ MASS. ELEC. CO. "STREET LIGHTING" - UNDERGROUND - DIVISION OF OWNERSHIP S-3" STANDARDS.
 - THE DEVELOPER, CONTRACTOR, OR PROPERTY OWNER SHALL PROVIDE, INSTALL, AND RETAIN OWNERSHIP OF ALL LIGHTING EQUIPMENT AND CONTRACT DIRECTLY WITH MASS. ELEC. CO. TO PROVIDE ELECTRICITY FOR LIGHT OPERATION AND TO SERVICE AND MAINTAIN ALL EQUIPMENT ON A LONG-TERM BASIS.
 - ALL LIGHTING SHALL HAVE A FIXTURE LUMEN RATING OF 4,000.



STREET LIGHTING AND TREE PLANTING NOTES:

- STREET LIGHTING SHALL BE LOCATED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE LOCAL UTILITY COMPANY AND AS REQUIRED BY THE PLANNING BOARD PER THE DPW DIRECTOR'S RECOMMENDATION.
- STREET LIGHTS SHALL BE INSTALLED TO CONFORM TO THE TYPE AND STYLE SPECIFIED BY THE LOCAL UTILITY COMPANY. SEE STREET LIGHT DETAIL.
- STREET TREES SHALL BE PLANTED ALONG BOTH SIDES OF THE STREET AT APPROXIMATE INTERVALS OF FIFTY FEET (50') AND ON PRIVATELY OWNED LOTS, 5-20' FROM THE STREET RIGHT-OF-WAY. PLANTED TREES SHALL HAVE A TRUNK DIAMETER OF NOT LESS THAN 3 INCHES MEASURED 4 FEET ABOVE GRADE.
- EXISTING TREES WITHIN HATCHED AREAS (5-20' FROM RIGHT-OF-WAY) ARE TO BE PRESERVED. ALL TREES 6" CALIPER AND OVER SHALL BE IDENTIFIED. THESE TREES CAN BE COUNTED AS STREET TREES. IF THERE ARE GAPS BETWEEN EXISTING TREES THAT CAN BE COUNTED AS STREET TREES GREATER THAN 50', NEW STREET TREES WILL BE PLANTED WITHIN THE HATCHED AREAS SO THAT THERE ARE NO PLACES WHERE THERE IS MORE THAN 50' BETWEEN STREET TREES. THE EXISTING TREES REMAINING IN THE ROAD RIGHT-OF-WAY SHALL BE PRUNED AND TRIMMED TO CONFORM TO THE SPECIFICATIONS OF THE NATIONAL ARBORISTS ASSOCIATION CLASS 1 PRUNE AND TRIM. UPON COMPLETION OF PRUNING AND TRIMMING, THE SUBDIVIDER SHALL REQUEST THE TREE WARDEN TO INSPECT THE TREES AND CERTIFY THAT THEY CONFORM TO THE SPECIFICATIONS.
- NO TREES OVER SIX-INCH CALIPER AND WITHIN 20' OF THE RIGHT OF WAY SHALL BE REMOVED OR HAVE THE GRADE LEVEL UNDERNEATH THEM ALTERED MORE THAN SIX (6) INCHES WITHOUT APPROVAL BY THE PLANNING BOARD.
- ALL PLANTED TREES AND SHRUBS SHALL BE GUARANTEED BY THE SUBDIVIDER FOR A MINIMUM PERIOD OF (2) YEARS. ANY UNHEALTHY OR DEAD TREE SHALL BE REPLACED WITH ANOTHER THAT AGAIN SHALL BE GUARANTEED FOR TWO (2) YEARS.

LEGEND AND PLANTING SCHEDULE:

- ☉ PROPOSED STREET LIGHT
- ☉ PROPOSED STREET TREE - QUERCUS RUBRA, NORTHERN RED OAK (MIN 6 REQUIRED)
- ☉ PROPOSED STREET TREE - ACER PLATANOIDES, COLUMNAR MAPLE (MIN 6 REQUIRED)
- ☉ PROPOSED STREET TREE - TILIA TOMENTOSA, SILVER LINDEN (MIN 6 REQUIRED)
- ☉ PROPOSED STREET TREE - GLEDITSIA TRIACANTHOS, HONEY LOCUST (MIN 7 REQUIRED)
- ☉ PROPOSED SHRUB - MIX OF CHOKEBERRY, VIBURNUM, BLUEBERRY, WINTERBERRY, ELDERBERRY (MIN 118 REQUIRED)

- NOTES
- PLEASE REFER TO INTRODUCTION AND USE CRITERIA PRIOR TO USING THIS DETAIL.
 - THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 16 SQ. FT., OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES

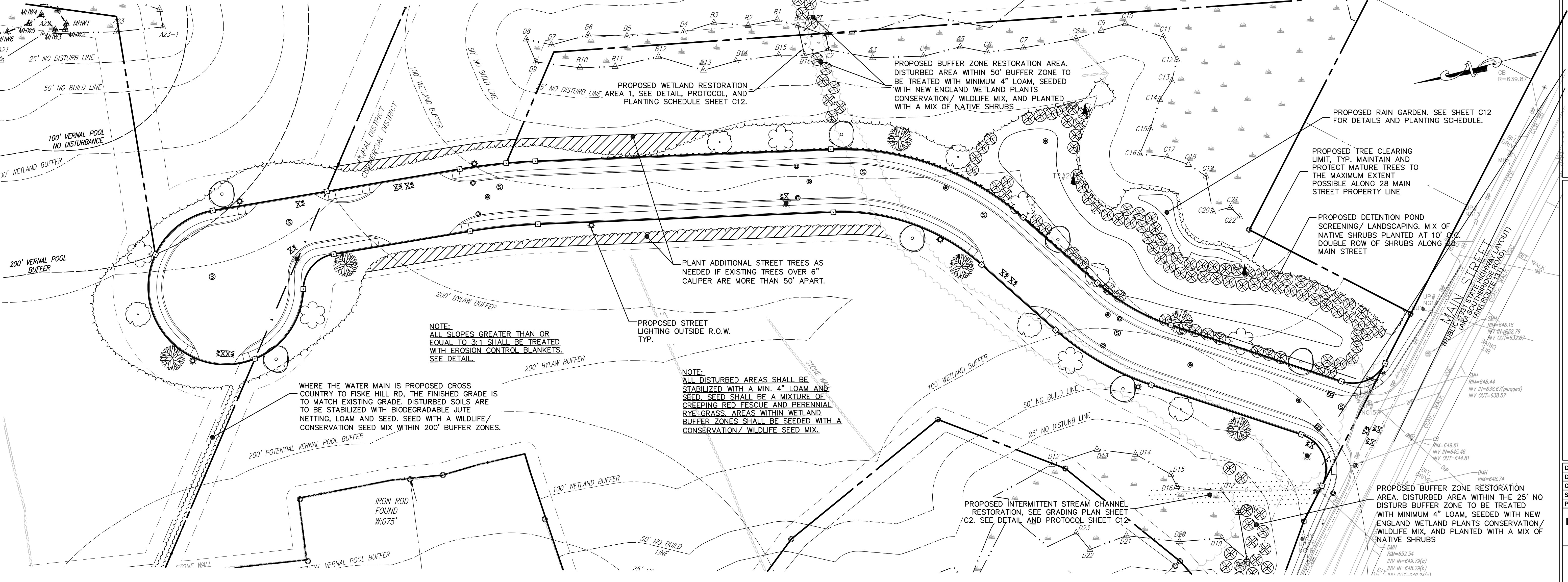
NOT TO SCALE

SHRUB PLANTING DETAIL

NOT TO SCALE

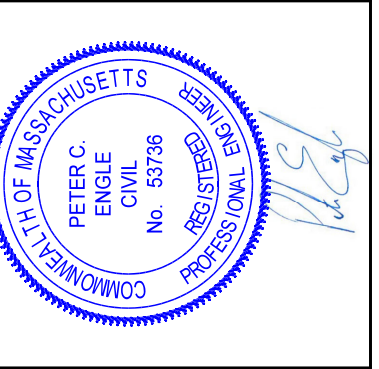
STREET LIGHTING DETAIL

NOT TO SCALE



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CHK BY: PCE
SCALE: 1"=40'
PROJ. NO. 287-2117-K

LANDSCAPING AND LIGHTING PLAN

RESPONSIBILITIES OF OWNER/PERMITEE

- THE OWNER/ PERMITEE SHALL:
 A. PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT THE OWNER HAS ACQUIRED.
 B. INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

GENERAL CONDITIONS

THE CONTRACTOR SHALL:
 A. INSTALL, MONITOR, AND MAINTAIN ALL OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN
 B. COMPLY WITH ALL PERMIT REQUIREMENTS.

PRE-CONSTRUCTION CONFERENCE

PRIOR TO CONSTRUCTION, FOLLOWING INSTALLATION OF EROSION CONTROL.

THE PERMITEE, OWNER-OF-RECORD, CONTRACTOR, ENGINEER, AND TOWN REPRESENTATIVE (CONSERVATION COMMISSION) SHALL HOLD A "PRE-CONSTRUCTION" CONFERENCE AT THE SITE TO REVIEW THE INSTALLATION OF THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES.

GENERAL CONTROLS

- CLEANING OF STORMWATER STRUCTURES:**
 CLEAN ALL STORMWATER STRUCTURES INCLUDING, BUT NOT LIMITED TO, PIPES, SWALES, SUBSURFACE RETENTION BASINS, SEDIMENT TRAPS, AND RIPRAP APRONS OF SEDIMENT UPON COMPLETION OF THE PROJECT.
- PAVEMENT MAINTENANCE:**
 THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR TOWN, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.
- WASTE DISPOSAL:**
 THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTAINERS SHALL BE PROMPTLY EMPTIED WHEN FULL.

MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED, SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCES.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO A PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

GENERAL CONDITIONS

1. IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.

2. IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE TOWN MAY REQUIRE ADDITIONAL CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: ADDITIONAL STRAW WATTLES, HAYBALES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.

3. NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, OR OTHER SUCH CONTAMINATED MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER. APPROVED BY THE OWNER AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIAL IN A WATERWAY.

4. ALL TEMPORARY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OF OTHER PARTICULATE MATTER FROM REENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREA EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.

5. DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE TOWN AND STATE AGENCIES.

6. ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF THE 200'-FOOT RIVERFRONT ZONE. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE 200'-FOOT RIVERFRONT ZONE.

7. **INSPECTIONS:** EROSION CONTROLS SHALL BE INSPECTED DAILY OR AFTER A LEGITIMATE STOP EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH THE TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE CONSERVATION AGENT OR COMMISSIONER.

8. **FILL MATERIAL TESTING:** CONSERVATION COMMISSION MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES. THE RESULTS OF SUCH TESTING MAY BE REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY OF SAID MATERIAL TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.

9. **DEP SIGN:** A SIGN SHALL BE DISPLAYED AT THE SITE NOT LESS THAN TWO (2) SQUARE FEET (S.F.) OR MORE THAN THREE (3) S.F. IN SIZE, BEARING THE WORDS "MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION" OR "MA DEP"; FOLLOWED BY THE DEP FILE NUMBER AS DEPICTED ON THE ISSUED ORDER OF CONDITIONS.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

EROSION CONTROL BARRIERS:
 INSTALL EROSION CONTROL BARRIERS AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE EROSION CONTROL BARRIER INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE HEIGHT. REPAIR AND/OR REPLACE THE SILT FENCE/ HAYBALES IMMEDIATELY IF DAMAGED OR DETERIORATED.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:
 COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH STRAW WATTLES TO PREVENT TRANSPORTATION OF SEDIMENT. NO STOCKPILES SHALL BE KEPT WITHIN 100' WETLAND BUFFER ZONES.

DUST CONTROL:
 TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJUTING PROPERTY OWNERS. BROOM OFF PAVEMENT AREAS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE AS NEEDED AND/OR AS DIRECTED BY THE ENGINEER. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

DEWATERING:
 IF DEWATERING IS REQUIRED, WATER SHOULD BE DISCHARGED TO DEWATERING BAGS OR OTHER SEDIMENT REMOVAL DEVICES PRIOR TO DISCHARGE TO RESOURCE AREAS. WATER MAY ALSO BE USED FOR DUST CONTROL AND/OR VEGETATION WATERING.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

ACREAGE SUMMARY IN ACRES	
SEEDED AREA	1.9 AC±
TOTAL DISTURBED	3.0 AC±

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENTATION CONTROL CHECKLIST

30 MAIN STREET	
WORK DESCRIPTION	

SEQUENCE OF CONSTRUCTION
 THE FOLLOWING NARRATIVE DESCRIBES THE PLANNED CONSTRUCTION SEQUENCE WITH AN EMPHASIS ON THE TIMING AND SEQUENCE OF EROSION/SEDIMENTATION CONTROL MEASURES:

THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION/SEDIMENT CONTROL MEASURES IS OPTIMIZED.

- INSTALL STABILIZED CONSTRUCTION EXIT(S), SWPPP ENTRANCE SIGN, AND DEP SIGN.
- INSTALL EROSION CONTROL BARRIERS ON THE ENTIRE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE AND HAYBALES.)
- CONSERVATION INSPECTION WILL BE CONDUCTED AFTER INSTALLATION OF EROSION CONTROL BARRIERS ARE INSTALLED.
- PREPARE TEMPORARY PARKING AND STORAGE AREA UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: PARKING, LAY DOWN, PORTA POTTY, MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CLEAR AND GRUB AREA FOR SEDIMENT BASINS. CONSTRUCT AND STABILIZE SEDIMENT BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING THE SITE.
- INSTALL TEMPORARY DIVERSION DITCHES AND CHECK DAMS.
- BEGIN GRADING THE SITE AS NEEDED.
- START INSTALLATION OF DRAINAGE AND SITE WORK.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUED AREAS THAT WILL BE INACTIVE FOR 15 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE COMPLETED.

FINAL PHASE

- PERMANENTLY STABILIZE ANY REMAINING EXPOSED AREAS.
- PERMANENT DRAINAGE DITCHES TO BE REMOVED AND STABILIZED.
- SEDIMENT FROM BASINS TO BE REMOVED AND SEDIMENT DISPOSED OF OFFSITE. BASINS ARE TO BE CONVERTED TO FINAL STORMWATER BASINS AS SHOWN ON GRADING PLAN.
- ONCE ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION FROM SITE MONITOR.

NOTES:

- ONCE CONSTRUCTION IS COMPLETED, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE SUBMITTED TO THE CONSERVATION COMMISSION WITHIN SEVEN DAYS OF THE INSPECTION.
- EXTRA EROSION CONTROL MATERIALS (HAYBALES, SILT FENCE) EQUAL TO 100 LF SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS. THESE MATERIALS SHALL BE KEPT COVERED.

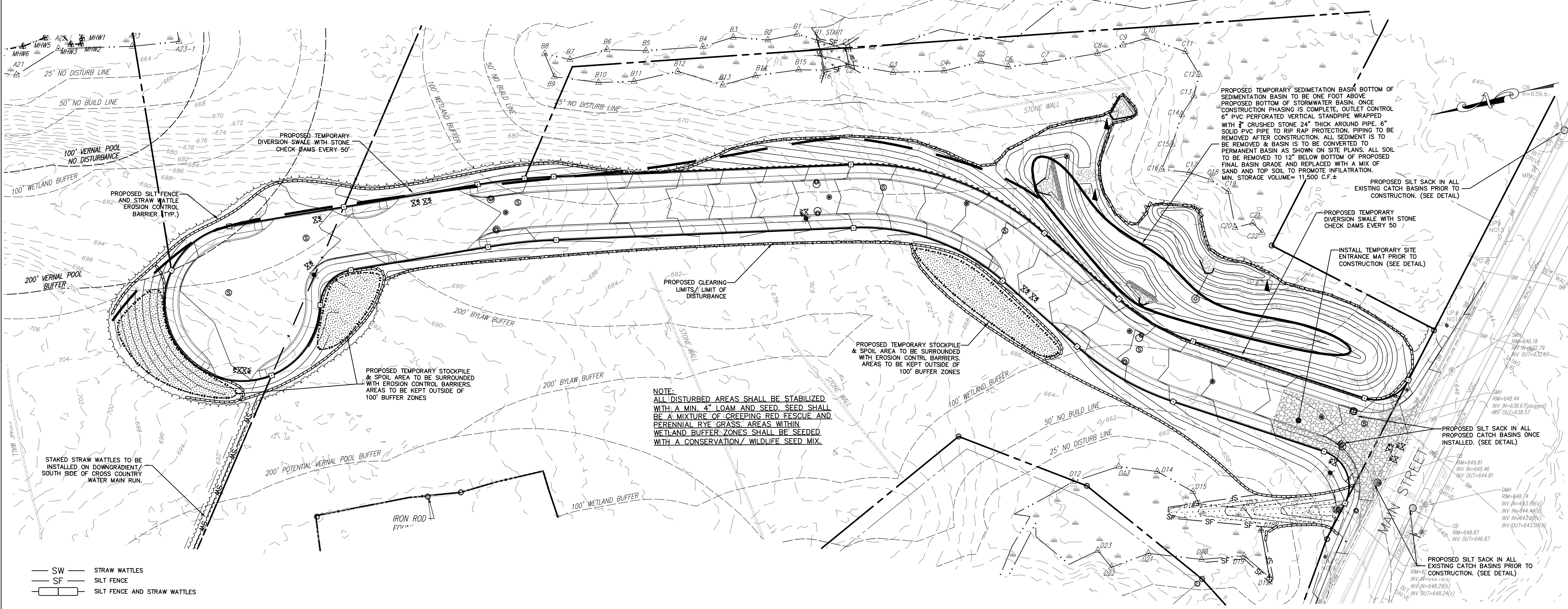
NOTE: APPLICANT AND/OR LANDOWNER SHALL NOTIFY THE TOWN OF STURBRIDGE IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK.

NOTE:
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APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE _____ DATE _____

 TOWN CLERK

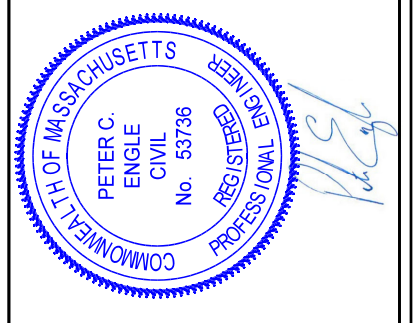
BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD



HOR. SCALE IN FEET: 1"=40'

REV.	DATE	DESCRIPTION	MADE (APVD)
1	12.29.20	REV. PER CLIENT	WN PE
2	5.29.21	REV. PER PEER REVIEW	WN PE

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 MA LIC. NO. 53736



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 Email: pengle@mcclureengineers.com

DEFINITIVE SUBDIVISION PLAN
 LOCATED AT
 30 MAIN STREET & 20 FISKE HILL ROAD
 STURBRIDGE, MA 01566
 PREPARED FOR
 FISKE HILL EAST REALTY TRUST
 97 ARNOLD ROAD, FISKDALE, MA 01518

DRAWN BY: WCN
 DATE: 11/11/2020
 CHK BY: PCE
 SCALE: 1"=40'
 PROJ. NO. 287-2117-K

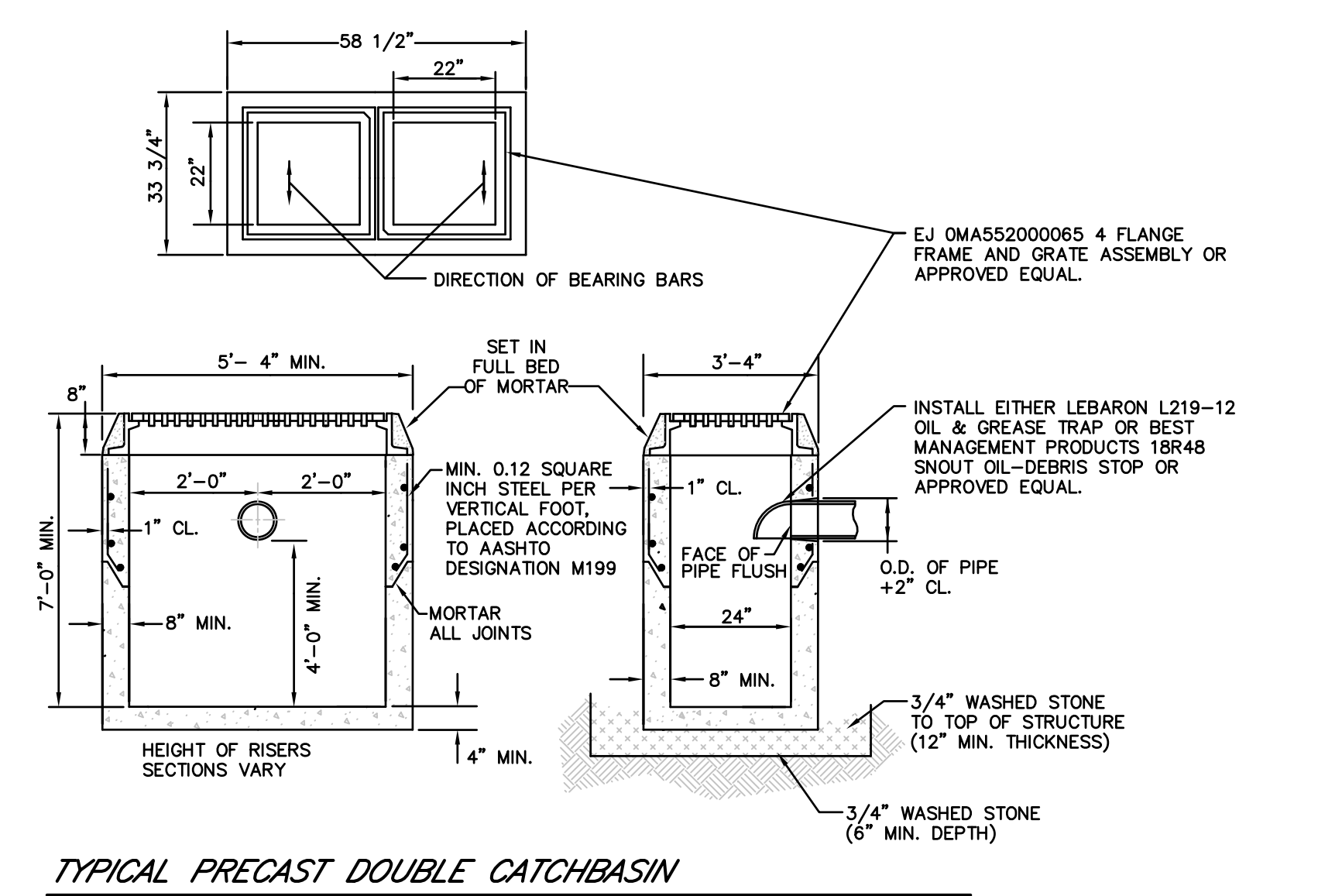
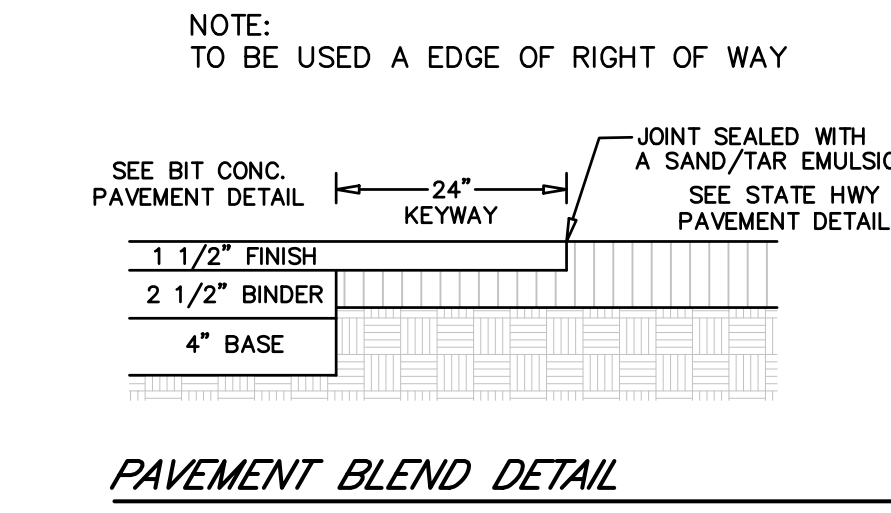
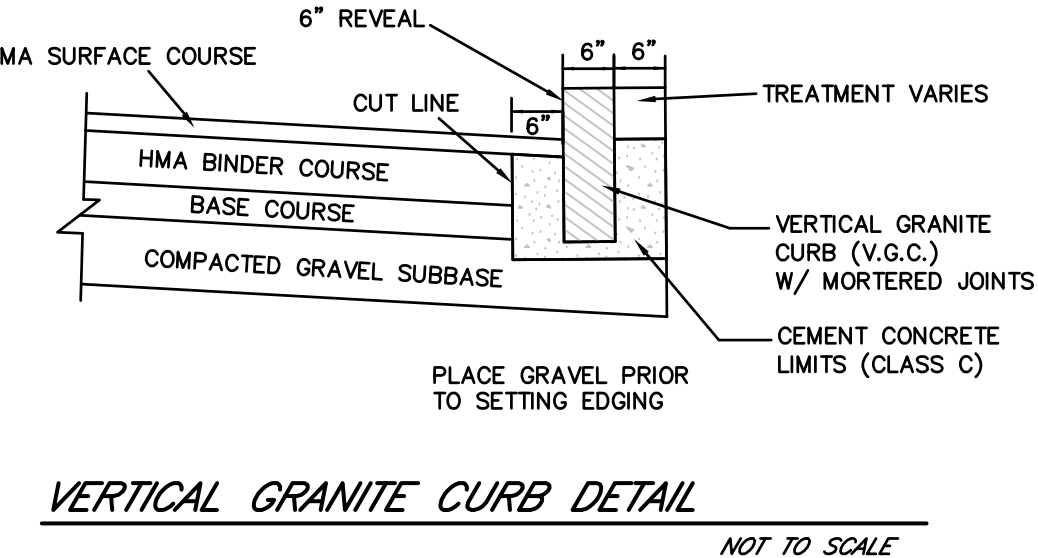
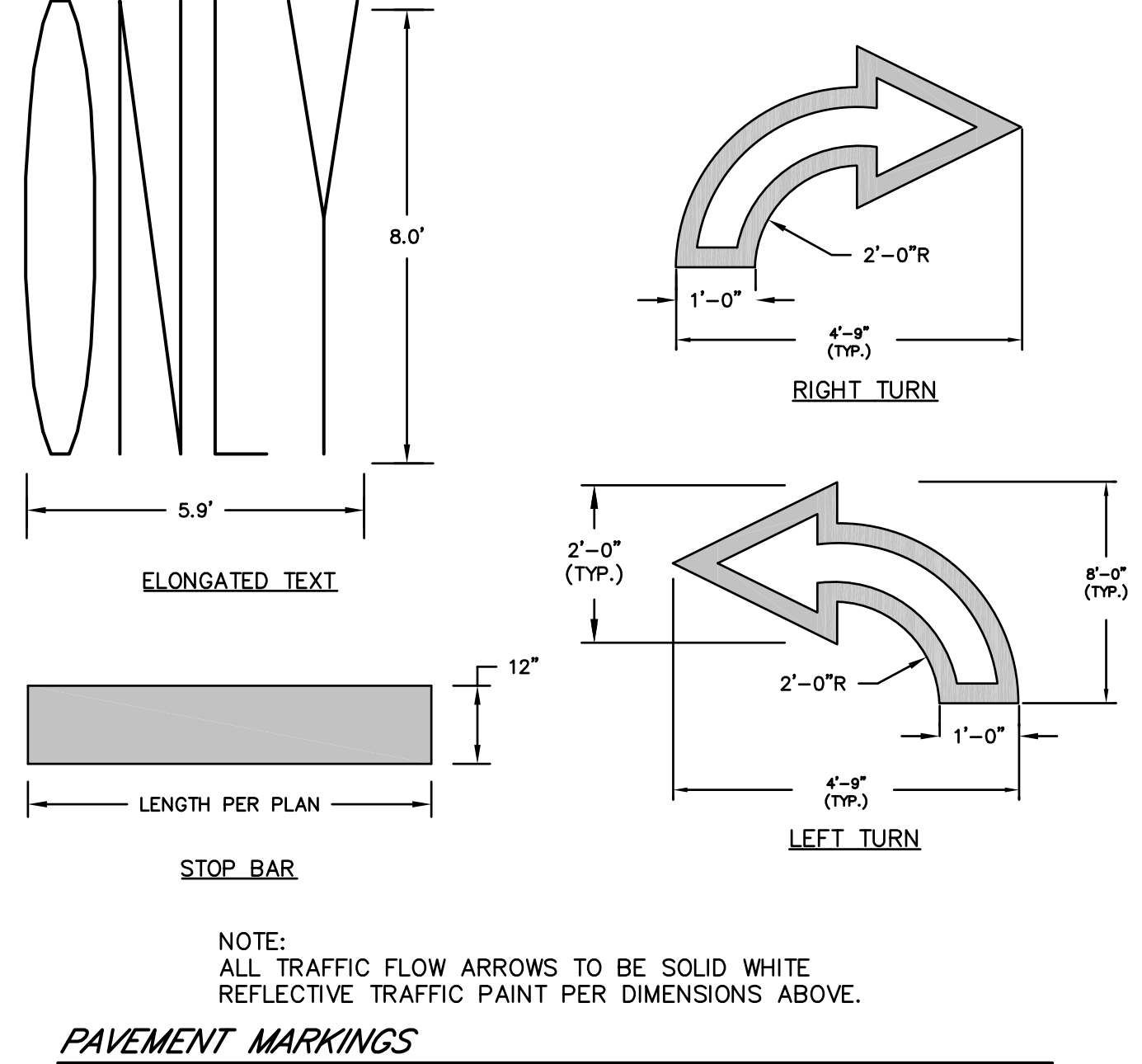
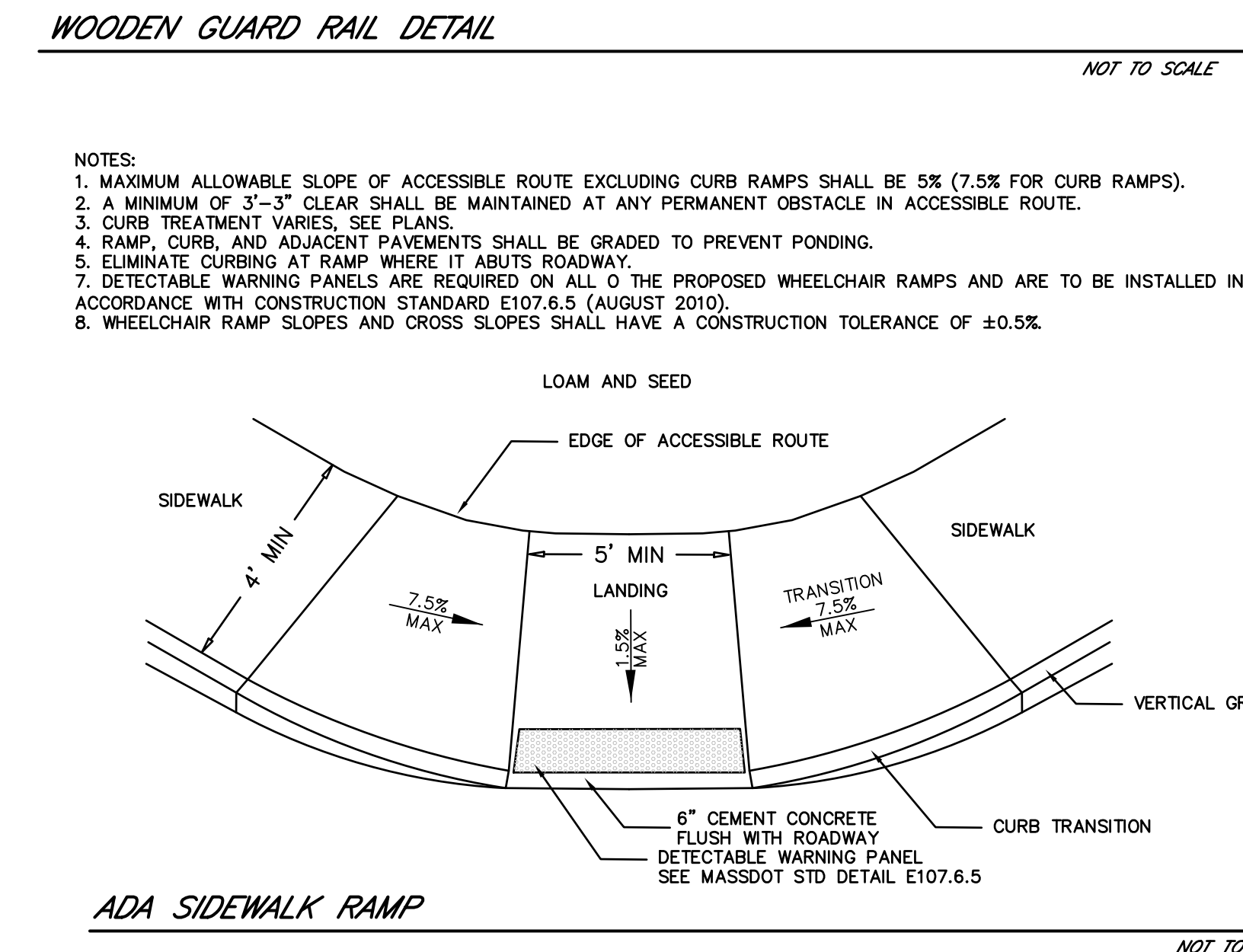
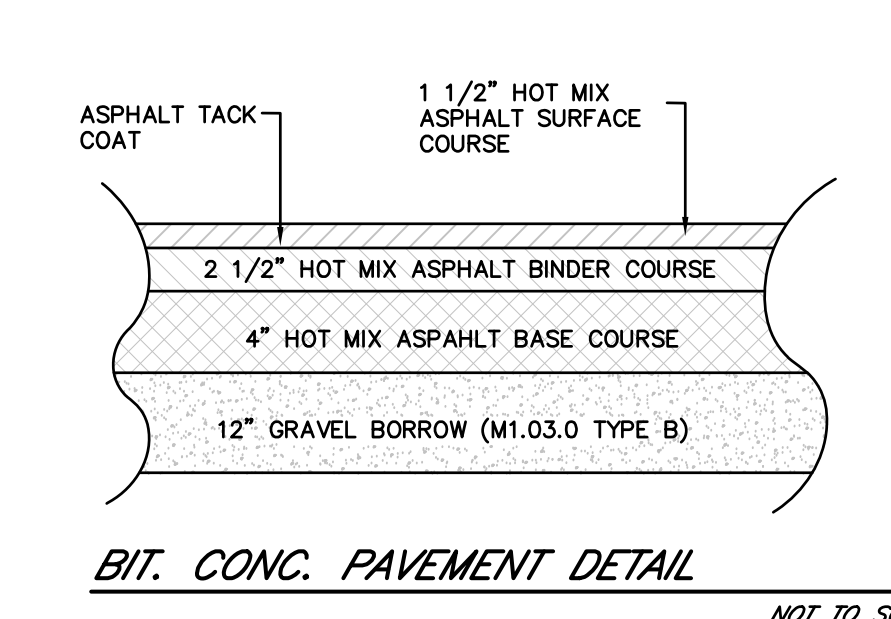
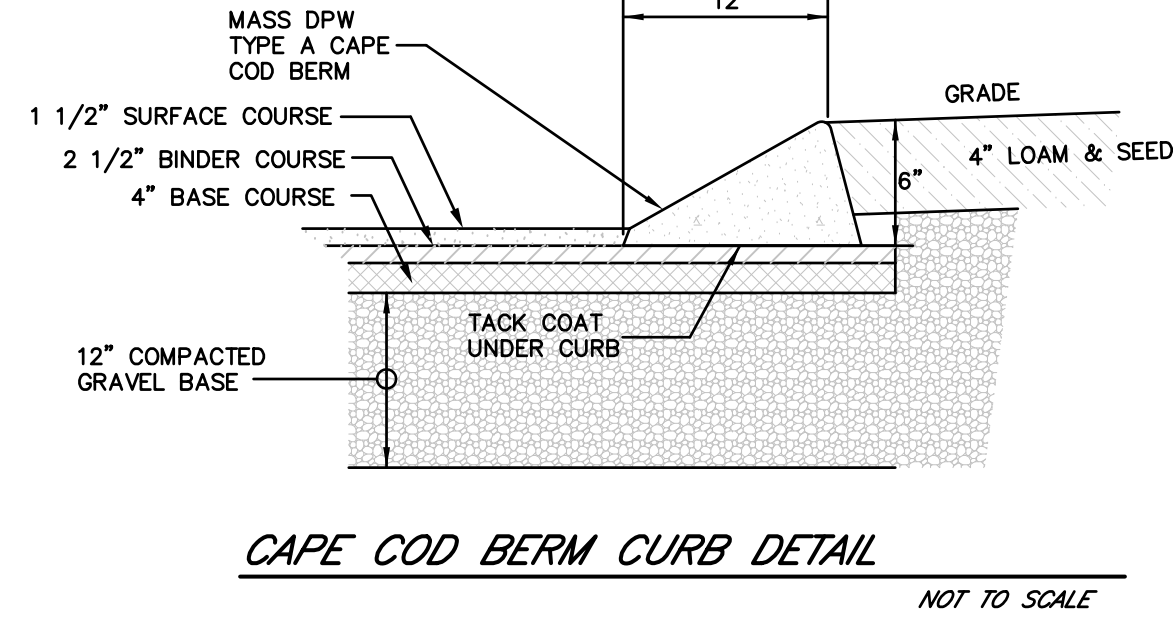
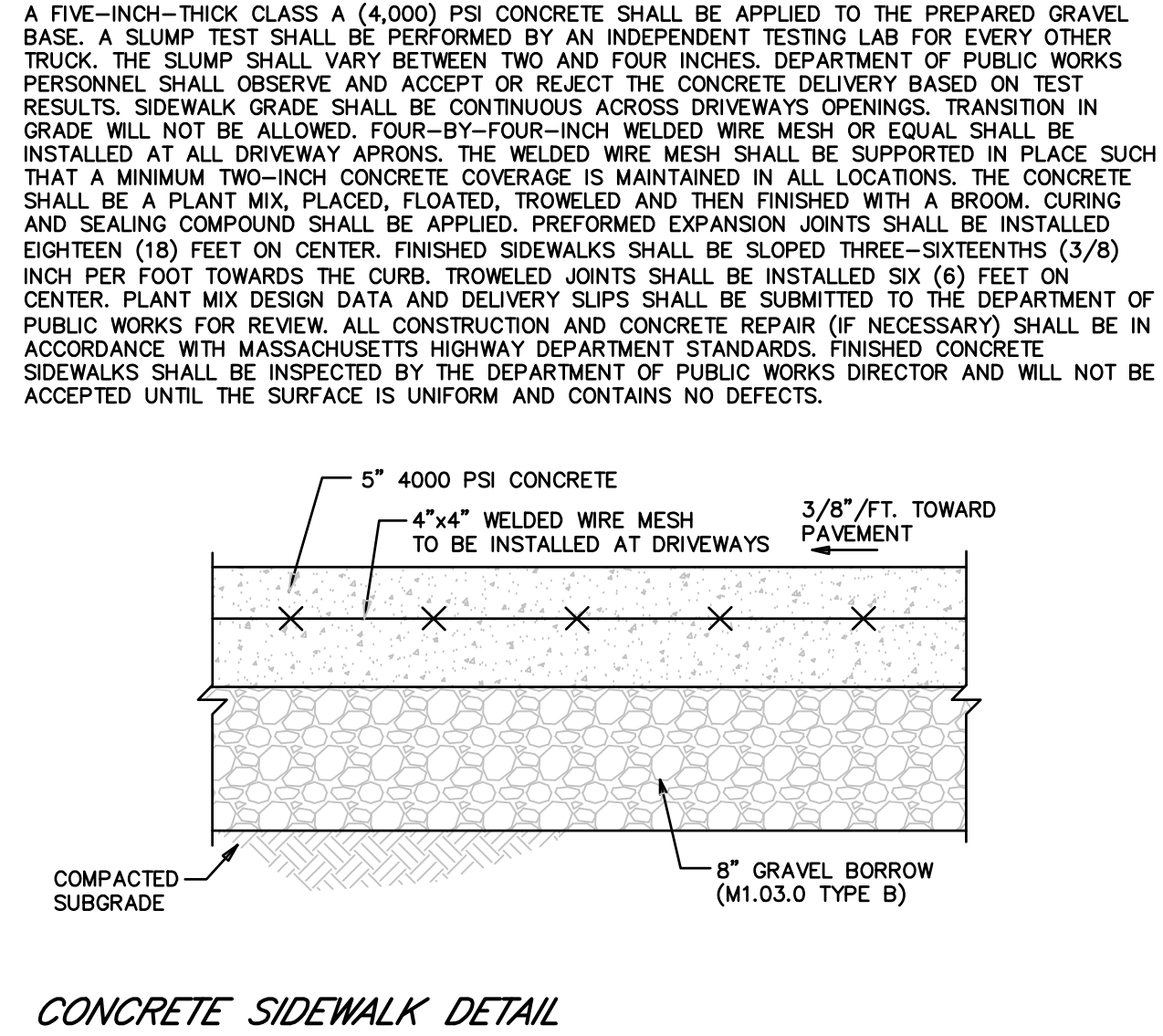
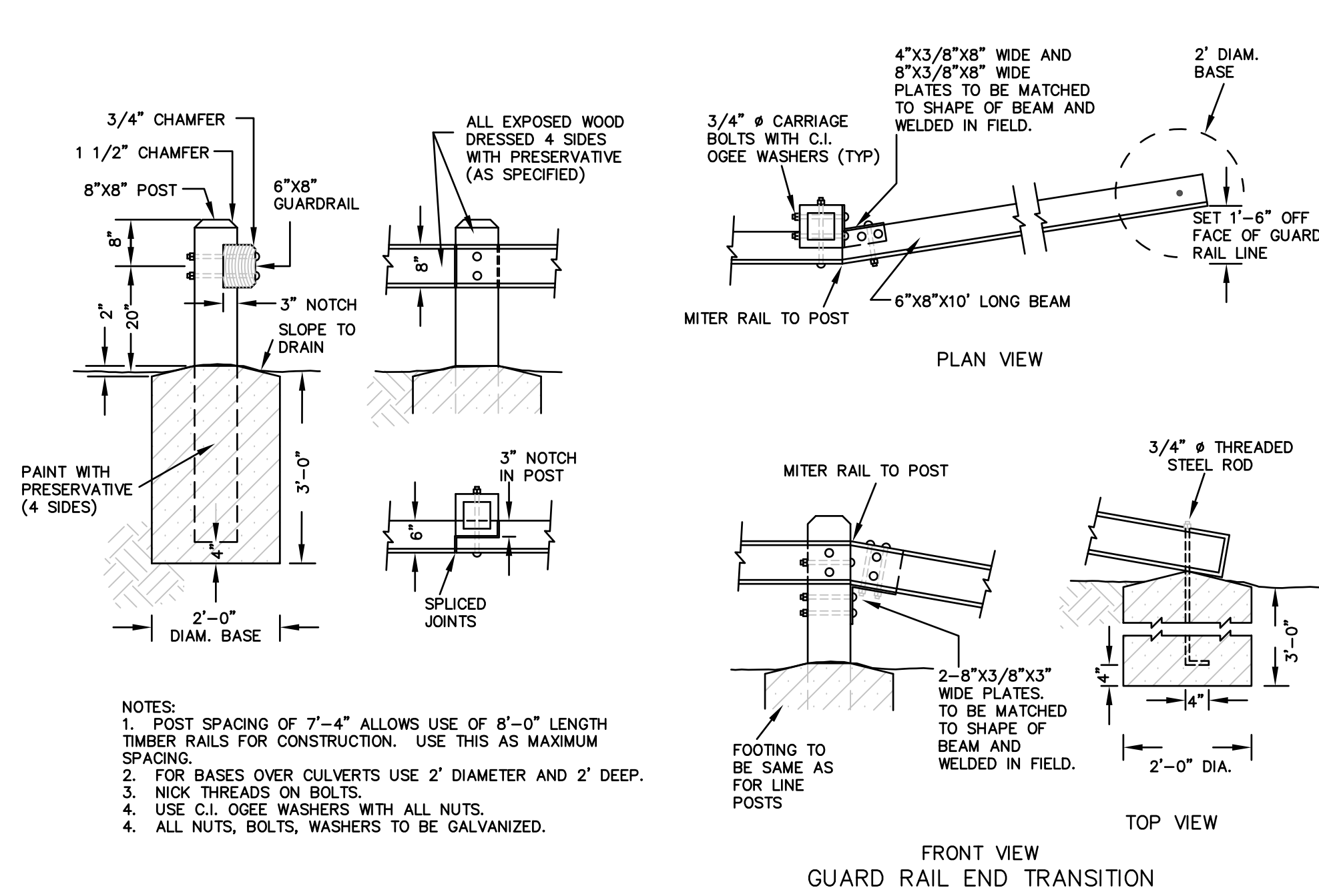
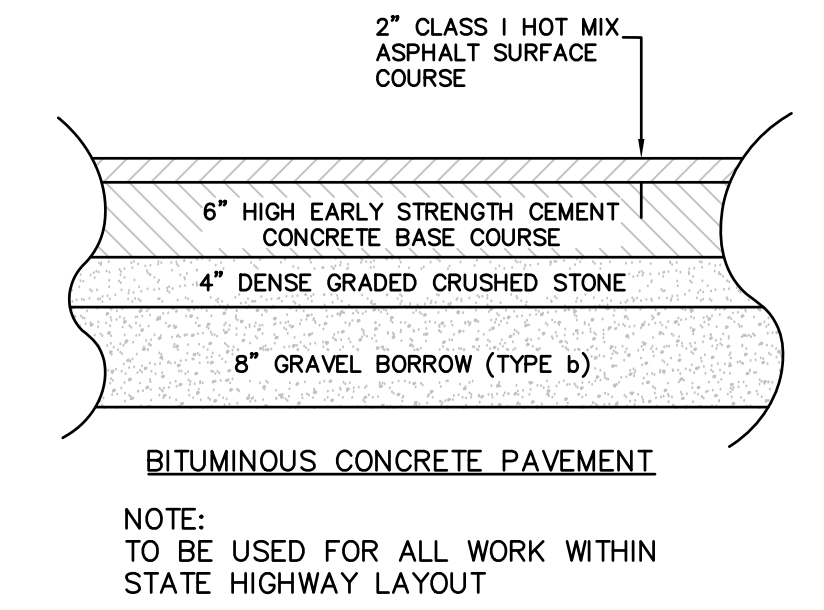
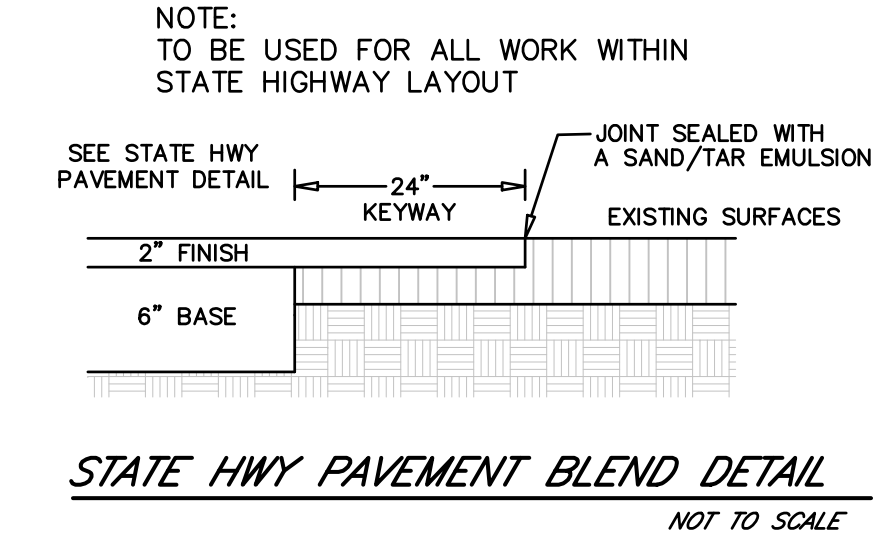
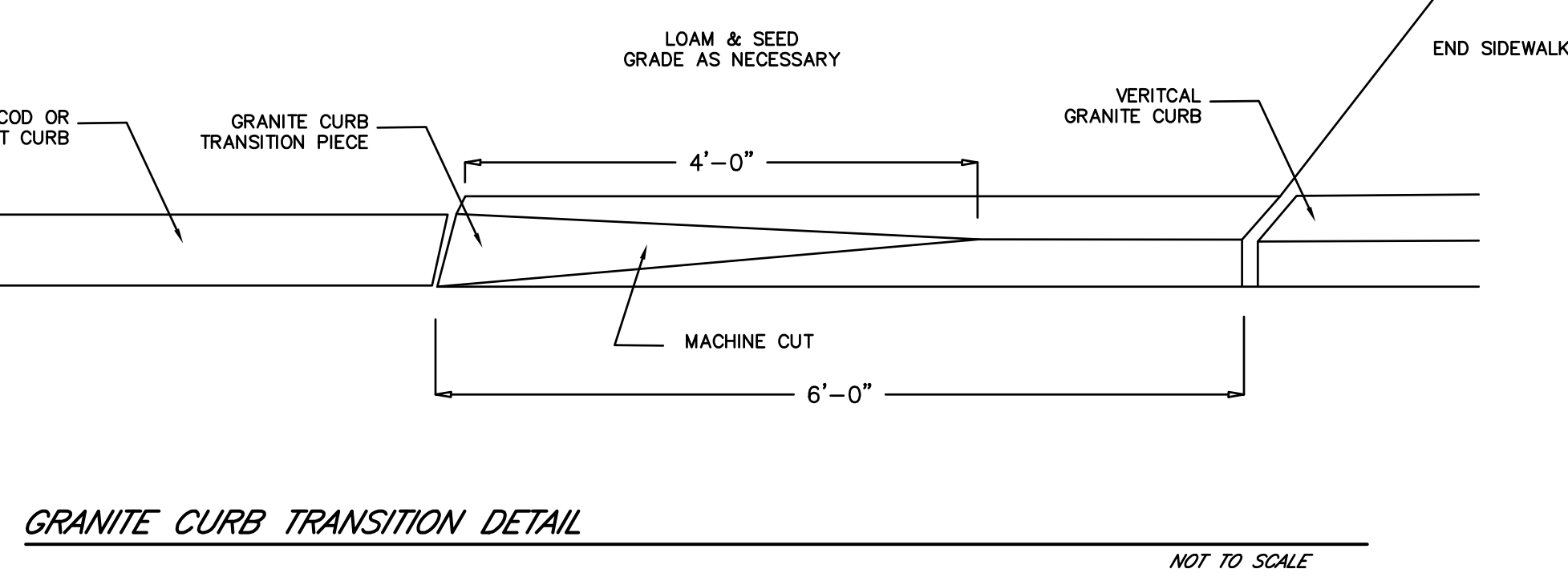
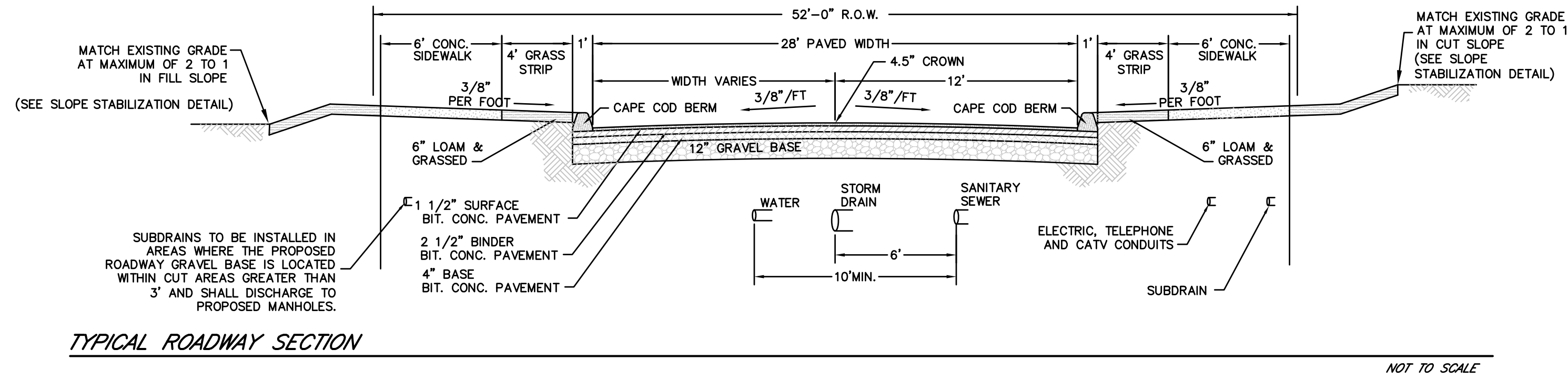
SEDIMENTATION & EROSION CONTROL PLAN
C6

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

NOTE:
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DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL.

DATE: _____
TOWN CLERK _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD



REV.	DATE	DESCRIPTION	MADE (APVD)
1	12.29.20	REV. PER CLIENT	WN
2	5.28.21	REV. PER PEER REVIEW	WN

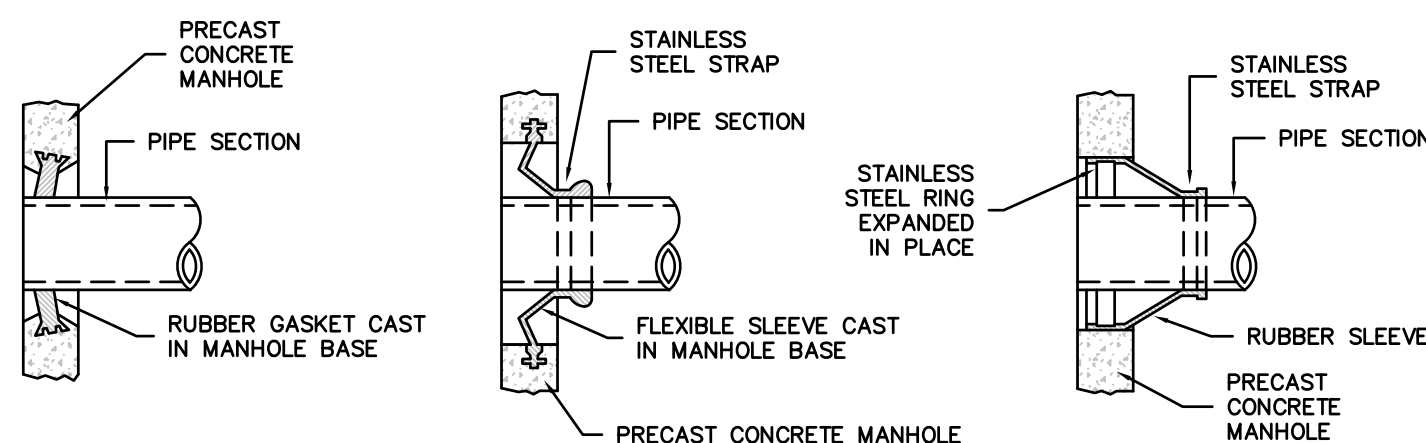
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DEFINITIVE SUBDIVISION PLAN
LOCATED AT
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STURBRIDGE, MA 01566
PREPARED FOR
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKALE, MA 01518

DRAWN BY: WCN
DATE: 11/11/20
CHK BY: PCE
SCALE: AS NOTED
PROJ. NO. 287-2117-K

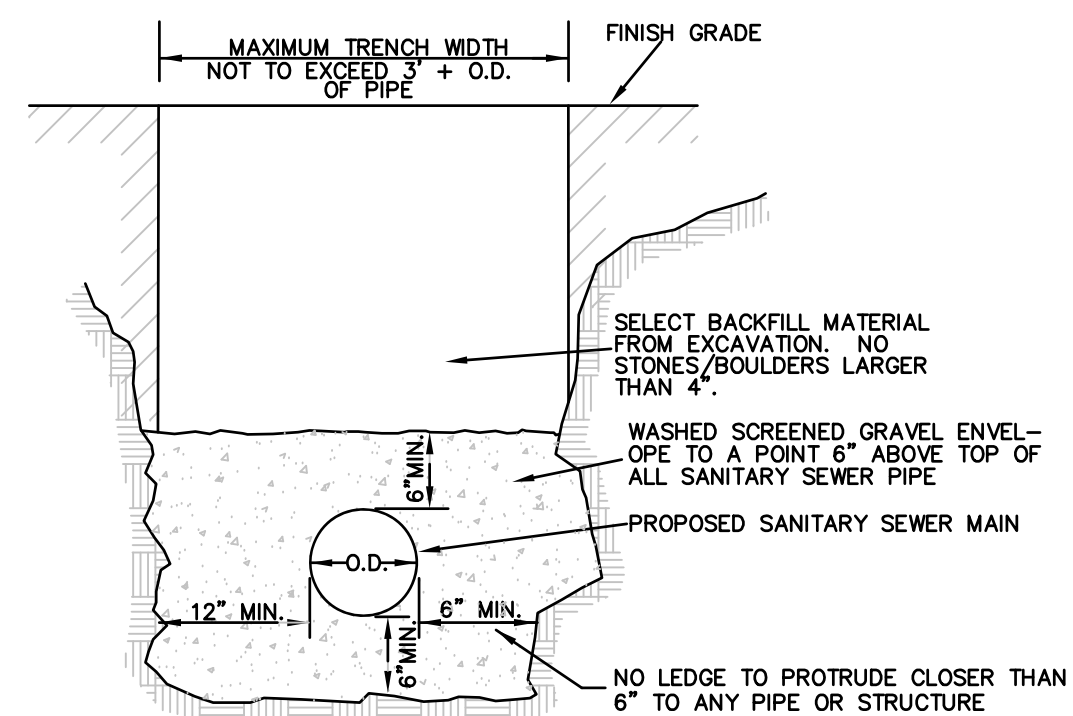
SITE DETAILS
C7



NOTE:
 1) CONTRACTOR SHALL BE REQUIRED TO MAKE ALL PIPE PENETRATIONS WATER TIGHT.
 2) THE PIPE TO MANHOLE CONNECTION SHALL BE A FLEXIBLE RUBBER PIPE SLEEVE EITHER CAST IN PRECAST MANHOLE SECTION OR HELD IN PLACE BY STAINLESS STEEL RINGS EXPANDED IN PLACE TO MEET SPECIFICATIONS OF ASTM C923.

MANHOLE SEAL DETAILS

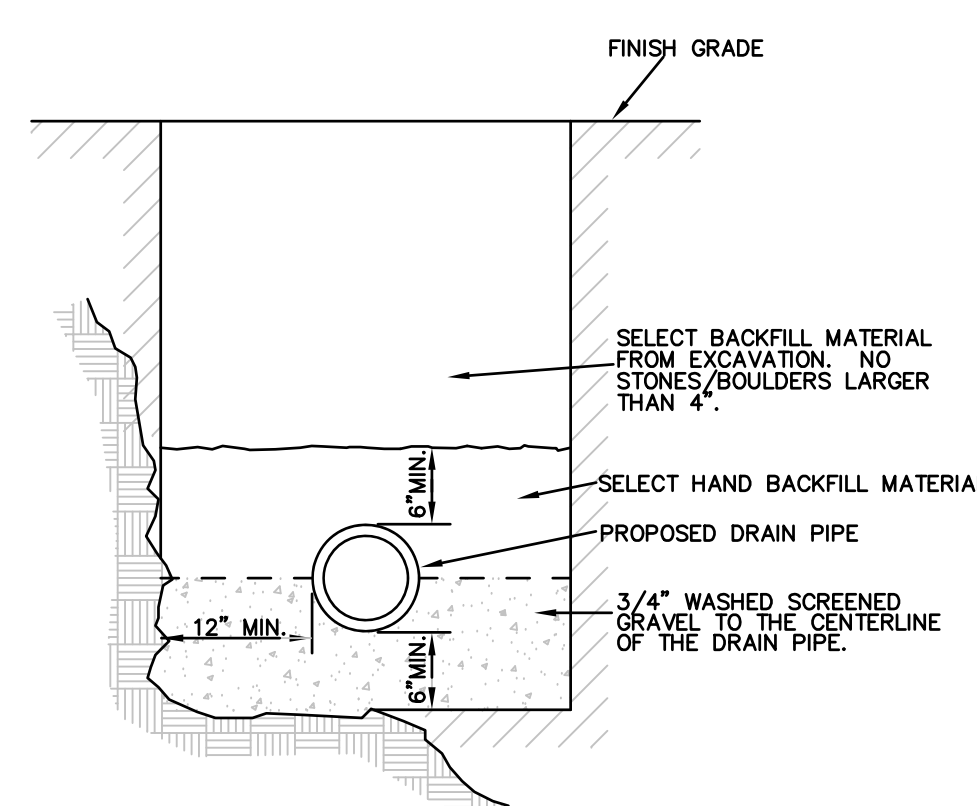
NOT TO SCALE



NOTE: ALL SANITARY SEWERS MORE THAN 20 FEET DEEP SHALL BE CONSTRUCTED USING SCHEDULE 80 PVC OR SCHEDULE 40 DUCTILE IRON PIPE.

TYP. SEWER MAIN TRENCH SECTION

NOT TO SCALE



TYP. STORM DRAIN TRENCH SECTION

NOT TO SCALE

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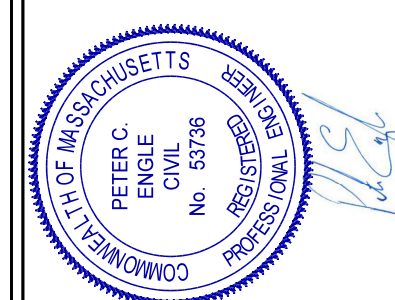
DATE: _____
 TOWN CLERK

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE

DATE _____

BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD

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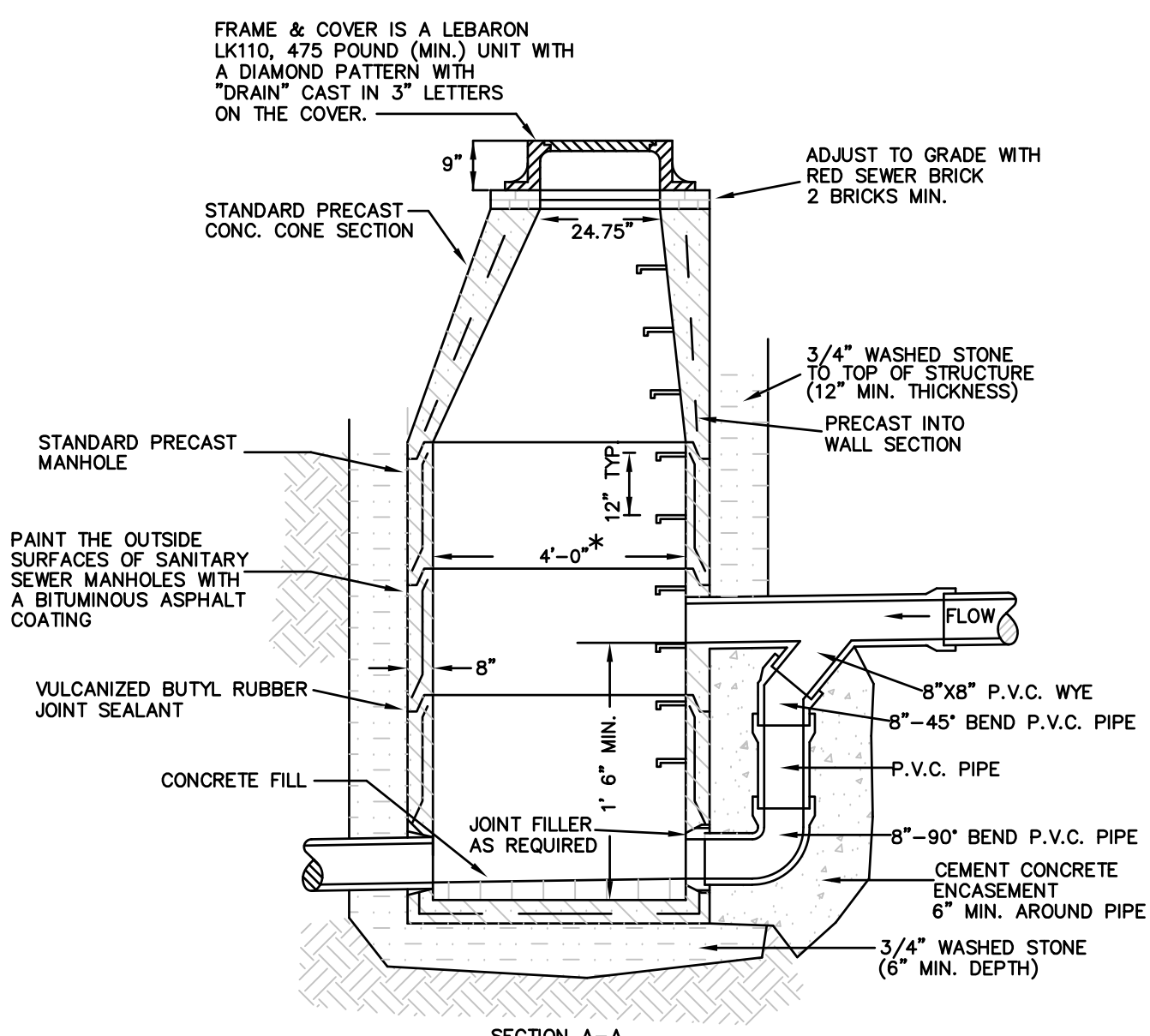
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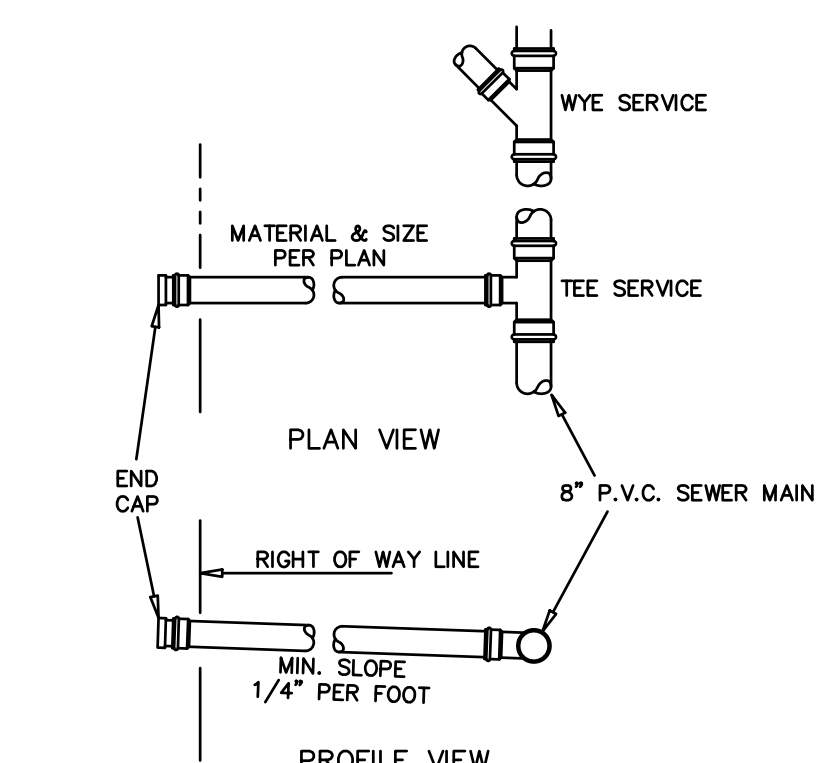
C8



ALL SANITARY SEWER OR DRAIN MANHOLES GREATER THAN 12 FEET DEEP SHALL HAVE A MINIMUM INSIDE DIAMETER OF FIVE FEET.

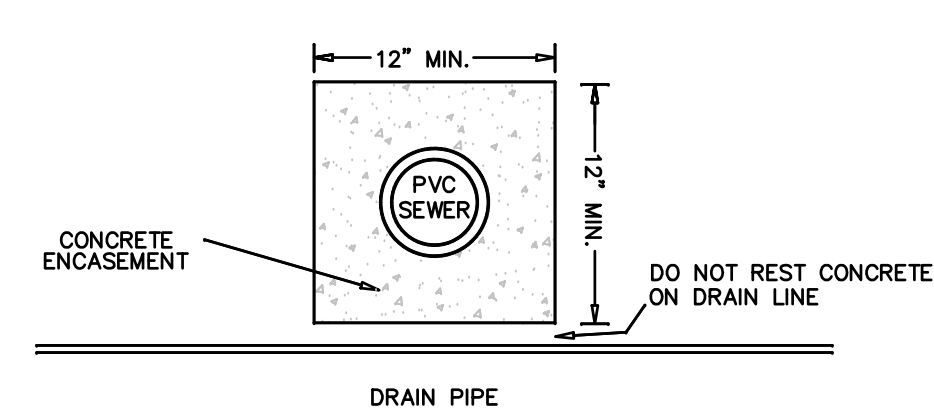
TYPICAL SANITARY SEWER DROP MANHOLE

NOT TO SCALE



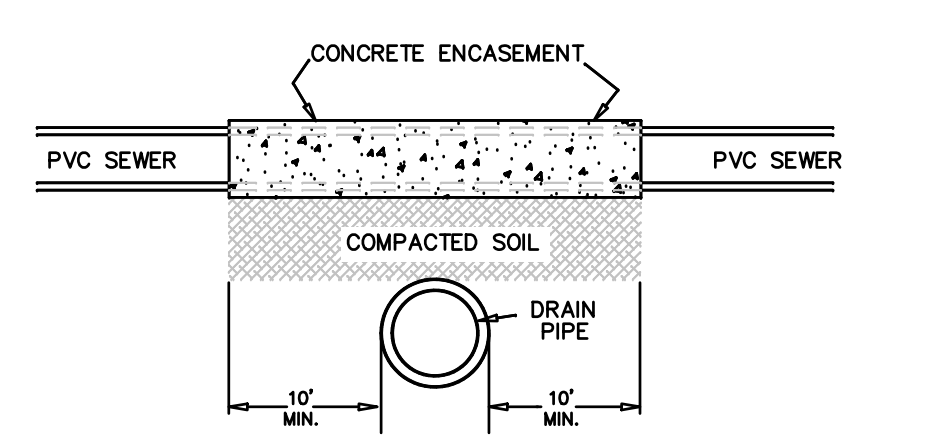
TYPICAL SERVICE CONNECTION (SEWER)

NOT TO SCALE



TYPICAL SEWER/RAIN CROSSING

CONCRETE ENCASUREMENT OF BOTH WATER AND SEWER SHALL EXTEND FOR 10 FEET FROM THE INTERSECTION OF THE MAINS AND ALONG EACH MAIN. CENTER ONE FULL PIPE LENGTH OF BOTH WATER AND SEWER OVER THE INTERSECTION.

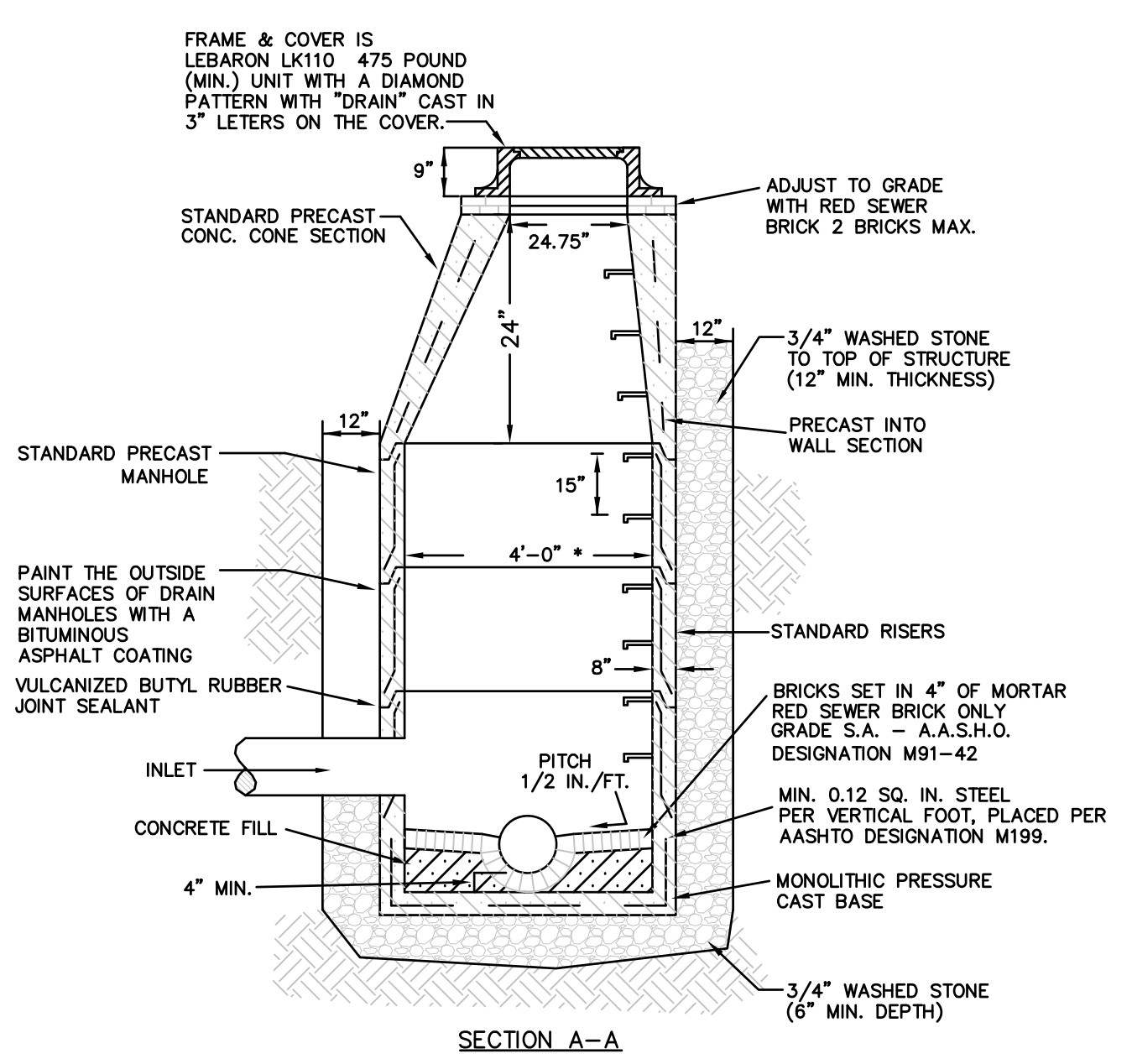


TYPICAL DRAIN/SEWER CROSSING

CONCRETE ENCASUREMENT OF BOTH WATER AND SEWER SHALL EXTEND FOR 10 FEET FROM THE INTERSECTION OF THE MAINS AND ALONG EACH MAIN. CENTER ONE FULL PIPE LENGTH OF BOTH WATER AND SEWER OVER THE INTERSECTION.

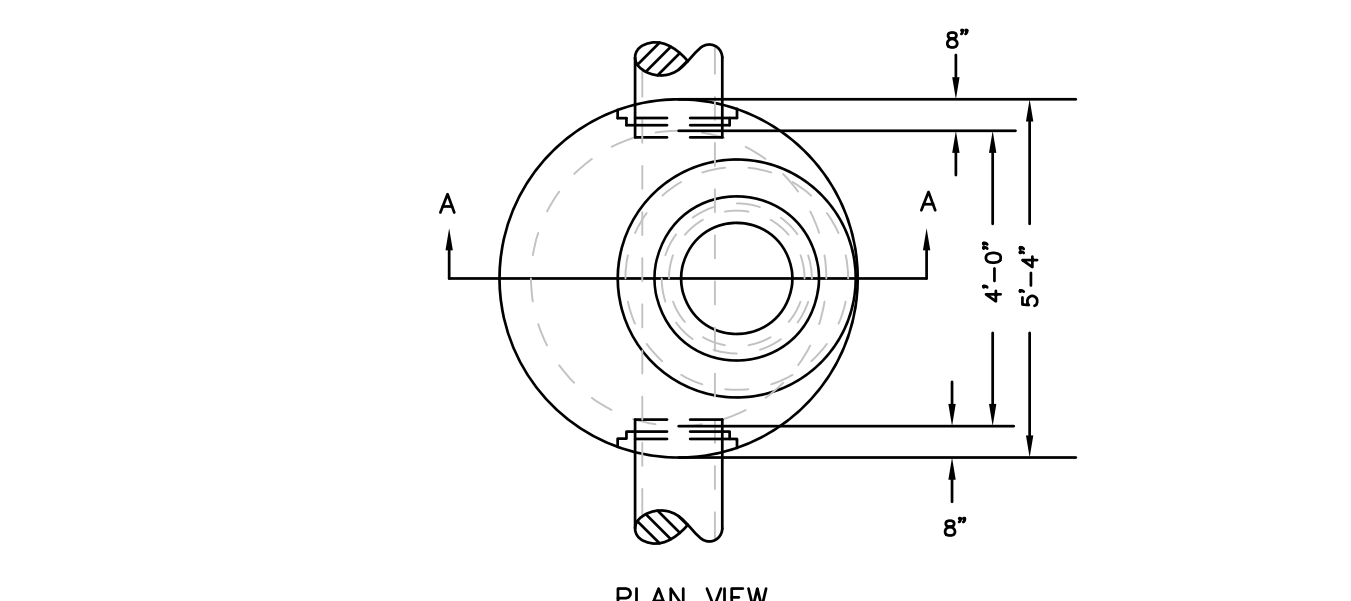
UTILITY CROSSING DETAILS

NOT TO SCALE



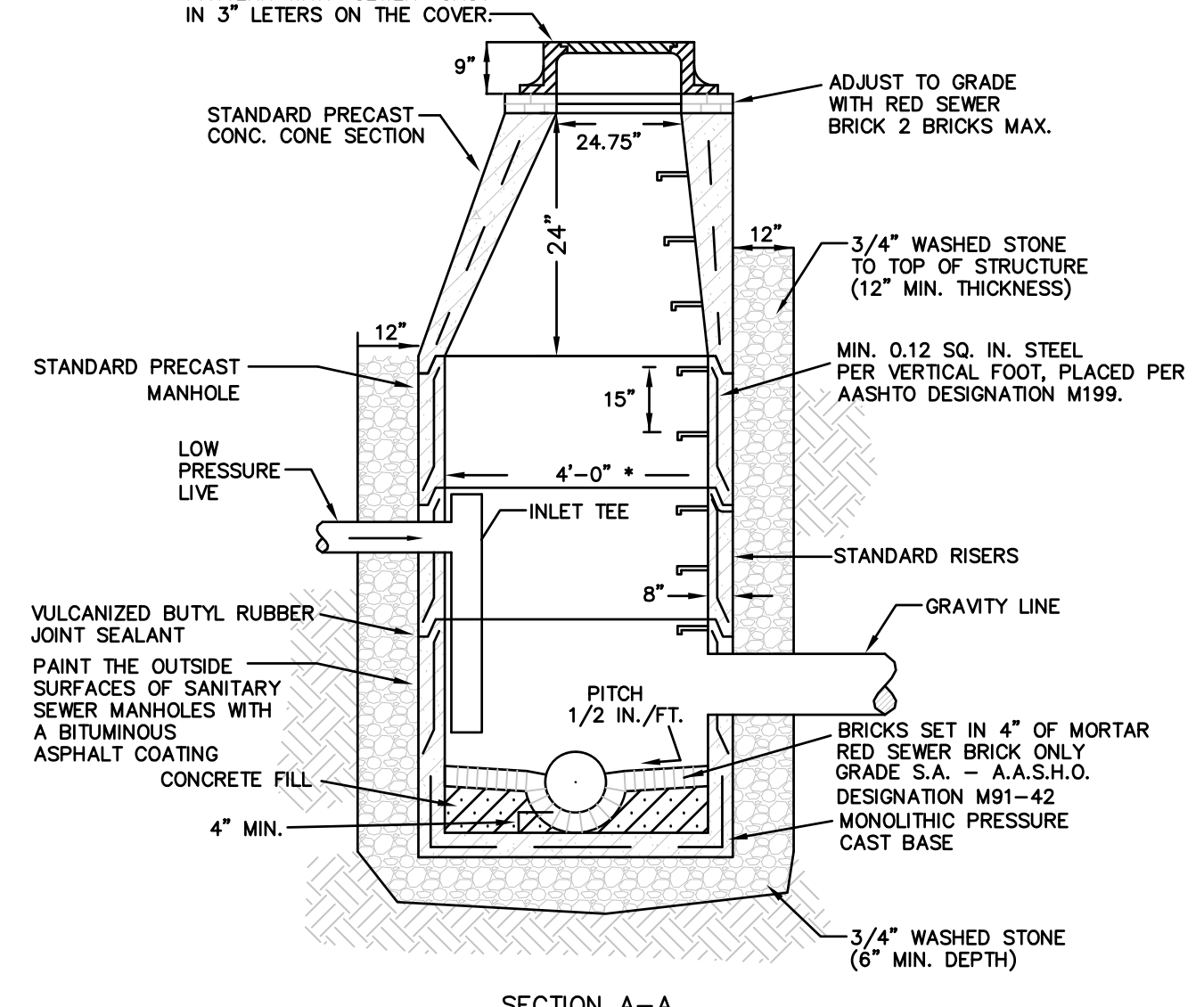
TYPICAL PRE-CAST DRAIN MANHOLE

NOT TO SCALE



TYPICAL SANITARY SEWER MANHOLE

NOT TO SCALE



TYPICAL SANITARY SEWER MANHOLE

NOT TO SCALE

* IF INLET TEE IS DISCONNECTED OR MISSING, IT MUST BE REPLACED BEFORE MAKING NEW SANITARY SEWER CONNECTION FROM PRESSURE WAY.

NOTES:
 ALL SEWER PIPING AND/OR STRUCTURES CROSSING UNDER OR WITHIN 100 FEET OF ANY SURFACE WATER BODY, STORM WATER IMPOUNDMENT OR WETLAND SHALL BE BUILT USING WATERTIGHT CONSTRUCTION METHODS AND MATERIALS.

SANITARY SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET TO ALL WATER SUPPLY LINES. WHEN A 10' HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER CANNOT BE MAINTAINED, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN.

ALL ROADWAY FILLS SHALL BE BROUGHT UP IN UNIFORM ONE FOOT LAYERS AND SHALL BE COMPACTED TO A RELATIVE COMPACTION OF NOT LESS THAN 95% AS DETERMINED BY AASHTO TEST DESIGNATION T-99, METHOD C. MATERIAL SHALL BE TESTED FOR COMPLIANCE TO ABOVE REGULATION BY A MATERIALS AND TESTING FIRM IN AREAS WHERE FILL IS FIVE FEET OR MORE. COPIES OF THE TEST RESULTS SHALL BE SUBMITTED TO THE TOWN IN REPORT FORM.

ALL SANITARY SEWER OR DRAIN MANHOLES GREATER THAN 12 FEET DEEP SHALL HAVE A MINIMUM INSIDE DIAMETER OF FIVE FEET.

TYPICAL SANITARY SEWER MANHOLE

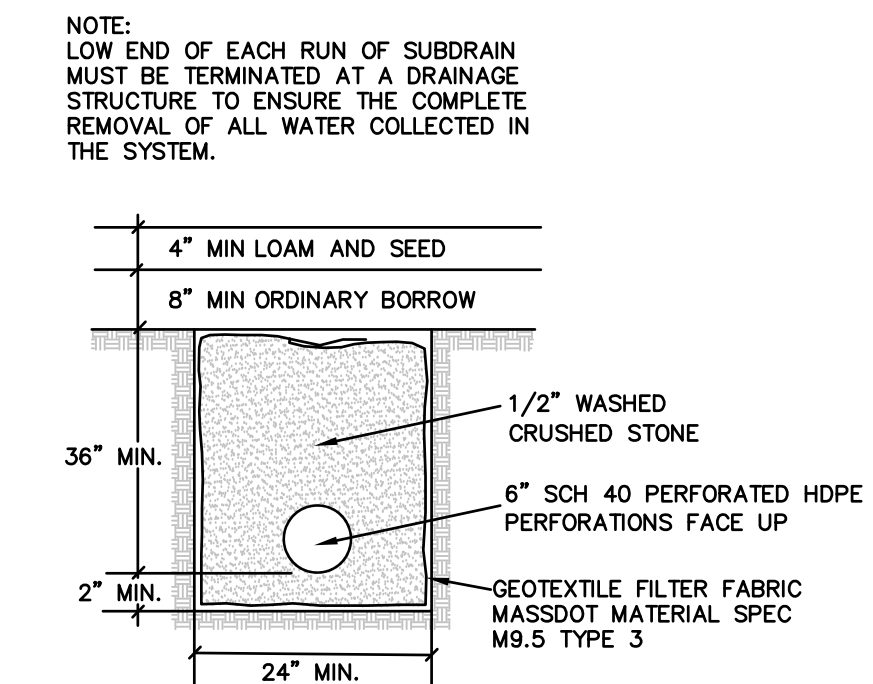
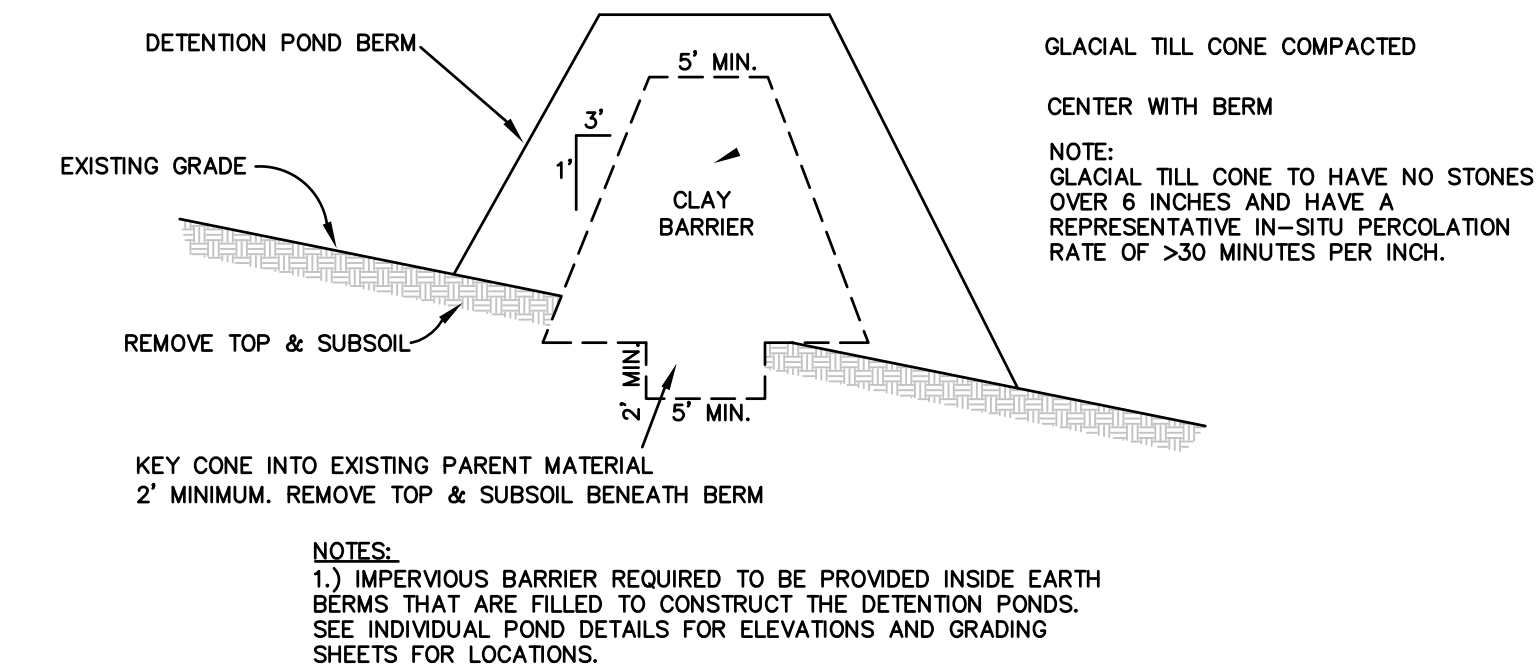
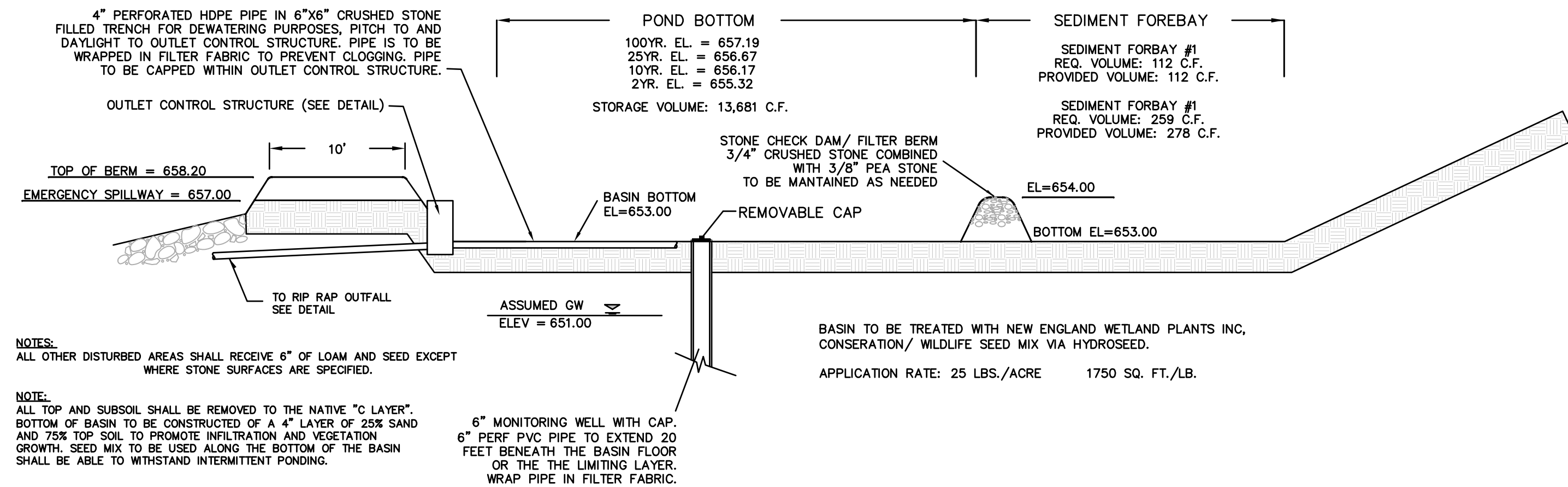
NOT TO SCALE

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____
DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

NOTE:
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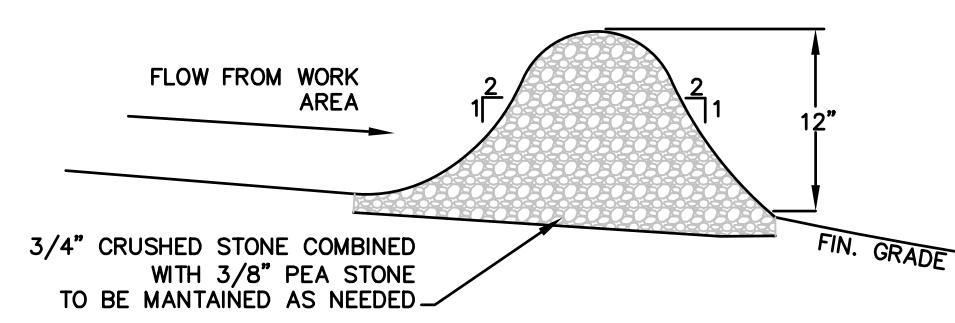
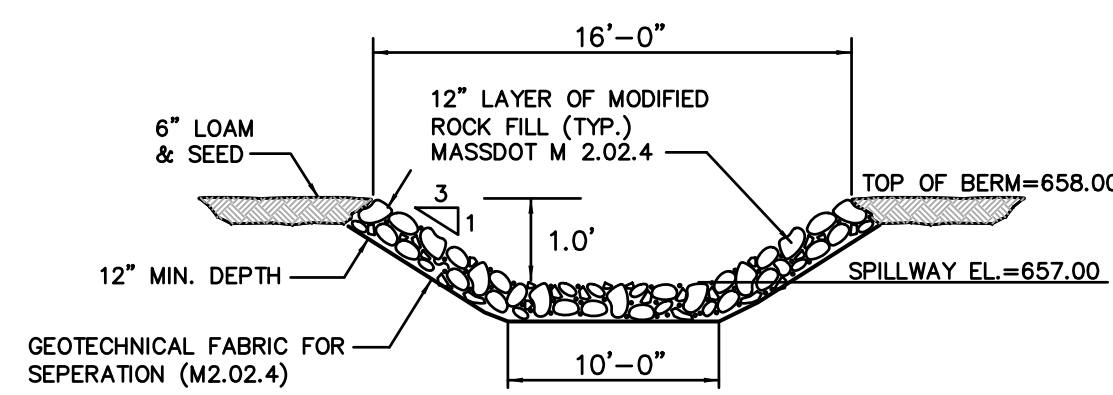
DATE: _____
TOWN CLERK



INFILTRATION BASIN

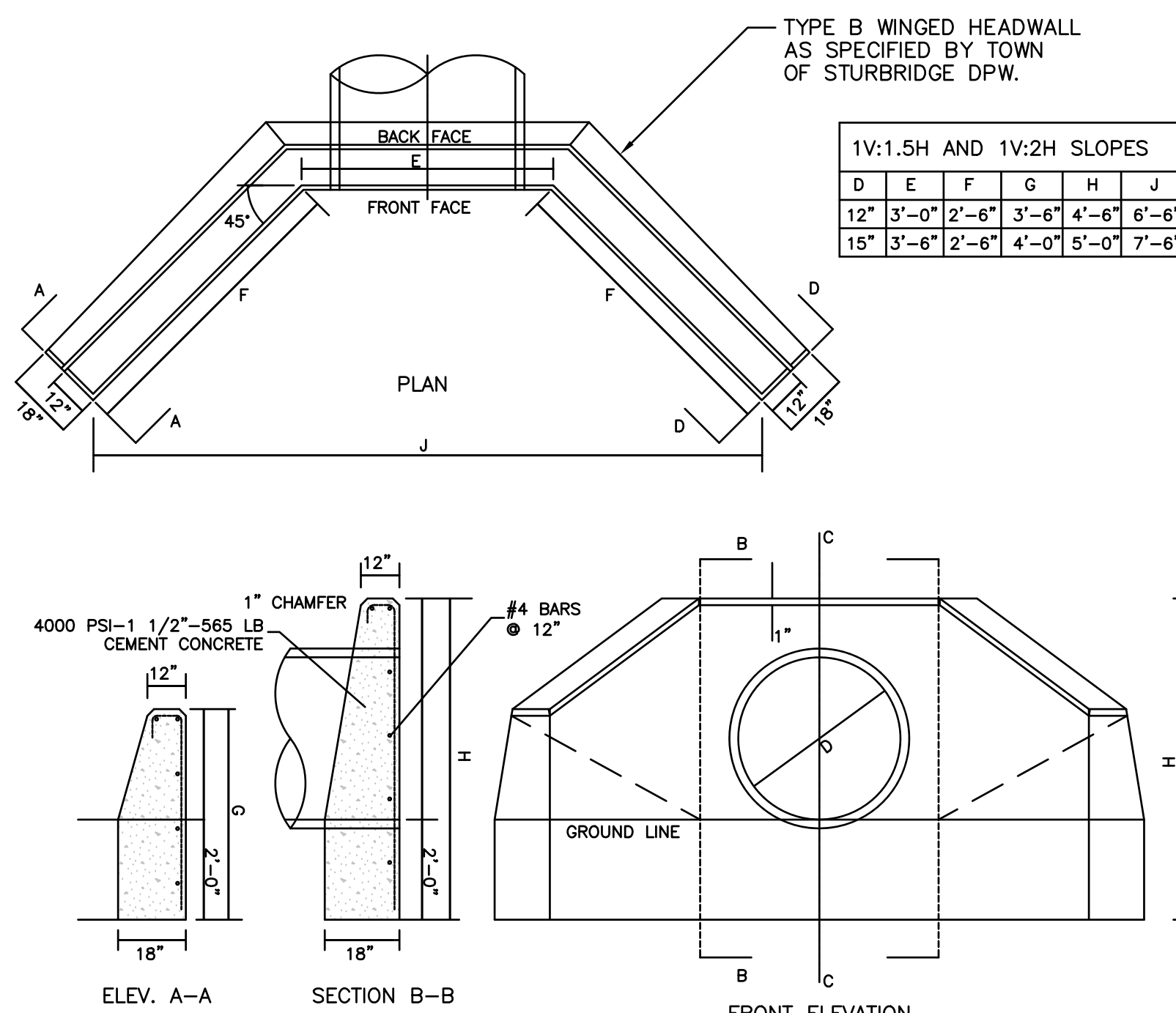
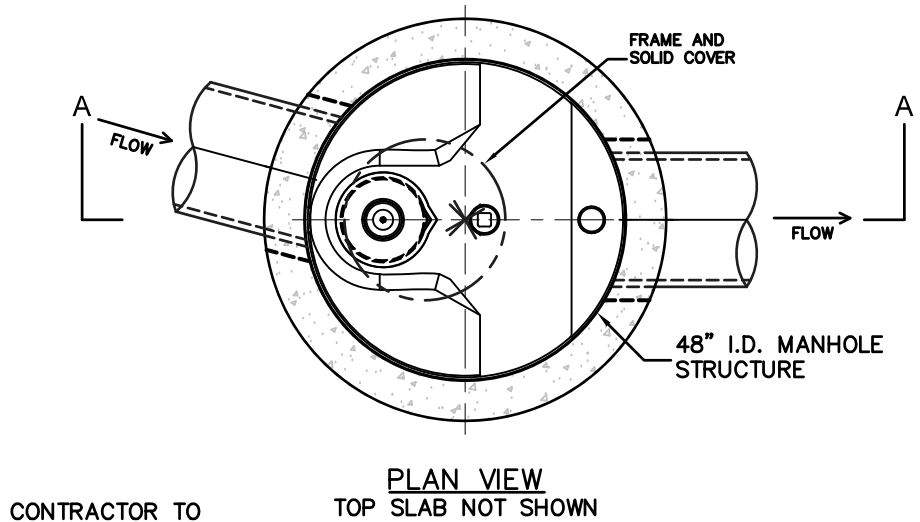
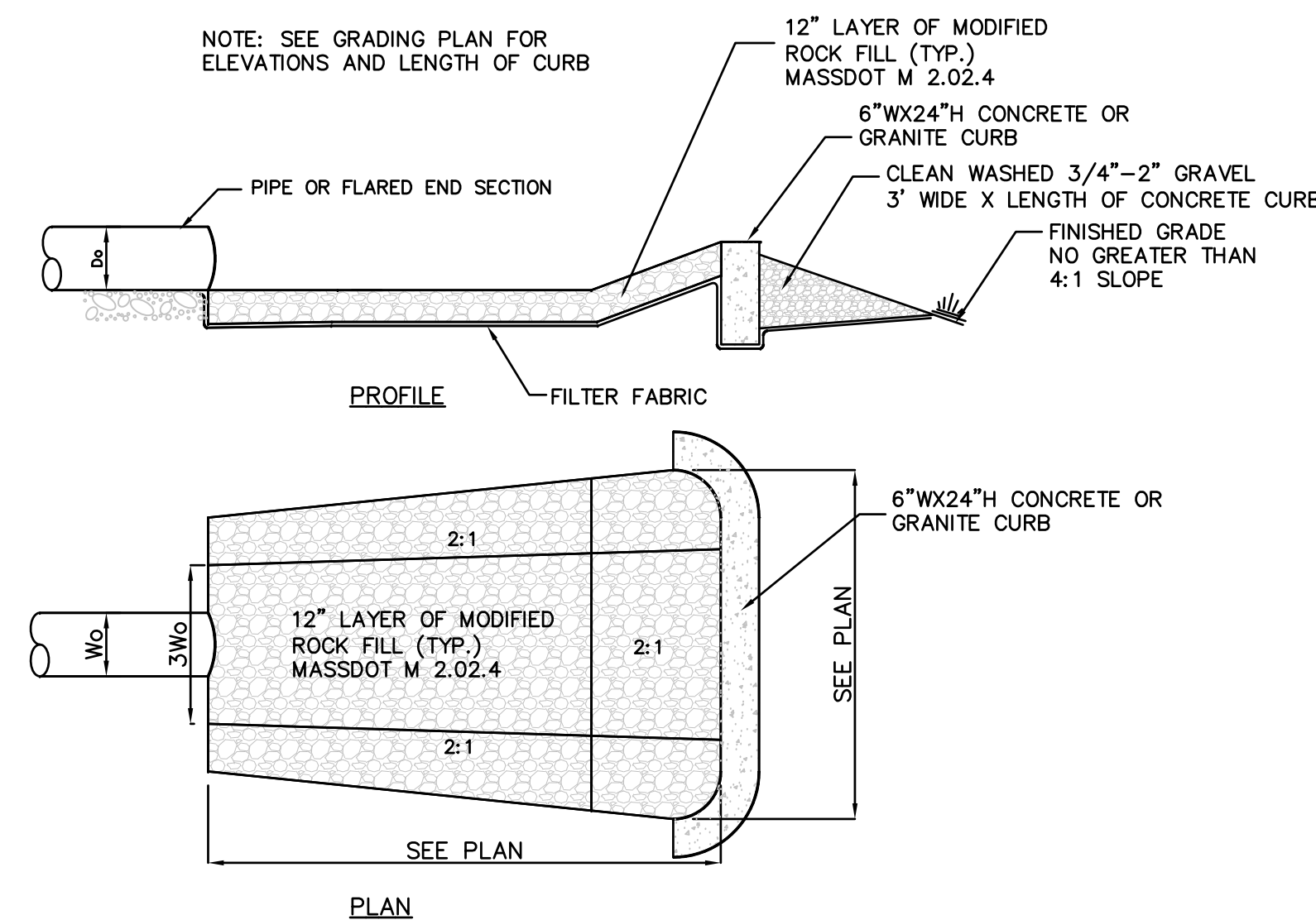
IMPERVIOUS BARRIER DETAIL

SUBDRAIN DETAIL



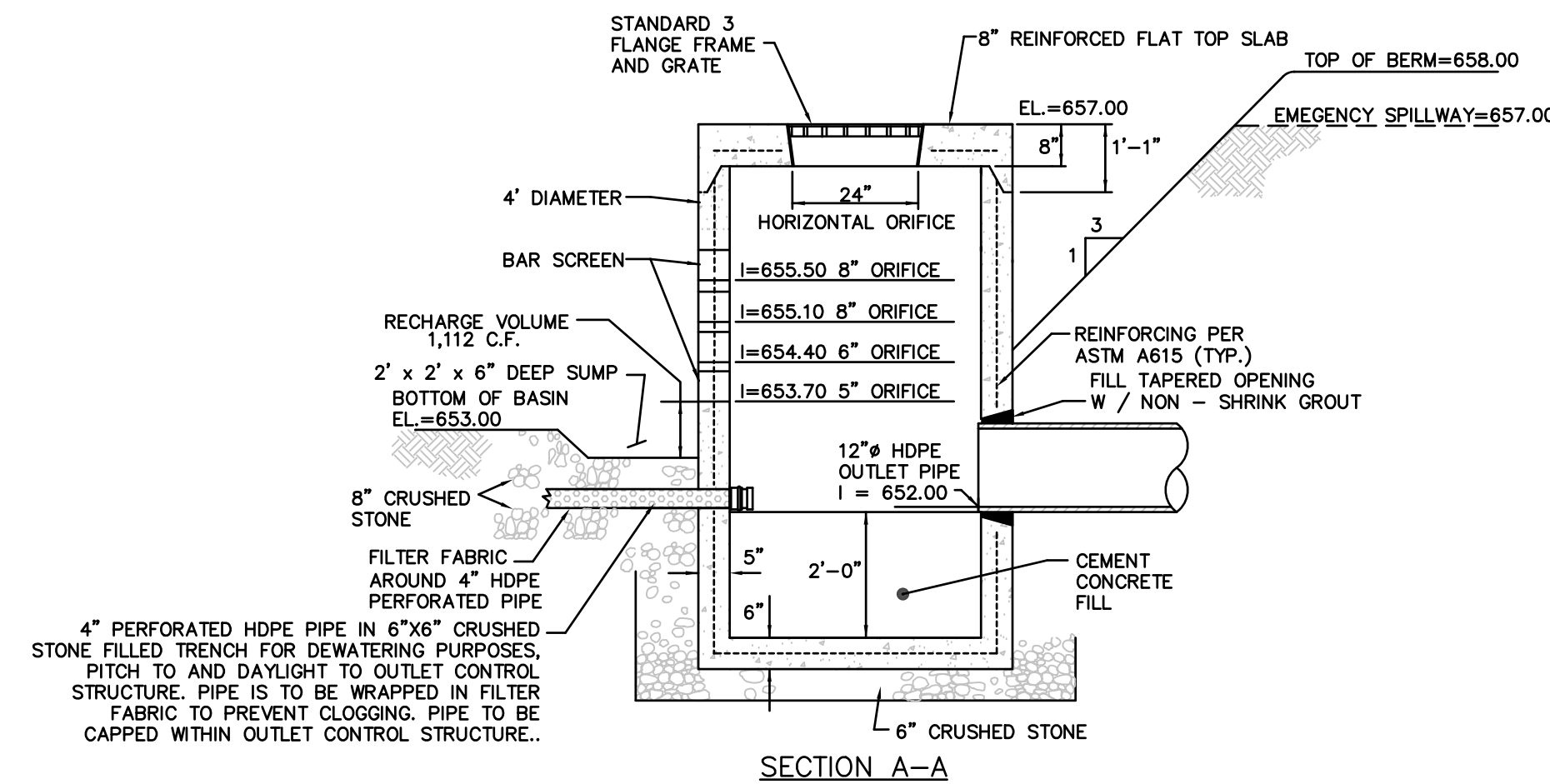
EMERGENCY SPILLWAY DETAIL

STONE CHECK DAM DETAIL



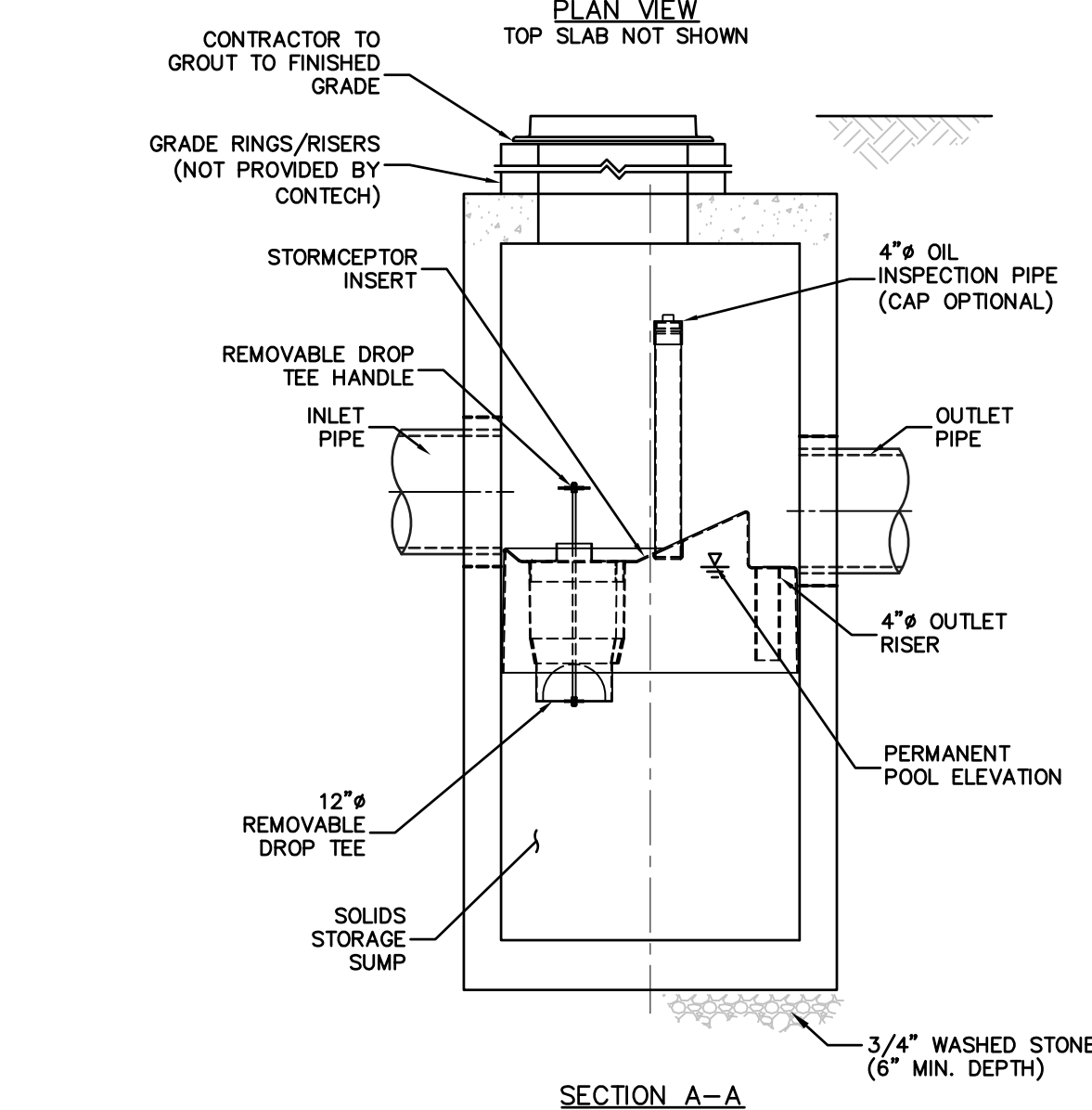
GENERAL NOTES:
1) FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE MASSDOT STANDARD SPECIFICATIONS.
2) ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM.
3) ALL EXPOSED EDGES TO HAVE 1" BEVELED CORNERS.
4) REINFORCING - NO. 4 REBAR AT 12" O.C.E.W.
5) SEE PLAN FOR OUTFALL PIPE INVERTS, PROFILE FOR OUTFALL PIPE DIAMETERS.

TYPE B WINGED HEADWALL



NOTE: 1. ALL JOINTS TO HAVE " KENT SEAL " OR EQUAL.
2. DESIGN LOADING PER AASHTO HS20 -44.

PRECAST CONCRETE OUTLET CONTROL STRUCTURE



GENERAL NOTES:
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

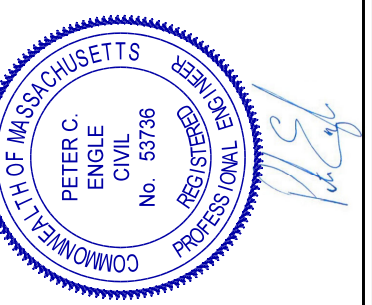
INSTALLATION NOTES:
A. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
B. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
C. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STORMCEPTOR 450 DETAILS

REV	DATE	DESCRIPTION	MADE (APVD)
1	12.29.20	REV. PER CLIENT	WN
2	5.28.21	REV. PER PEER REVIEW	WN

PETER C. ENGLE, P.E.
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DEFINITIVE SUBDIVISION PLAN
LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MA 01566

PREPARED FOR
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKALE, MA 01518

DRAWN BY: WCN
DATE: 11/12/20
CHK BY: PFE
SCALE: AS NOTED
PROJ. NO. 287-2117-K

SITE DETAILS

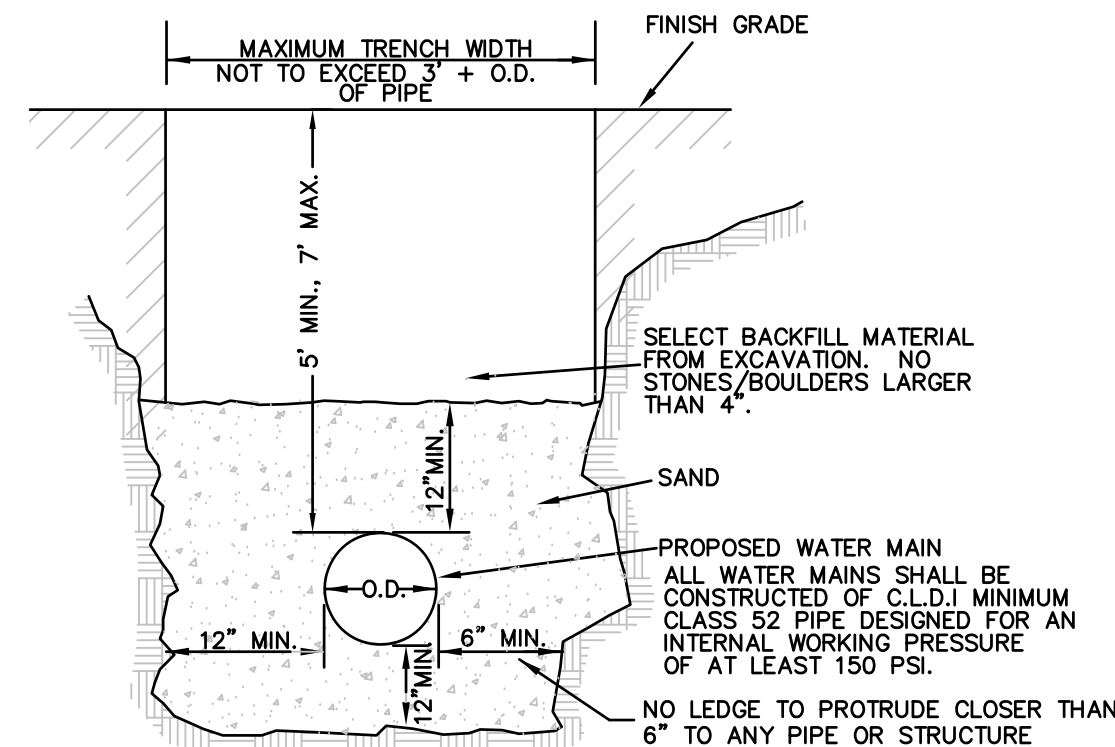
APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE
APPROVAL OF THIS PLAN WAS RECEIVED FROM _____
AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____
AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
NOTICE OF APPROVAL

DATE: _____
TOWN CLERK _____

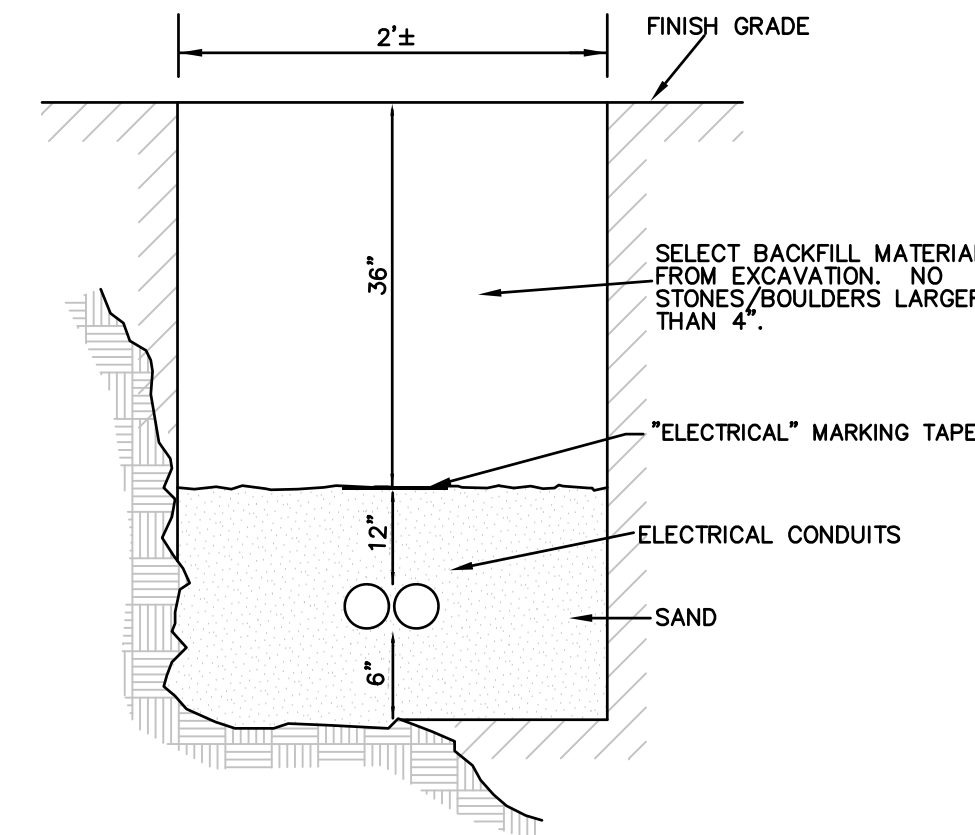
NOTE:
WHERE THE WATER MAIN IS PROPOSED CROSS COUNTRY TO FISKE HILL RD, THE FINISHED GRADE IS
TO MATCH EXISTING GRADE. DISTURBED SOILS ARE TO BE STABILIZED WITH BIODEGRADABLE JUTE
NETTING, LOAM AND SEED.



NOTE: IF SIGNIFICANT LEDGE IS ENCOUNTERED IN THE COURSE
OF ROADWAY OR UTILITY CONSTRUCTION, THE TOWN WILL BE
INFORMED AND A PLAN FOR SOIL TESTS OR BORINGS
AS WELL AS EXPECTED METHODS AND SCHEDULE OF REMOVAL
SHALL BE SUBMITTED TO THE TOWN.

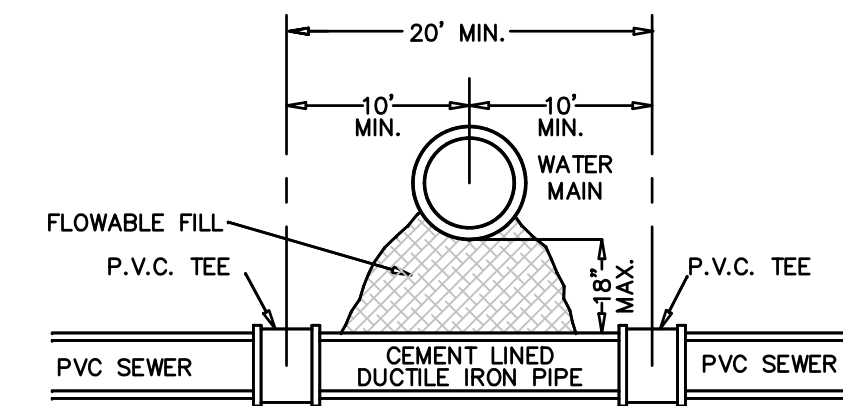
TYP. WATER MAIN TRENCH SECTION

NOT TO SCALE



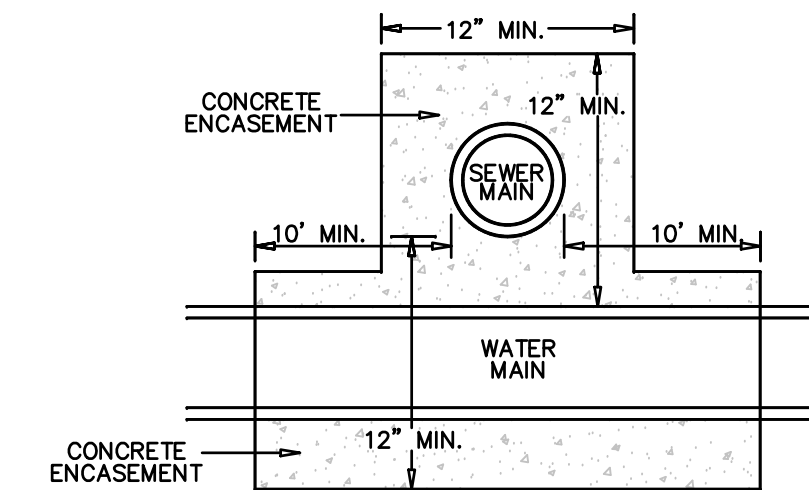
TYP. ELEC. TRENCH SECTION

NOT TO SCALE



NOTE:
THIS DETAIL IS TO BE USED ONLY WHEN THE BOTTOM OF THE WATER MAIN IS
CLOSER THAN 18" TO THE TOP OF SEWER MAIN. IF THE WATER MAIN IS DAMAGED
DURING CONSTRUCTION, THEN THE WATER MAIN MUST BE REPLACED FOR A
DISTANCE OF 10' ON BOTH SIDES OF THE SEWER MAIN USING CEMENT LINED
DUCTILE IRON PIPE & MECHANICAL JOINT SOLID SLEEVE FITTINGS.

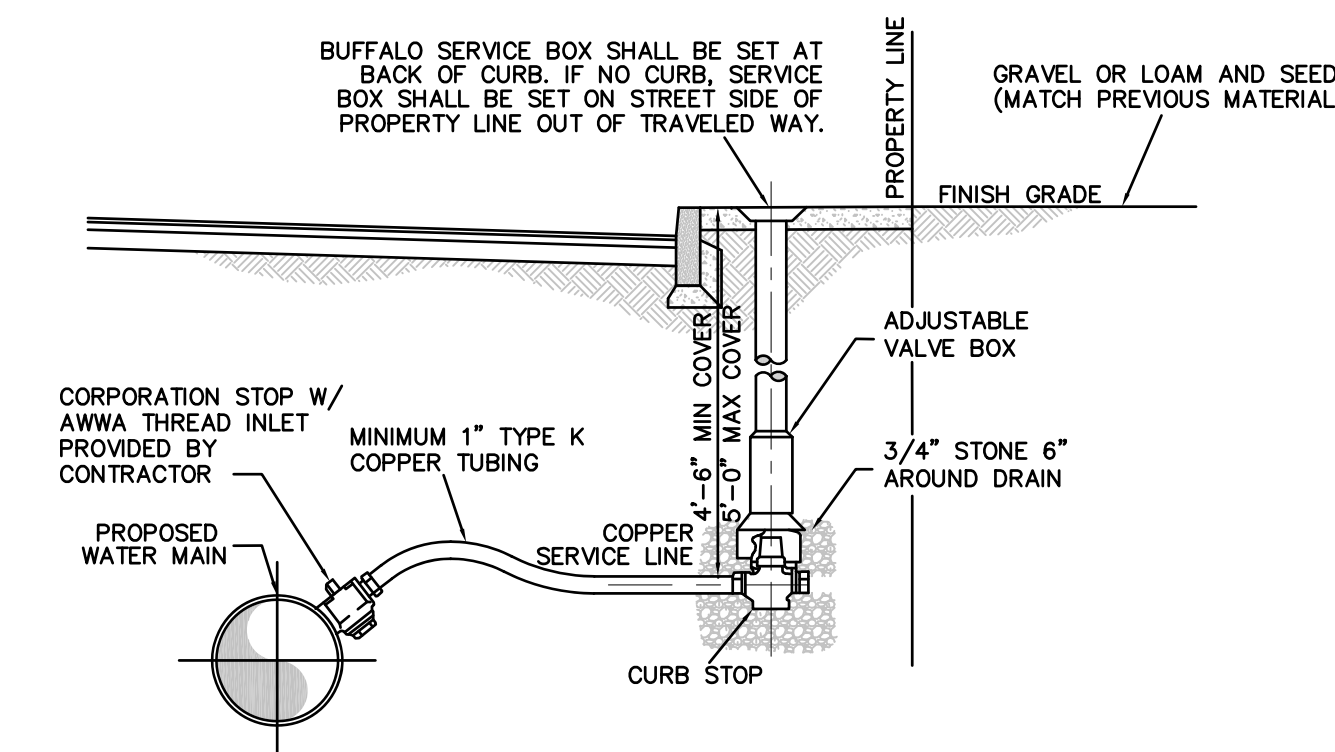
TYPICAL WATER/SEWER CROSSING



TYPICAL SEWER/WATER CROSSING

NOT TO SCALE

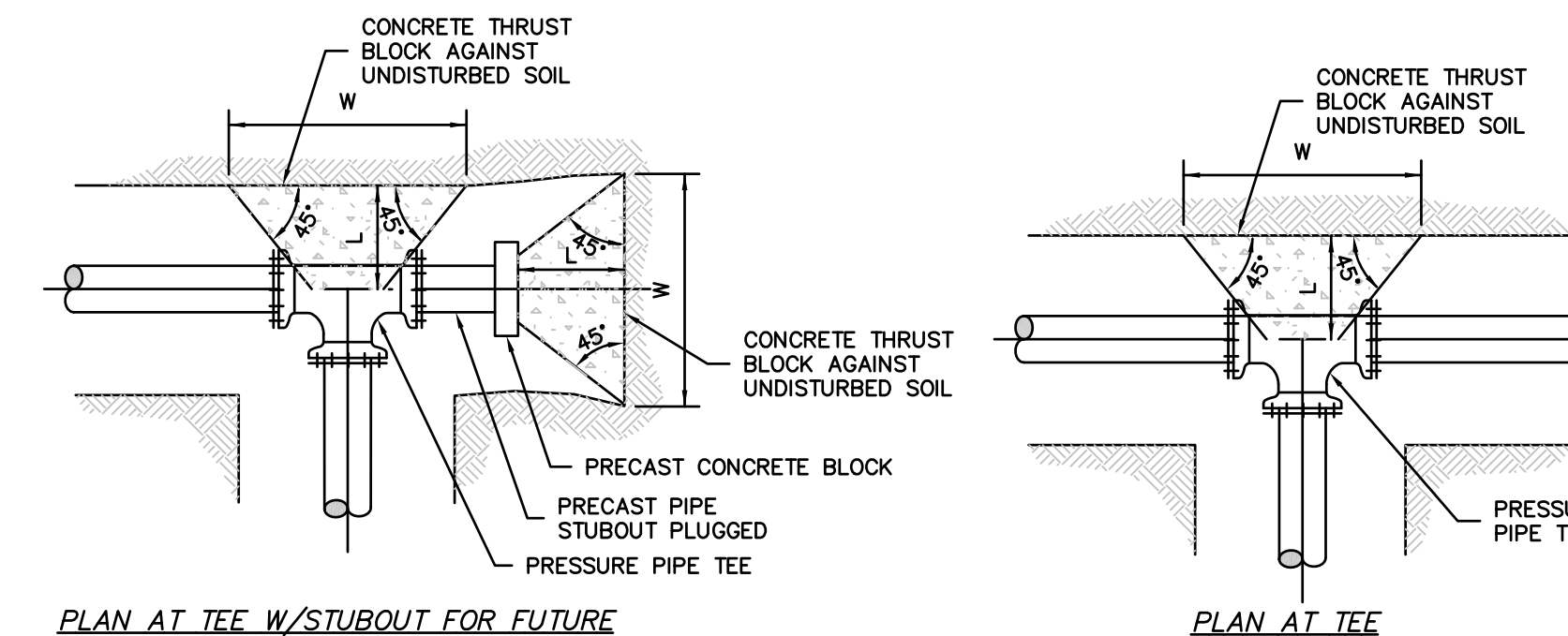
UTILITY CROSSING DETAILS



- NOTES:
- 1) NO WATER PIPE DEPTH SHALL EXCEED 5 FEET FROM FINISHED GRADE
 - 2) CONTRACTOR RESPONSIBLE FOR CONTACTING DIG SAFE PRIOR TO EXCAVATION
 - 3) TRENCH SHALL NOT BE BACKFILLED UNTIL SERVICE HAS BEEN INSPECTED AND APPROVED BY THE STURBRIDGE D.P.W.
 - 4) WATER SHALL BE TURNED ON BY THE SWD ONLY AFTER APPROVAL
 - 5) ONLY CONTRACTORS APPROVED BY THE SWD SHALL MAKE TAP
 - 6) WATER SERVICE LINES AND METER SHALL BE SIZED BY THE SWD
 - 7) ALL COMPACTION SHALL BE BY MECHANICAL MEANS AT NO GREATER THAN 12 INCH LIFTS
 - 8) NEW AND RENEWED SERVICES SHALL HAVE REMOTE READERS
 - 9) SERVICE SHALL BE FLUSHED BEFORE ACTIVATING TO AVOID METER CLOGGING
 - 10) THERE SHALL BE A HORIZONTAL SEPARATION OF 10 FEET FROM ANY OTHER UTILITY LINE
 - 11) EXISTING CORPORATION SHALL BE CLEANED WHEN A SERVICE IS RENEWED
 - 12) SERVICE SHALL BE LAID PERPENDICULAR TO THE WATER MAIN UNTIL PROPERTY LINE
 - 13) THE STURBRIDGE D.P.W. RESERVES THE RIGHT TO MODIFY STANDARDS AT THEIR DISCRETION
 - 14) CORPORATION STOPS, CURB STOPS AND SERVICE BOXES SHALL BE OF A TYPE APPROVED BY THE STURBRIDGE D.P.W.

TYPICAL DOMESTIC SERVICE CONNECTION

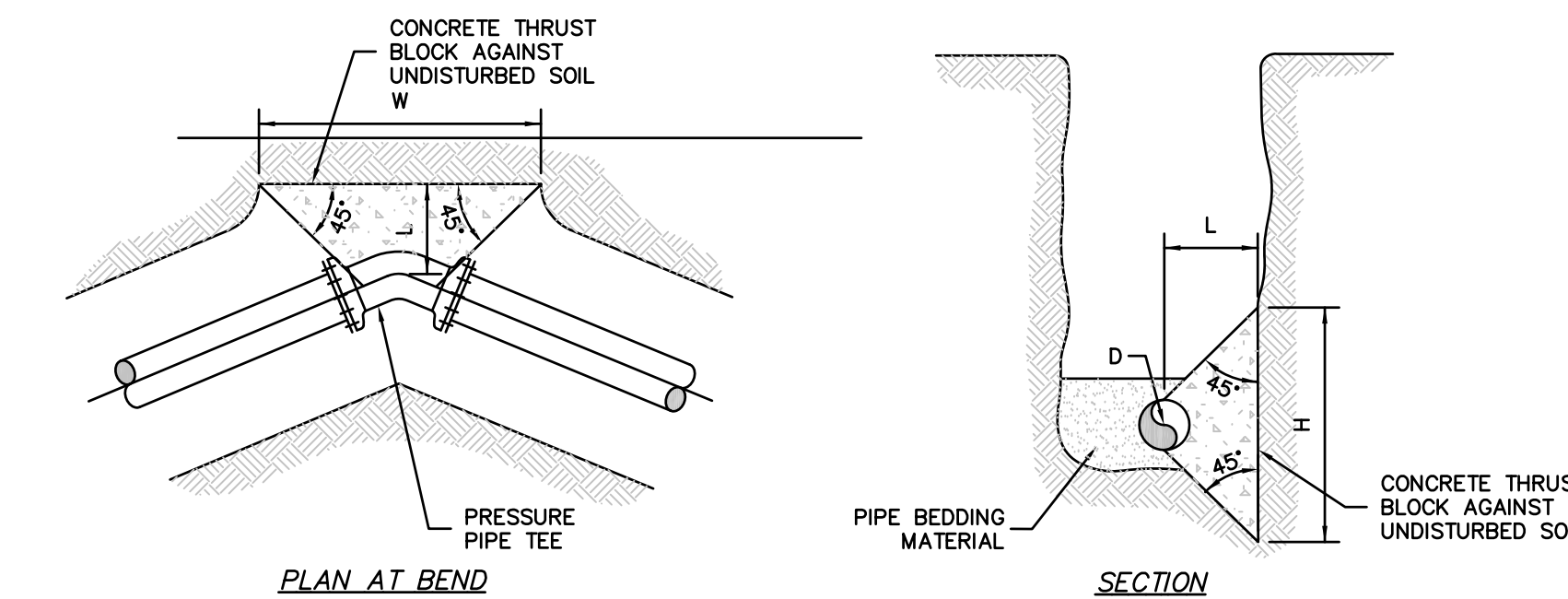
NOT TO SCALE



PLAN AT TEE W/STUBOUT FOR FUTURE

PLAN AT TEE

D	22 1/2° BEND			45° BEND			90° BEND			TEE / CAP						
	BEARING AREA (S.F.)	L	H	BEARING AREA (S.F.)	L	H	BEARING AREA (S.F.)	L	H	BEARING AREA (S.F.)	L	H				
8"	1.5	0.5'	1.0'	1.5	3.0	1.0'	1.5	2.5'	5.5	1.0'	2.0'	3.0'	3.9	1.0'	2.0'	2.5'
12"	3.5	1.0'	1.5	2.5	6.5	1.0'	2.0'	3.5	12.0	1.5'	3.0'	4.5'	8.5	1.5'	2.5'	4.0'
16"	6.0	1.0'	2.0'	3.0	11.0	1.5'	3.0'	4.0	20.5	2.0'	4.0'	5.5'	14.5	2.0'	3.5'	5.0'

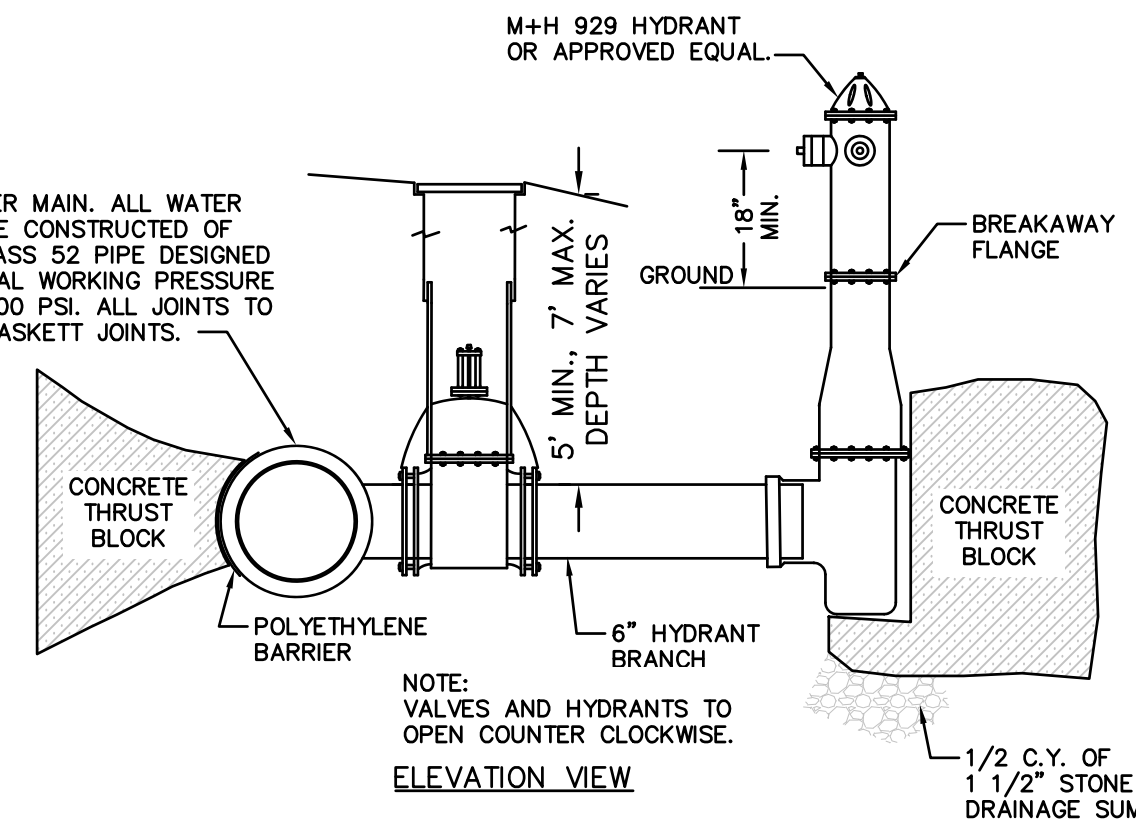


CONCRETE THRUST BLOCK FOR HORIZONTAL BENDS AND TEES

- GENERAL NOTES:
- 1) DIMENSIONS SHOWN CALCULATED PER 120 PSI INTERNAL PIPE PRESSURE FOR SOIL BEARING LOADS OF 3,000 PSF.
 - 2) CONSTRUCT CONCRETE THRUST BLOCKS OF CONCRETE POURED AGAINST UNDISTURBED SOIL.
 - 3) DIMENSIONS L, W, & H MAY BE ADJUSTED TO MEET FIELD CONDITIONS PROVIDED THE BEARING AREA REMAINS UNCHANGED.
 - 4) THE HEIGHT OF THE BLOCK (H) SHALL BE LESS THAN OR EQUAL TO HALF THE TRENCH DEPTH.
 - 5) PLACE POLYETHYLENE SHEETING OVER MJ FITTINGS TO PREVENTS DIRECT CONTACT BETWEEN CONCRETE AND THE FITTING.
 - 6) THE STURBRIDGE WATER AND SEWER COMMISSION RESERVES THE RIGHT TO MODIFY STANDARDS AT THEIR DISCRETION.

NOT TO SCALE

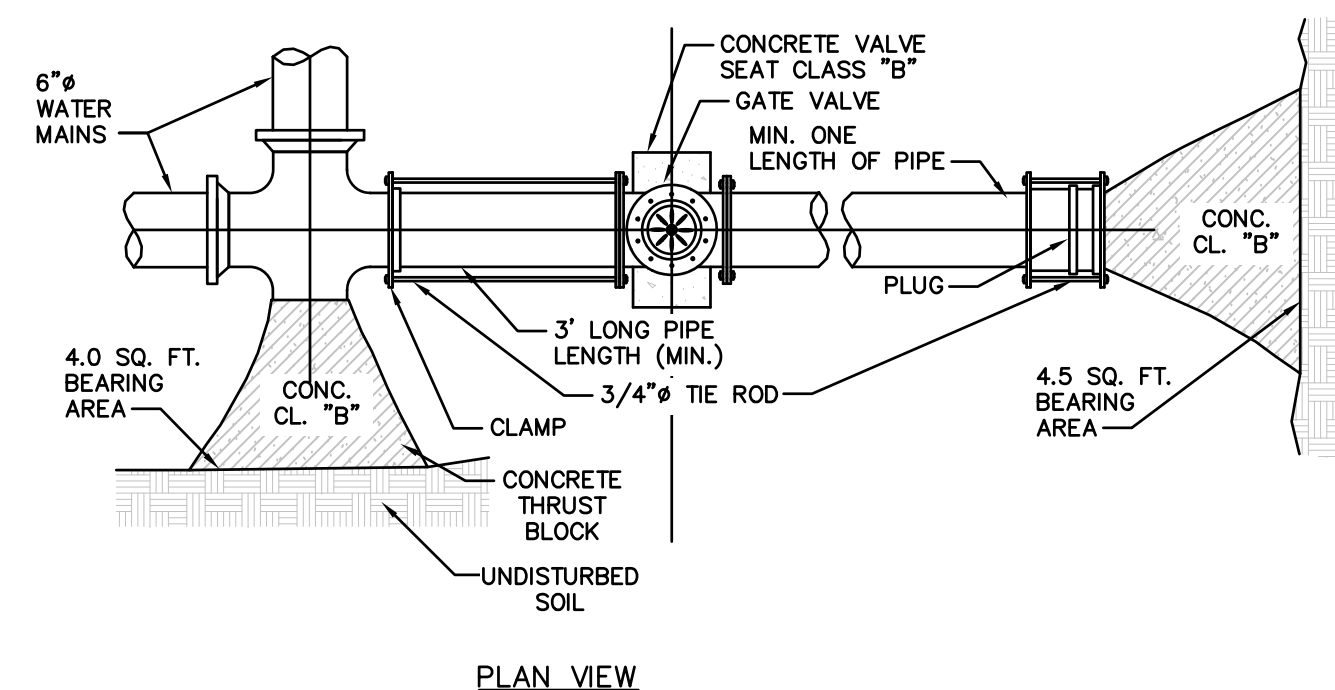
8" C.L.D.I. WATER MAIN. ALL WATER MAINS SHALL BE CONSTRUCTED OF C.L.D.I. MIN. CLASS S2 PIPE DESIGNED FOR AN INTERNAL WORKING PRESSURE OF AT LEAST 200 PSI. ALL JOINTS TO BE PUSH-ON GASKETT JOINTS.



TYPICAL HYDRANT W/GATE

NOT TO SCALE

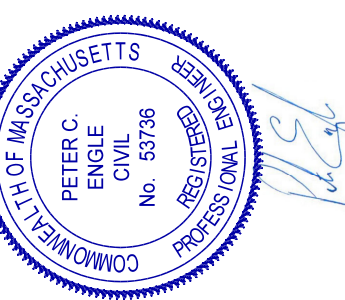
TYPICAL HYDRANT W/GATE



TYPICAL STUB FOR FUTURE CONNECTION

NOT TO SCALE

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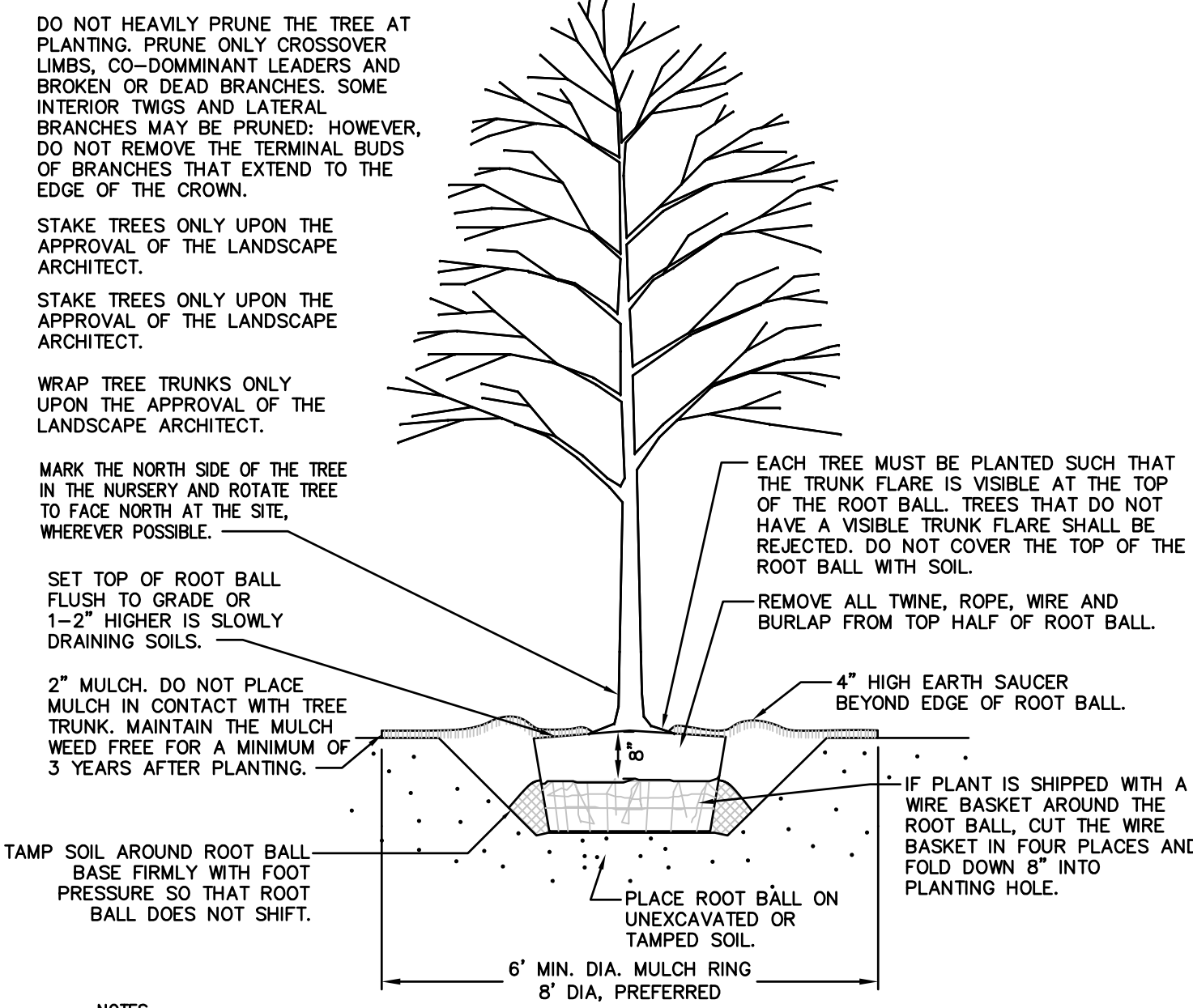
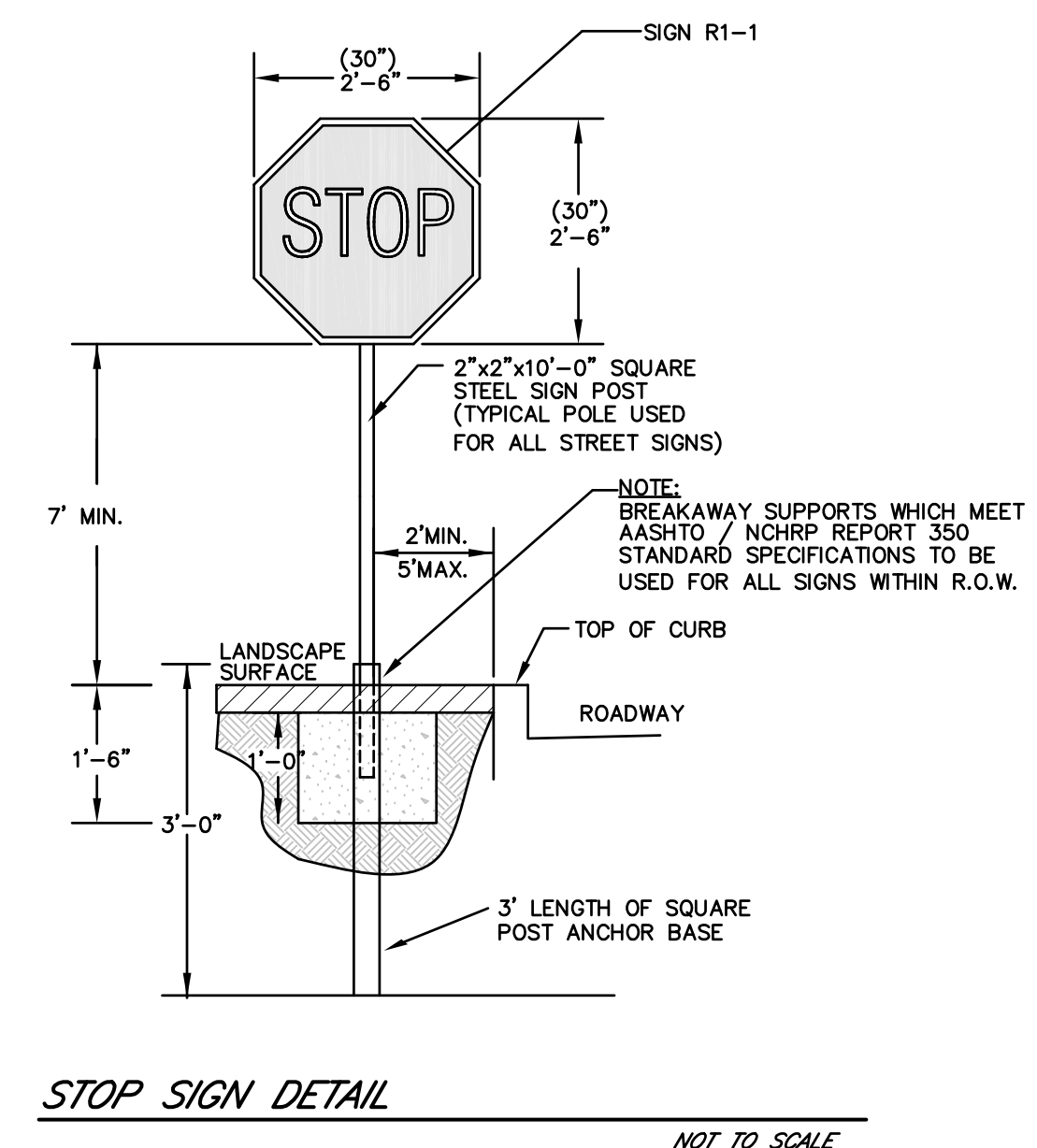
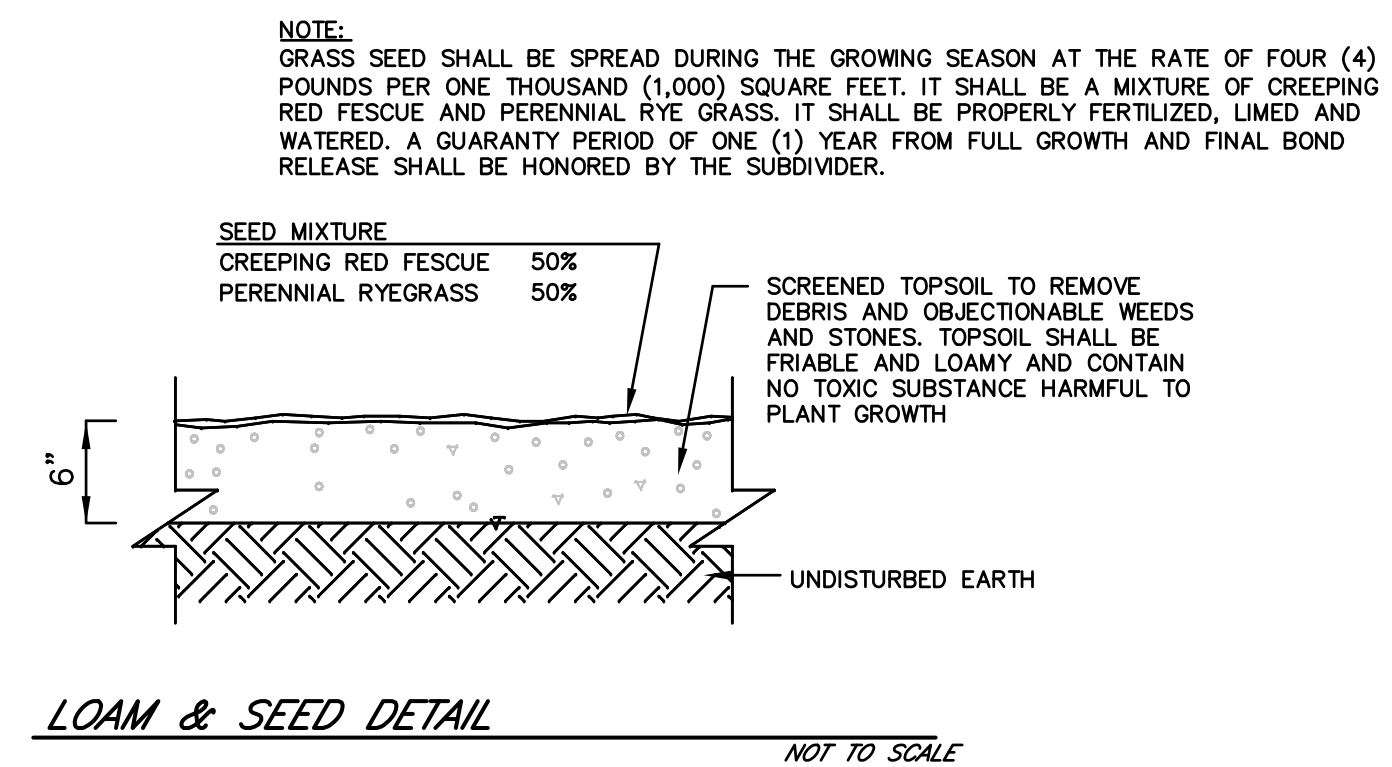
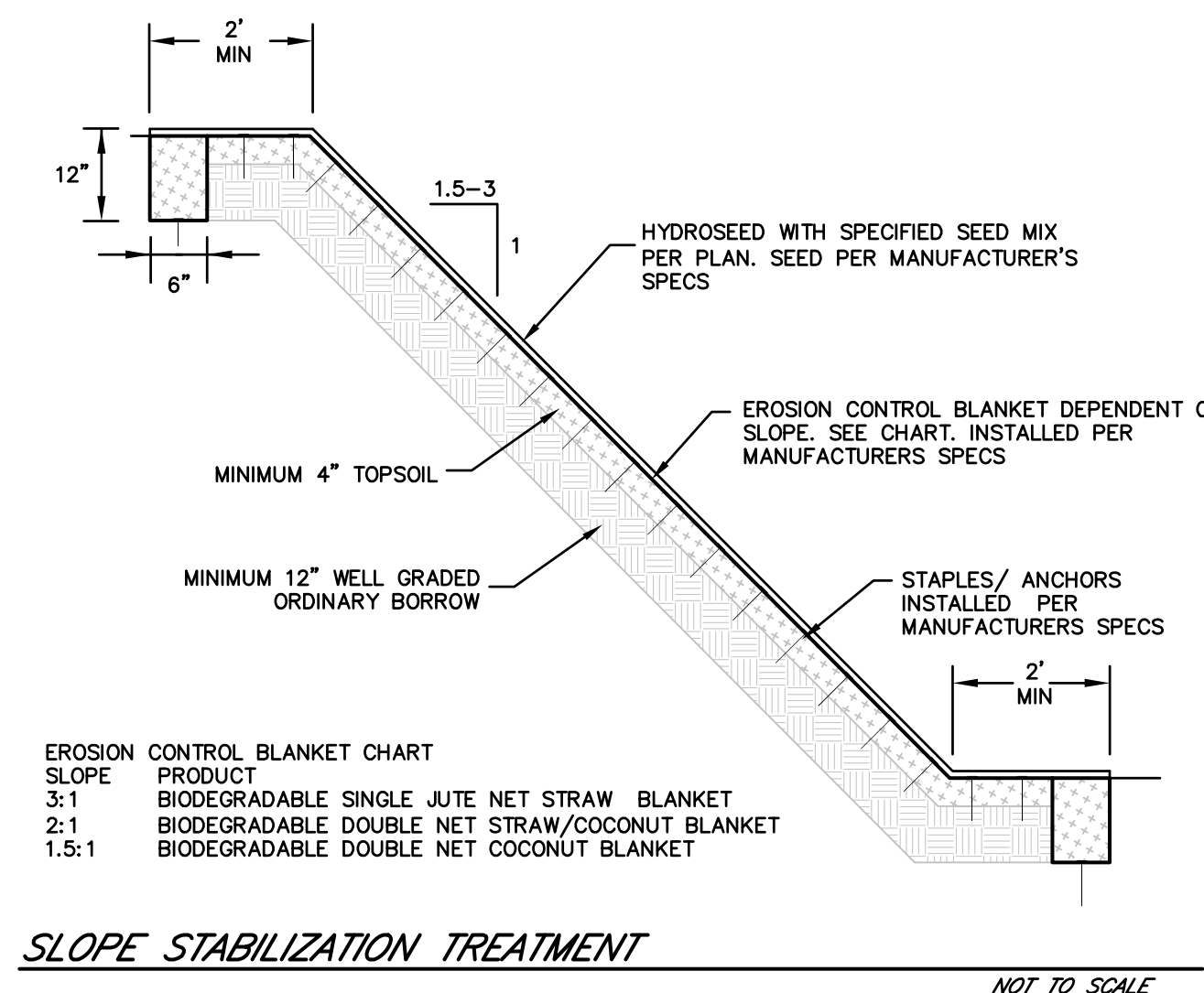
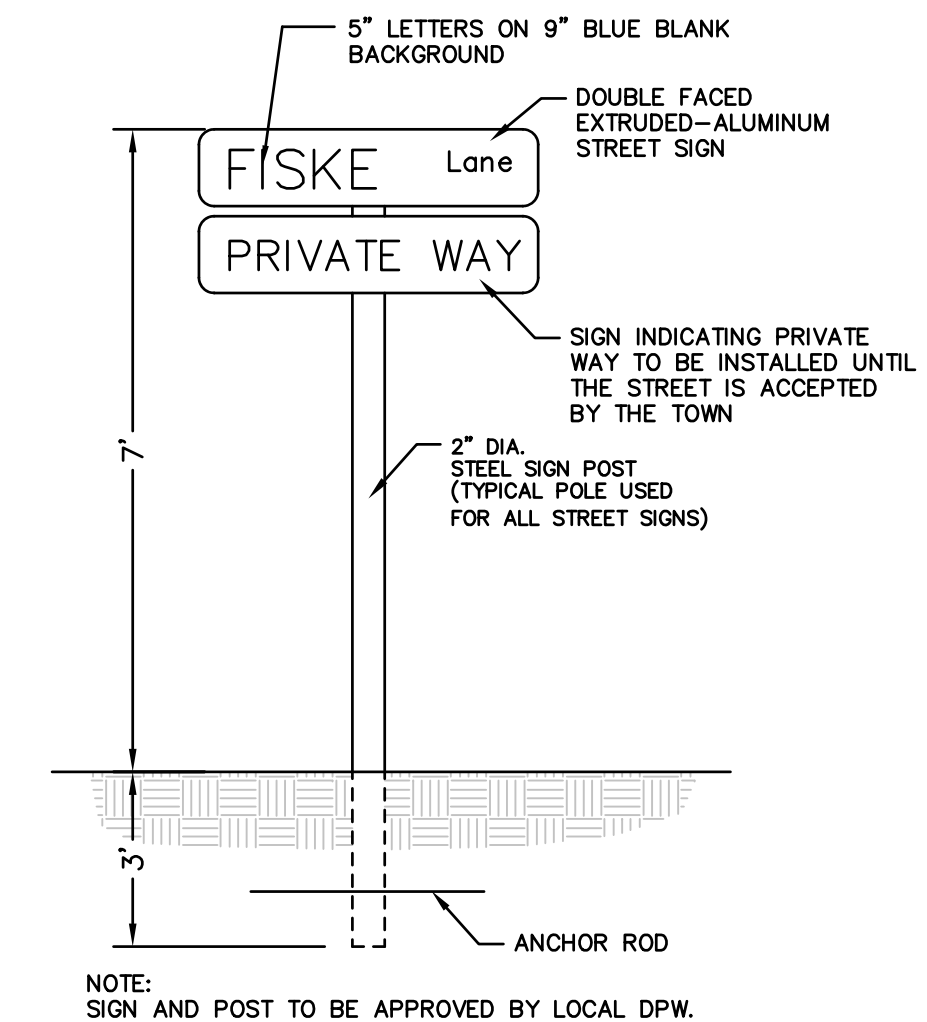
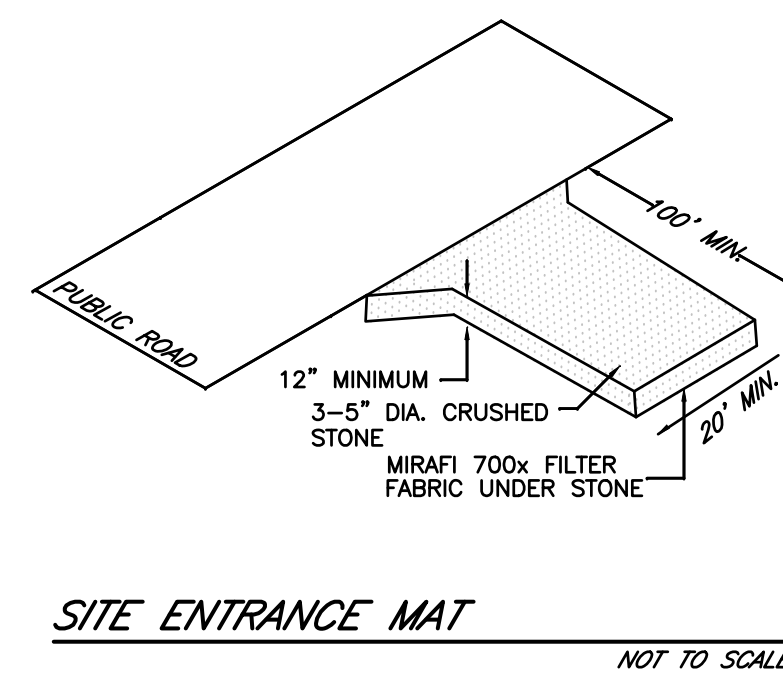
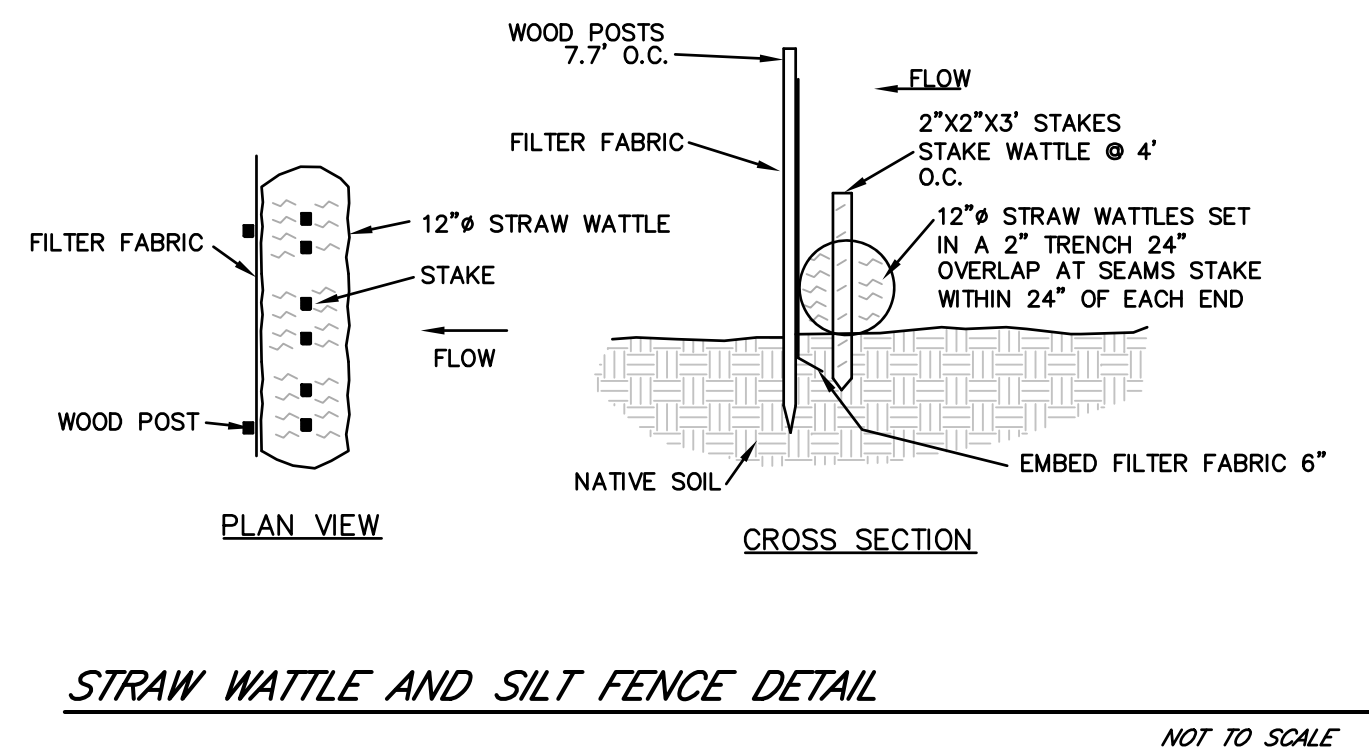
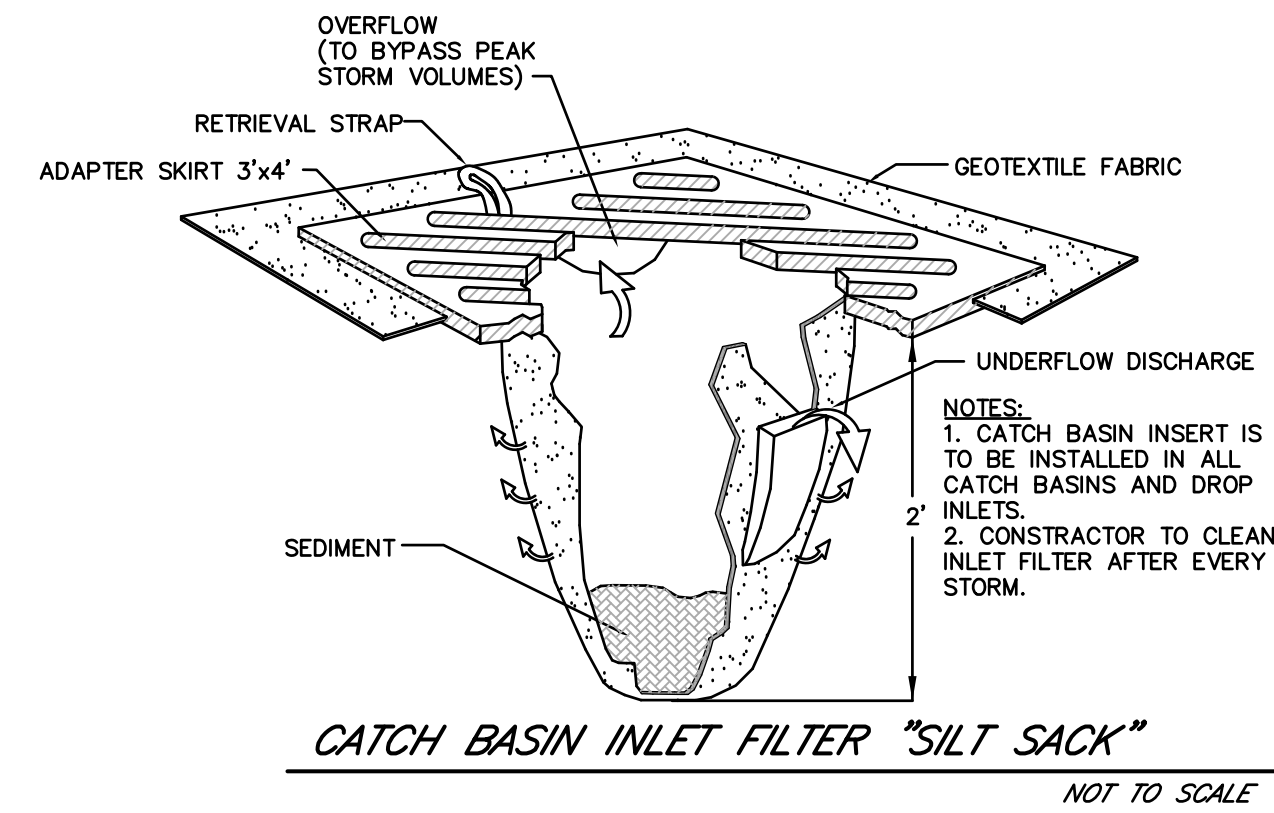
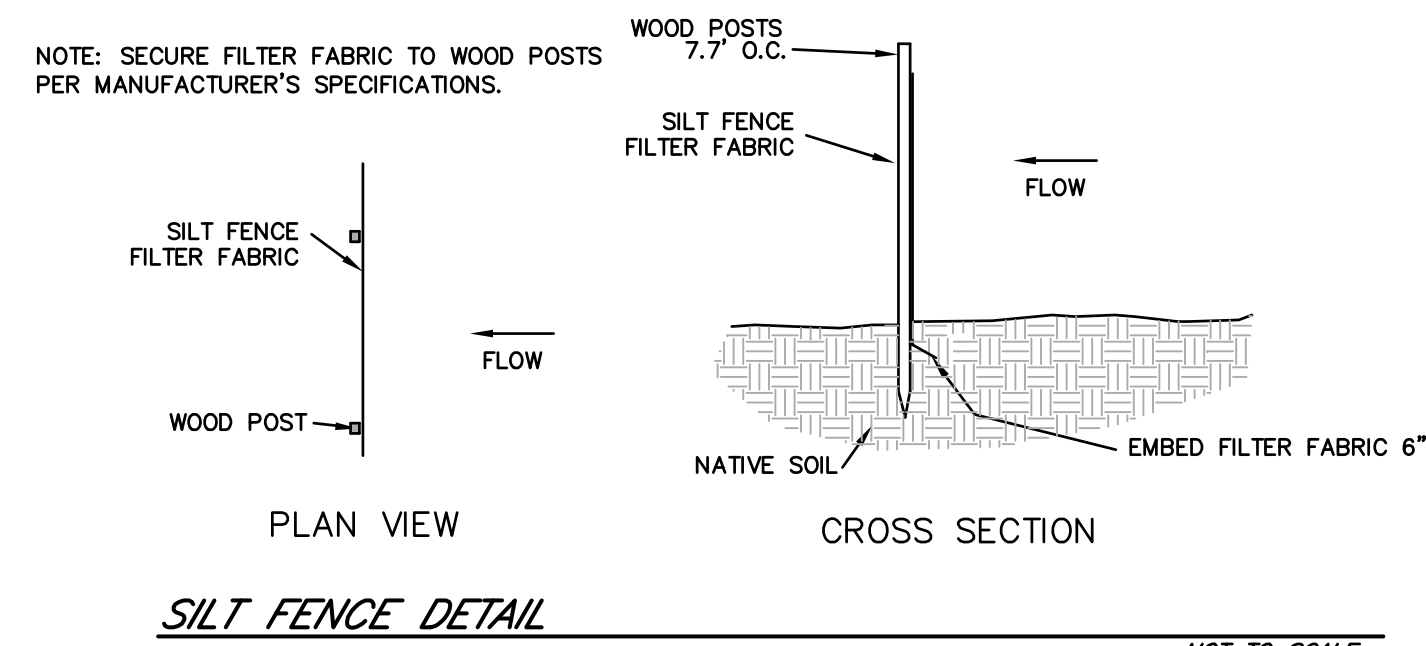
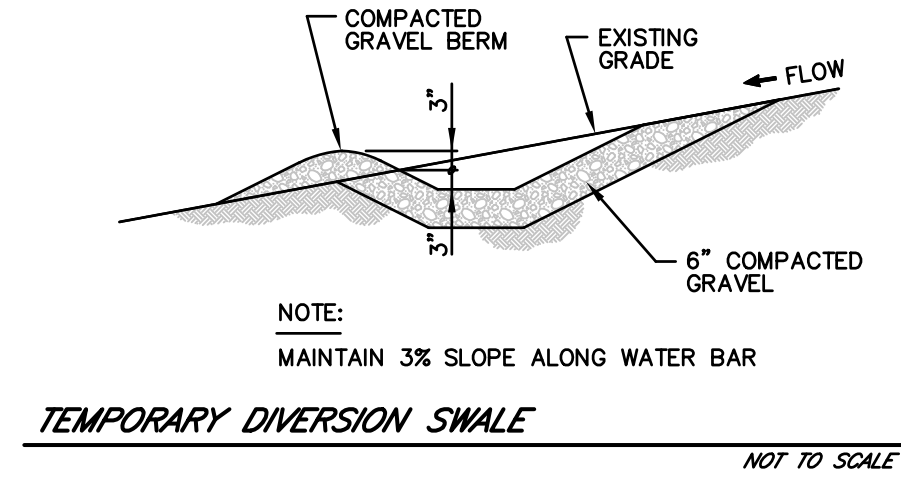
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119 Worcester Road
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Email: pengle@mcclureengineers.com

DEFINITIVE SUBDIVISION PLAN
LOCATED AT
30 MAIN STREET & 20 FISKE HILL ROAD
STURBRIDGE, MA 01566
PREPARED FOR
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD, FISKDALE, MA 01518

DRAWN BY: WCN
DATE: 11/11/20
CHK BY: PCE
SCALE: AS NOTED
PROJ. NO. 287-2117-K

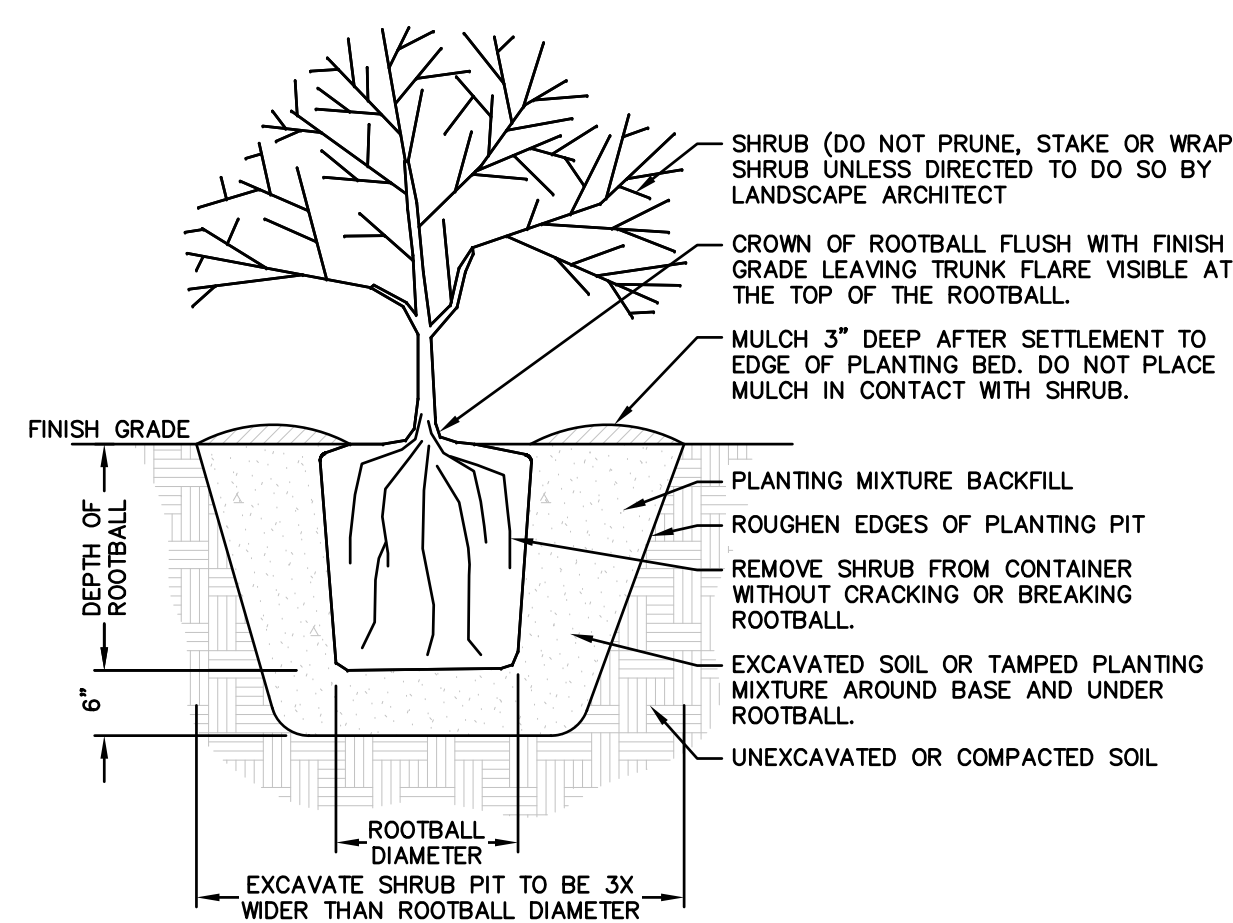
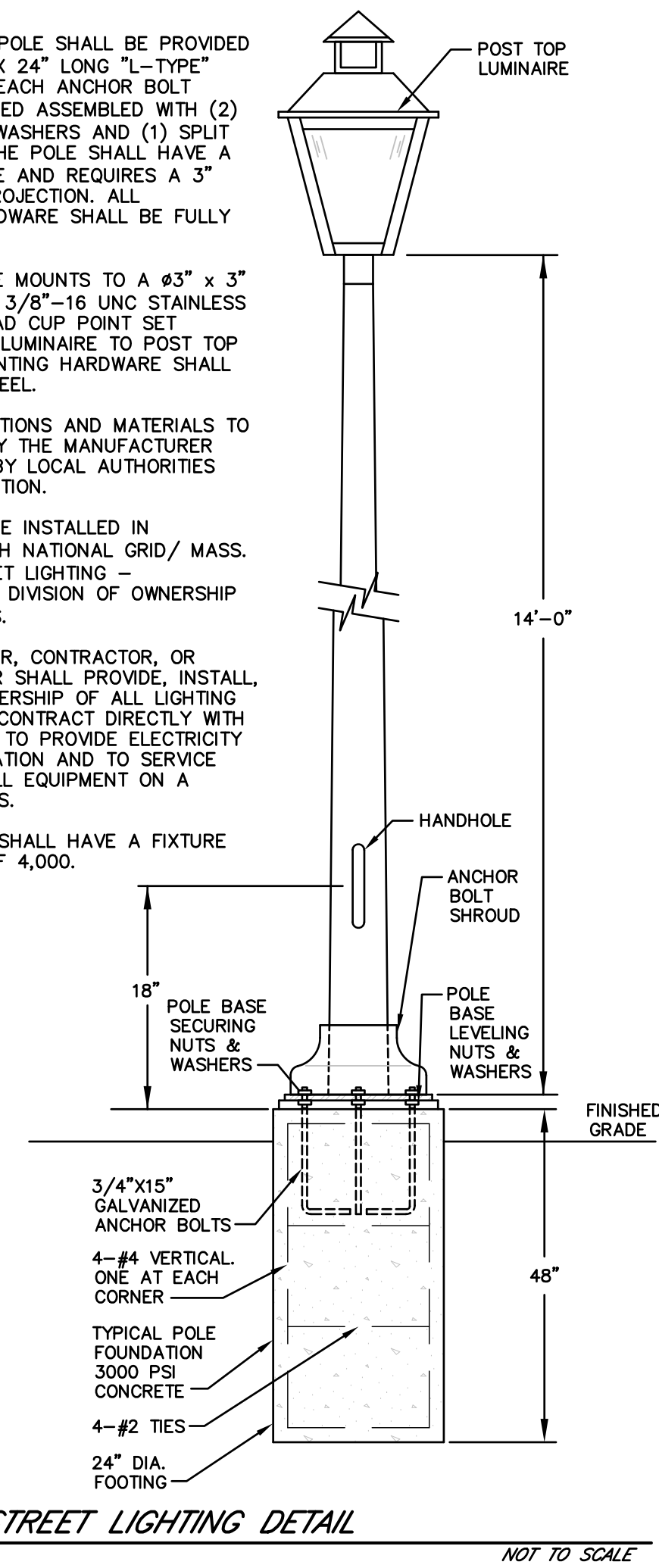
SITE DETAILS

C10



- NOTES
- PLEASE REFER TO INTRODUCTION AND USE CRITERIA PRIOR TO USING THIS DETAIL.
 - THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 16 SQ. FT., OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

- GENERAL NOTES:
- THE LIGHTING POLE SHALL BE PROVIDED WITH (4) #3/4" x 24" LONG "L-TYPE" ANCHOR BOLTS. EACH ANCHOR BOLT SHALL BE SUPPLIED ASSEMBLED WITH (2) NUTS, (2) FLAT WASHERS AND (1) SPLIT LOCK WASHER. THE POLE SHALL HAVE A #10" BOLT CIRCLE AND REQUIRES A 3" ANCHOR BOLT PROJECTION. ALL ANCHORAGE HARDWARE SHALL BE FULLY GALVANIZED.
 - THE LUMINAIRE MOUNTS TO A #3" x 3" TALL TENON. (3) 3/8"-16 UNC STAINLESS STEEL ALLEN HEAD CUP POINT SET SCREWS SECURE LUMINAIRE TO POST TOP TENON. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 - ALL SPECIFICATIONS AND MATERIALS TO BE CONFIRMED BY THE MANUFACTURER AND APPROVED BY LOCAL AUTHORITIES BEFORE INSTALLATION.
 - LIGHTING TO BE INSTALLED IN ACCORDANCE WITH NATIONAL GRID/ MASS. ELEC. CO. "STREET LIGHTING - UNDERGROUND - DIVISION OF OWNERSHIP S-3" STANDARDS.
 - THE DEVELOPER, CONTRACTOR, OR PROPERTY OWNER SHALL PROVIDE, INSTALL AND RETAIN OWNERSHIP OF ALL LIGHTING EQUIPMENT AND CONTRACT DIRECTLY WITH MASS. ELEC. CO. TO PROVIDE ELECTRICITY FOR LIGHT OPERATION AND TO SERVICE AND MAINTAIN ALL EQUIPMENT ON A LONG-TERM BASIS.
 - ALL LIGHTING SHALL HAVE A FIXTURE LUMEN RATING OF 4,000.



NOTE:
THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF STURBRIDGE APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____ AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL

DATE: _____

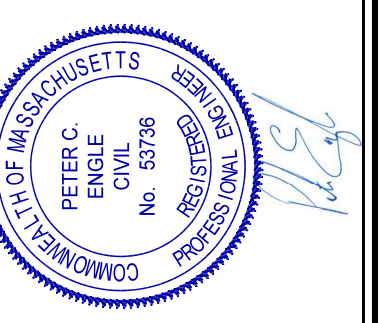
TOWN CLERK _____

APPROVED UNDER THE SUBDIVISION CONTROL LAW
PLANNING BOARD OF STURBRIDGE _____ DATE _____

BEING A MAJORITY OF THE
STURBRIDGE PLANNING BOARD

REV.	DATE	DESCRIPTION	MADE (APVD)
1	12.29.20	REV. PER CLIENT	WN
2	5.28.21	REV. PER PEER REVIEW	WN

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DEFINITIVE SUBDIVISION PLAN
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PREPARED FOR
FISKE HILL EAST REALTY TRUST
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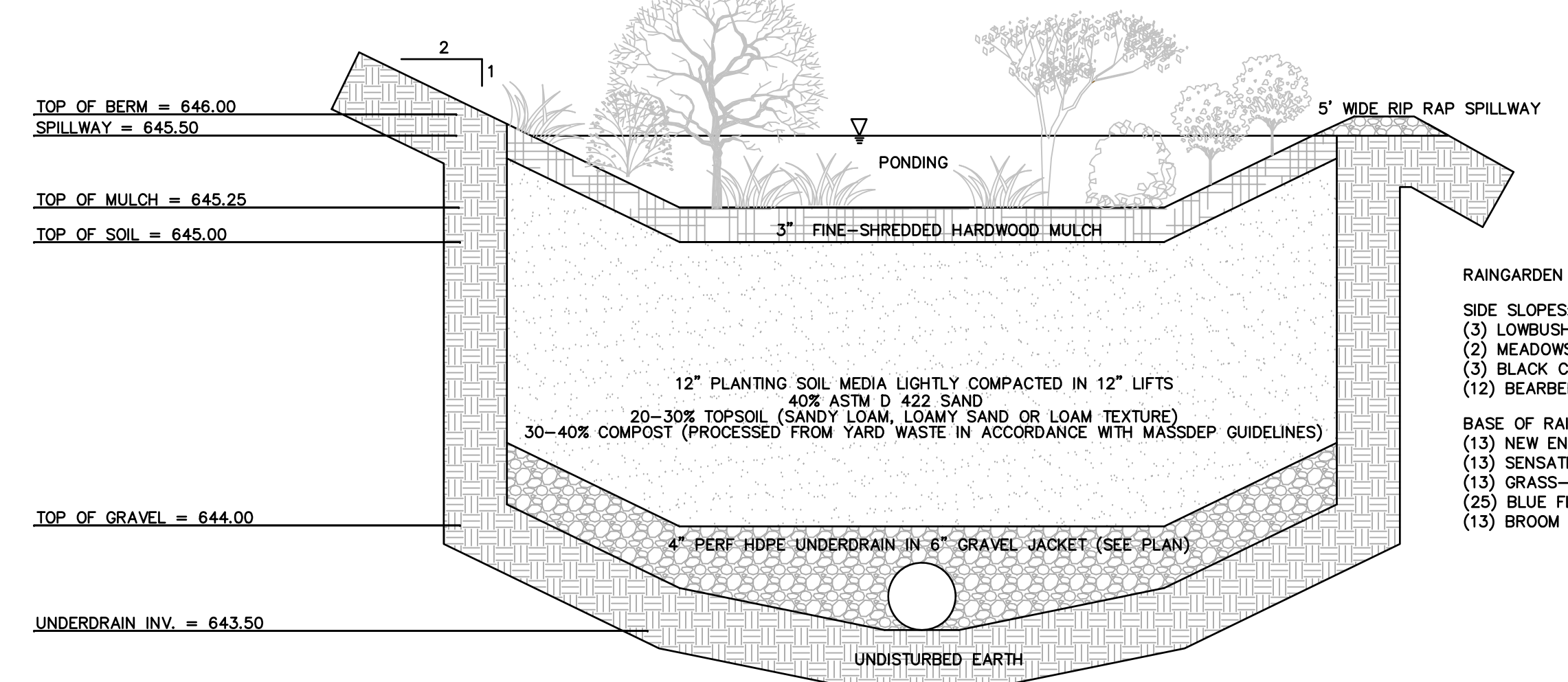
SITE DETAILS
C11

APPROVED UNDER THE SUBDIVISION CONTROL LAW
 PLANNING BOARD OF STURBRIDGE _____ DATE _____

 BEING A MAJORITY OF THE
 STURBRIDGE PLANNING BOARD

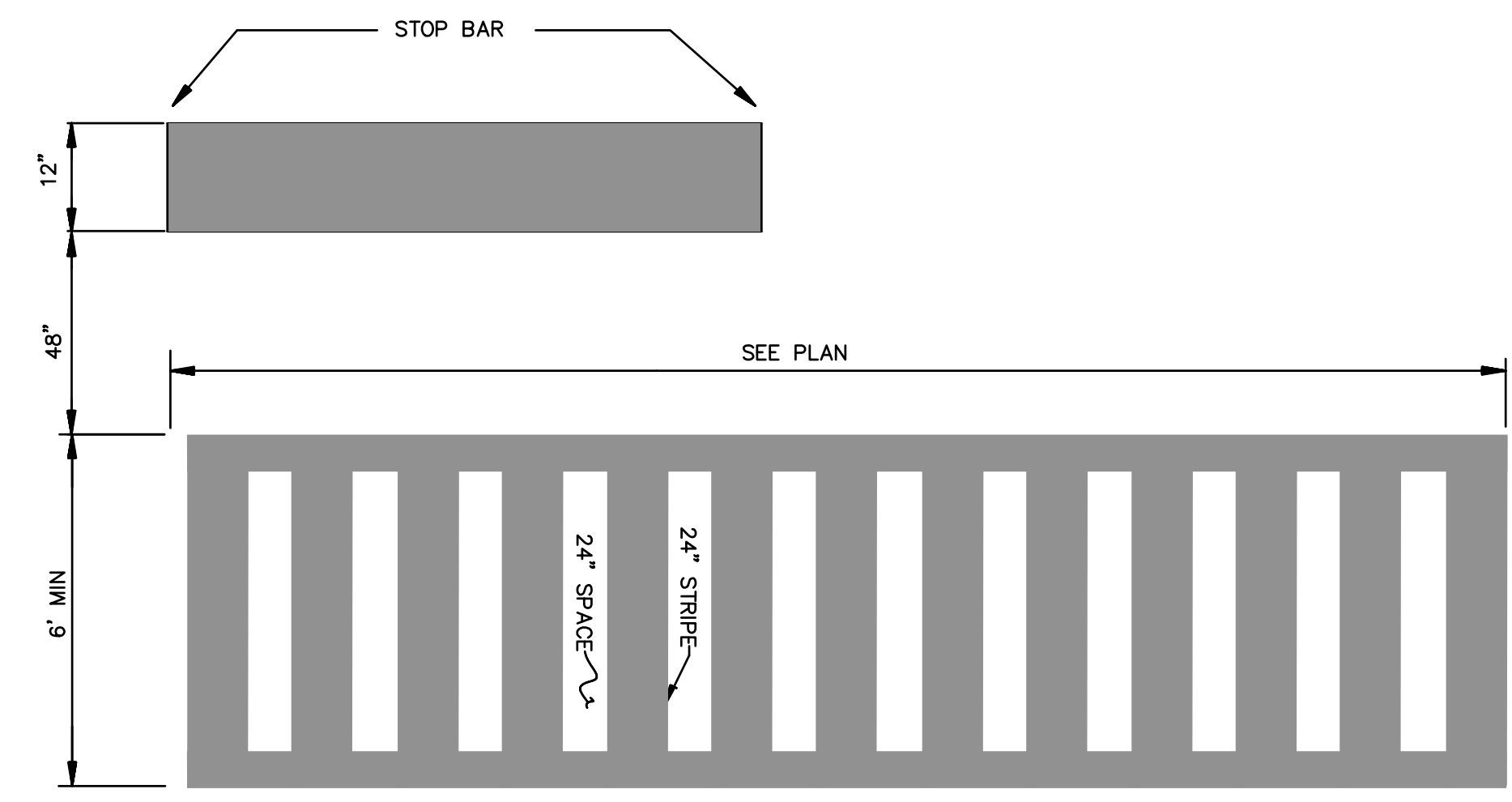
NOTE:
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 APPROVAL OF THIS PLAN WAS RECEIVED FROM _____ AT (TIME) _____
 AND RECORDED BY ME ON (DATE) _____ AT (TIME) _____
 AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME
 DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH
 NOTICE OF APPROVAL
 DATE: _____
 TOWN CLERK _____

NOTE:
 UNTIL THE PLANT METRIAL HAS TAKEN ROOT, WATER THE RAIN GARDEN ON A DAILY BASIS. IN ADDITION,
 WATER THE RAIN GARDEN DURING DROUGHT CONDITIONS. INSPECT THE SOIL AND REPAIR ERODED
 AREAS OF THE RAIN GARDEN MONTHLY. RE-MULCH VOID AREAS AS NEEDED. REMOVE LITER AND
 DEBRIS MONTHLY. TREAT DISEASED VEGETATION AS NEEDED. REMOVE AND REPLACE DEAD VEGETATION
 TWICE PER YEAR (SPRING AND FALL). REMOVE INVASIVE SPECIES INCLUDING WEEDS AS NEEDED TO
 PREVENT THESE SPECIES FROM SPREADING INTO THE RAIN GARDEN. REPLACE MULCH EVERY TWO
 YEARS, IN THE EARLY SPRING. UPON FAILURE, EXCAVATE THE RAIN GARDEN AREA, SCARIFY THE
 BOTTOM AND SIDES, REPLACE SOIL, REPLANT, AND MULCH.



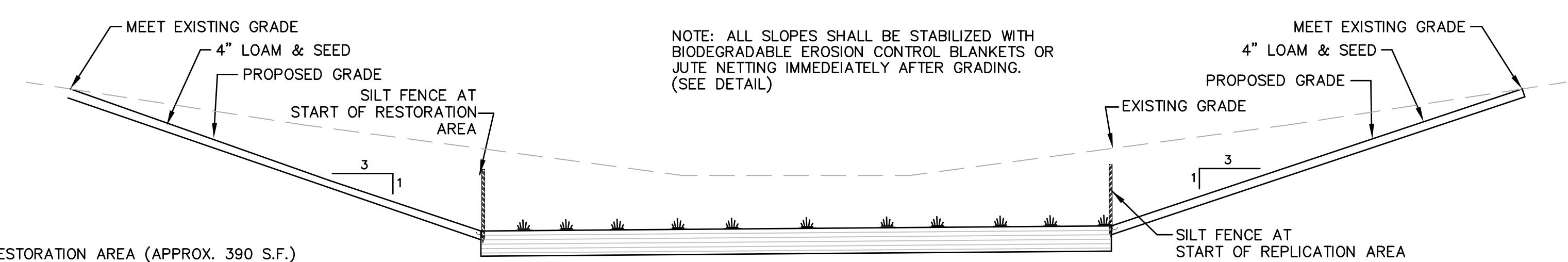
- RAINGARDEN PLANTING SCHEDULE:
- SIDE SLOPES:
 (3) LOWBUSH BLUEBERRY (VACCINIUM ANGUSTIFOLIUM), 12" TALL, 3' O.C.
 (2) MEADOWSWEET (SPIRAEA LATIFOLIA), 2-3' TALL, 3' O.C.
 (3) BLACK CHOKEBERRY (ARONIA MELANOCARPA), 2-3' TALL, 4' O.C.
 (12) BEARBERRY (ARCTOSTAPHYLOS UVA-URSI), 12" TALL, 12" O.C.
- BASE OF RAIN GARDEN:
 (13) NEW ENGLAND ASTER (ASTER NOVAE-ANGLIAE), 2" PLUGS, 2' O.C.
 (13) SENSITIVE FERN (ONOCLEA SENSIBILIS), 2" PLUGS, 2' O.C.
 (13) GRASS-LEAVED GOLDENROD (EUTHAMIA GRAMINIFOLIA), 2" PLUGS, 2' O.C.
 (25) BLUE FLAG IRIS (IRIS VERSICOLOR), 2" PLUGS, 18" O.C.
 (13) BROOM SEDGE (CAREX SCOPARIA), 2" PLUGS, 2' O.C.

RAIN GARDEN (BIORETENTION AREA)
 NOT TO SCALE



- NOTE:
 1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.
 3. ALL LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (FOUR 6" LINES INSTEAD OF ONE 24" LINE) WILL BE ACCEPTED.
 4. ALL CROSSWALKS SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES" DATED 1988 (AS AMENDED).

CROSSWALK PAVEMENT MARKINGS DETAIL
 NOT TO SCALE



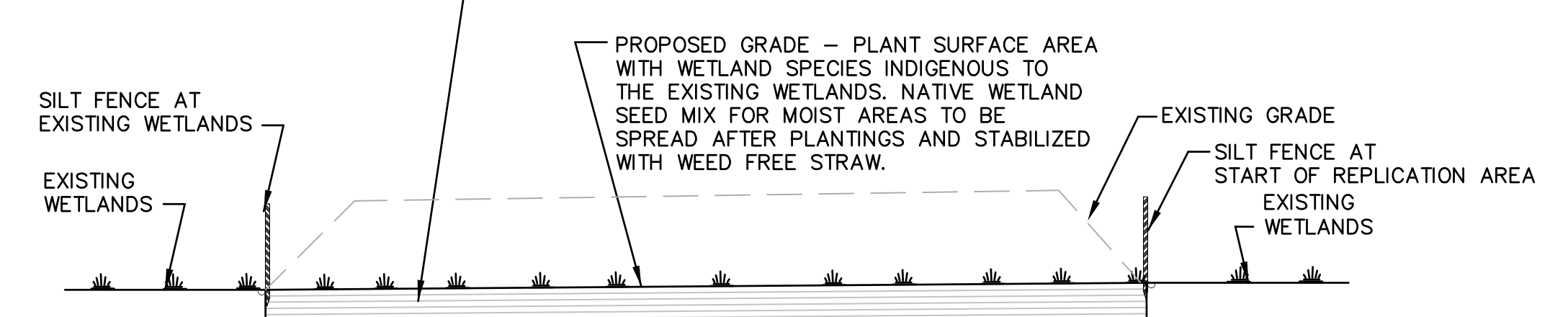
RESTORATION AREA (APPROX. 390 S.F.)
 PLANTING SCHEDULE:
 6 TOTAL SHRUBS FROM THE FOLLOWING SPECIES:

- NATIVE Highbush Blueberry (Vaccinium corymbosum)
- Northern Arrowwood (Viburnum recognitum)
- Common Winterberry (Ilex verticillata)

TYPICAL 8' SPACING
 BUSHES ARE TO BE 1.5'-3' TALL

NOTE: ALL SLOPES SHALL BE STABILIZED WITH BIODEGRADABLE EROSION CONTROL BLANKETS OR JUTE NETTING IMMEDIATELY AFTER GRADING. (SEE DETAIL)

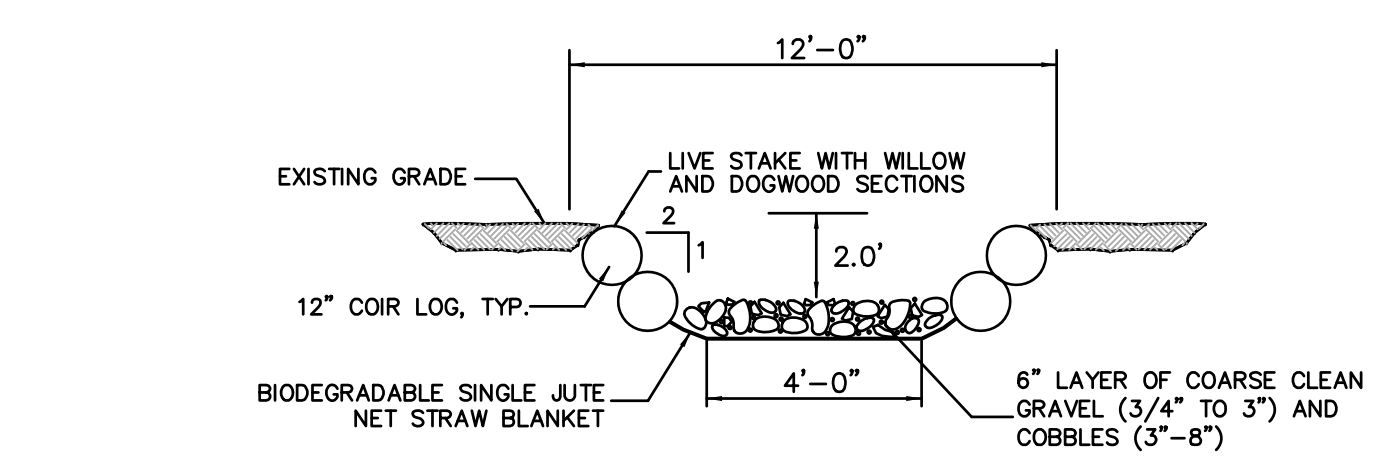
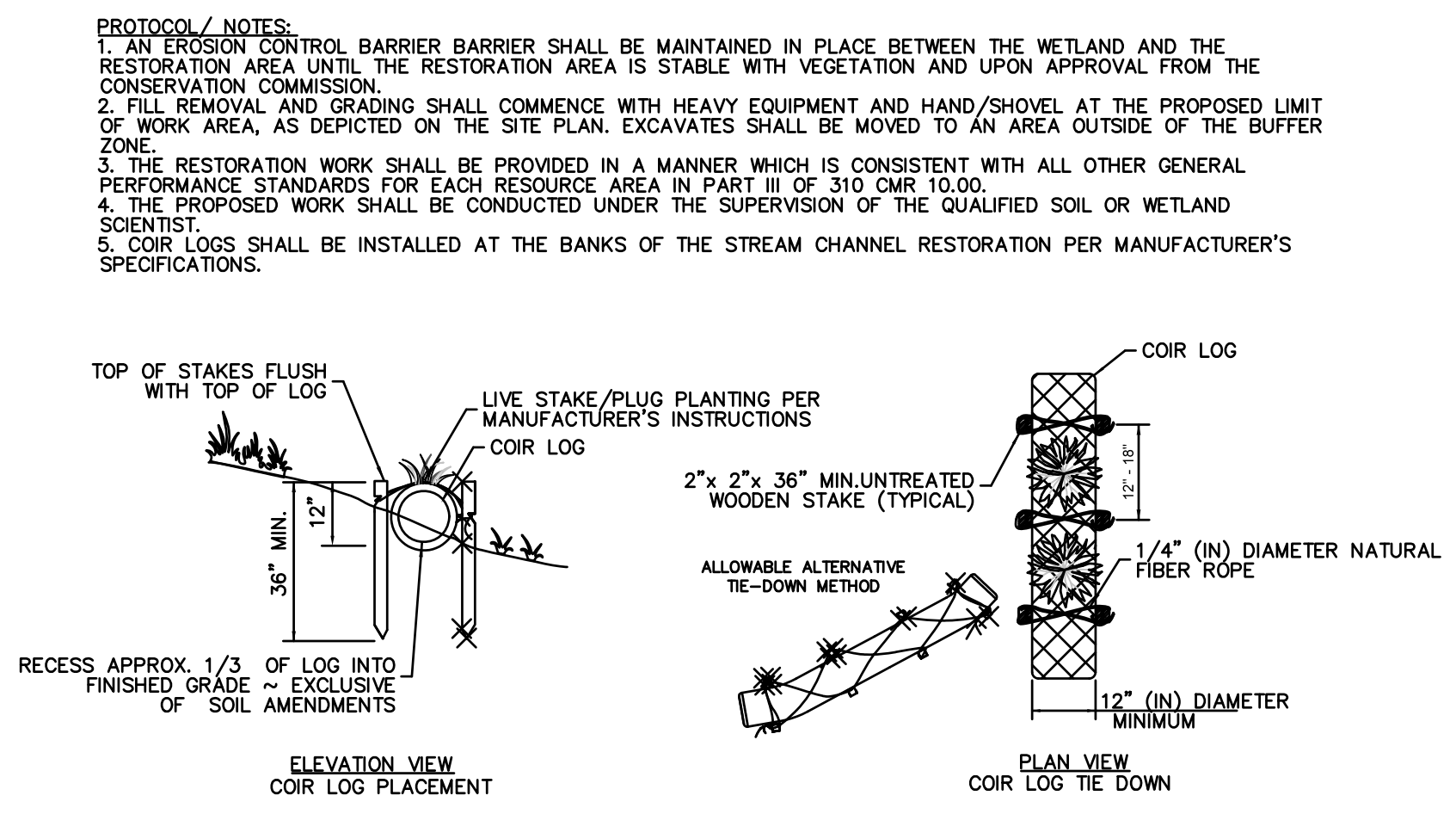
EXCAVATE TO ORIGINAL WETLAND GRADE AND SOILS. IF EXISTING SOILS ARE NOT SUITABLE, REPLACE WITH 12" LAYER OF ORGANIC SOIL BASE OR A MIXTURE OF EQUAL PARTS OF GOOD QUALITY TOPSOIL, MANURE AND PEAT MOSS. ANY ORGANIC SOILS AND/OR VEGETATION REMOVED FROM THE AREA SHALL BE USED. (ALL DISTURBED SOILS WILL BE MULCHED WITH CLEAN STRAW OR PEAT MOSS TO PREVENT EROSION AND TO REDUCE EVAPORATION).



PROTOCOL / NOTES:

1. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED IN PLACE UNTIL THE RESTORATION AREA IS STABLE WITH VEGETATION AND UPON APPROVAL FROM THE CONSERVATION COMMISSION.
2. THE GROUND WATER AND SURFACE ELEVATION OF THE RESTORATION AREA SHALL BE EQUAL TO THAT OF THE ORIGINAL WETLAND. THE WETLAND SCIENTIST SHALL DETERMINE WHEN IN SITU HYDRIC SOILS HAVE BEEN UNCOVERED AND ADEQUATE FILL REMOVAL HAS OCCURRED.
3. FILL REMOVAL AND GRADING SHALL COMMENCE WITH HEAVY EQUIPMENT AND HAND/SHOVEL AT THE PROPOSED LIMIT OF WORK AREA, AS DEPICTED ON THE SITE PLAN. EXCAVATES SHALL BE MOVED TO AN AREA OUTSIDE OF THE BUFFER ZONE.
4. THE OVERALL HORIZONTAL CONFIGURATION AND LOCATION OF THE RESTORATION AREA WITH RESPECT TO THE BANK SHALL BE SIMILAR TO THAT OF THE ORIGINAL WETLAND.
5. THE RESTORATION AREA SHALL HAVE AN UNRESTRICTED HYDRAULIC CONNECTION TO THE SAME WATER BODY OR WATERWAY ASSOCIATED WITH THE LOST AREA.
6. PLANTING SHALL BE DONE ONLY DURING THE BEGINNING (APRIL 15 THROUGH JULY 1) OR END (SEPTEMBER 15 TO NOVEMBER 1) OF THE GROWING SEASON. PLANTING IN THE SUMMER SEASON IS ONLY ACCEPTABLE IF IRRIGATION IS PROVIDED. THE PLANT SPECIES IDENTIFIED SHALL BE PLANTED IN THE RESTORATION AREA FROM NURSERY STOCK FROM A REPUTABLE SUPPLIER, SUCH AS NEW ENGLAND WETLAND PLANTS, BIGELOW NURSERY, WESTIN NURSERY, ETC. SHRUBS SHALL BE PLANTED AT APPROXIMATELY 8 FEET ON-CENTER SPACING. PLANTING HOLES SHALL BE A MINIMUM OF 1.5 TIMES THE DIAMETER OF THE PLANT ROOT BALL.
7. THE PLANTED RESTORATION AREA WILL BE MULCHED WITH A THICK LAYER OF SALT MARSH HAY, WEED-FREE STRAW, OR HYDRAULICALLY APPLIED HYDROMULCH TO PROVIDE FOR TEMPORARY EROSION CONTROL AND MOISTURE RETENTION;
8. AT LEAST 80% OF THE SURFACE OF THE REPLACEMENT AREA SHALL BE REESTABLISHED WITH INDIGENOUS WETLAND PLANT SPECIES WITHIN FIVE YEARS OF MONITORING, AND PRIOR TO SAID VEGETATIVE REESTABLISHMENT ANY EXPOSED SOIL IN THE RESTORATION AREA SHALL BE TEMPORARILY STABILIZED TO PREVENT EROSION IN ACCORDANCE WITH STANDARD U.S. SOIL CONSERVATION SERVICE METHODS.
9. THE RESTORATION WORK SHALL BE PROVIDED IN A MANNER WHICH IS CONSISTENT WITH ALL OTHER GENERAL PERFORMANCE STANDARDS FOR EACH RESOURCE AREA IN PART III OF 310 CMR 10.00.
10. THE PROPOSED WORK SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE QUALIFIED SOIL OR WETLAND SCIENTIST

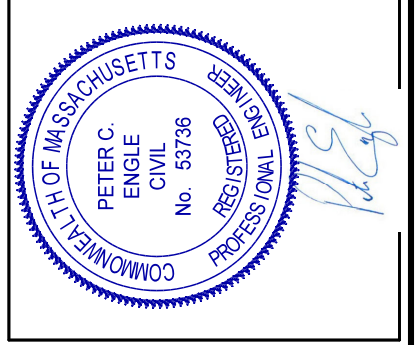
WETLAND RESTORATION DETAIL
 NOT TO SCALE



STREAM CHANNEL RESTORATION DETAIL
 NOT TO SCALE

REV	DATE	DESCRIPTION	MADE (APVD)
1	12.29.20	REV. PER CLIENT	WN PE
2	5.28.21	REV. PER PEER REVIEW	WN PE

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DEFINITIVE SUBDIVISION PLAN
 LOCATED AT
 30 MAIN STREET & 20 FISKE HILL ROAD
 STURBRIDGE, MA 01566
 PREPARED FOR
 FISKE HILL EAST REALTY TRUST
 97 ARNOLD ROAD, FISKDALE, MA 01518

DRAWN BY: WCN
 DATE: 11/11/20
 CHK BY: PCE
 SCALE: AS NOTED
 PROJ. NO. 287-2117-K

SITE DETAILS
C12