

STURBRIDGE SENIOR CENTER

480 MAIN STREET,
STURBRIDGE, MA 01518

TOWN OF STURBRIDGE

ARCHITECT



101 SUMMER ST BOSTON MA 02110

CIVIL, LANDSCAPE ARCHITECT & SURVEY CONSULTANT



50 Cross Street
Winchester, Massachusetts 01890
T: 781.756.0001 F: 781.756.0007

STAMP

KEY PLAN

MARK	DATE	DESCRIPTION
	3-31-2023	CONSTRUCTION DOCS.

PROJECT NUMBER: 222064.000 - WDG# - W-1717
DRAWN BY: JRM
CHECKED BY: CRM

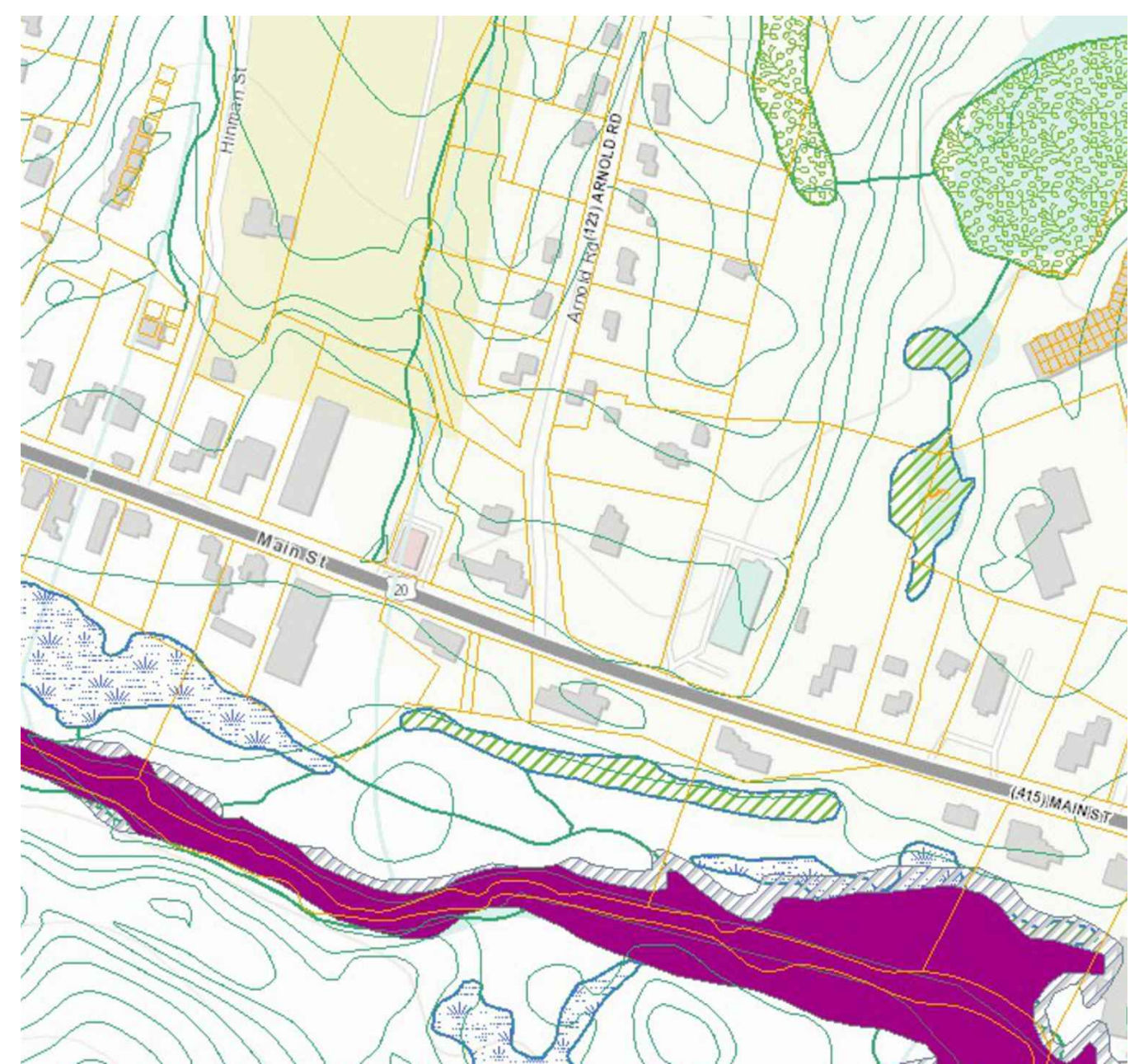
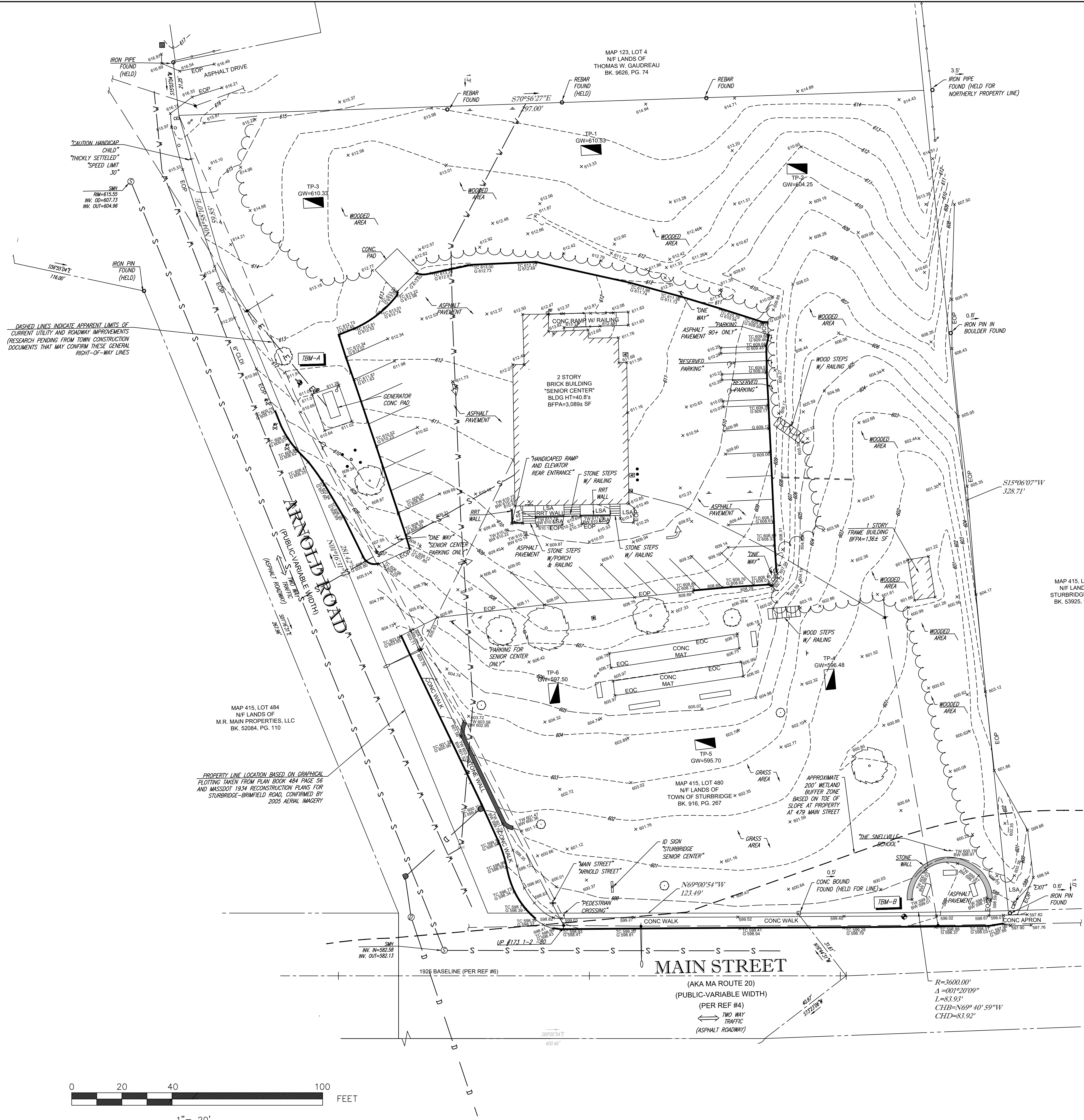
SHEET TITLE

EXISTING
CONDITIONS

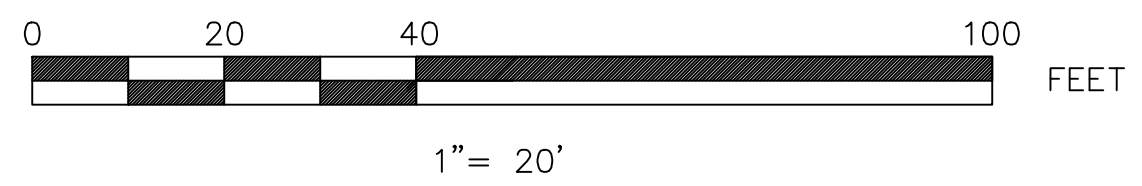
C-101

EXISTING CONDITIONS NOTES:

- THIS PLAN REPRESENTS THE SITE CONDITIONS FROM A PLAN TITLED BOUNDARY & TOPOGRAPHIC SURVEY FOR BARGMANN HENDRI + ARCHTYPE, INC. BY CONTROL POINTS, INC. DATED APRIL 27, 2020. ADDITIONAL UNDERGROUND UTILITIES FROM RECORD PLANS PROVIDED BY TOWN OF STURBRIDGE.
- ELEVATION DATUM IS NAVD 1988.
- ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
- THE PROPER UTILITY COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD BEFORE ANY WORK ON THIS PROJECT IS PERFORMED. CONTACT THE DIG SAFE CENTER AT 1-888-344-7233 OR (811), SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.



LOCUS PLAN 1" = 100'



5/19/2021 7:49:14 AM

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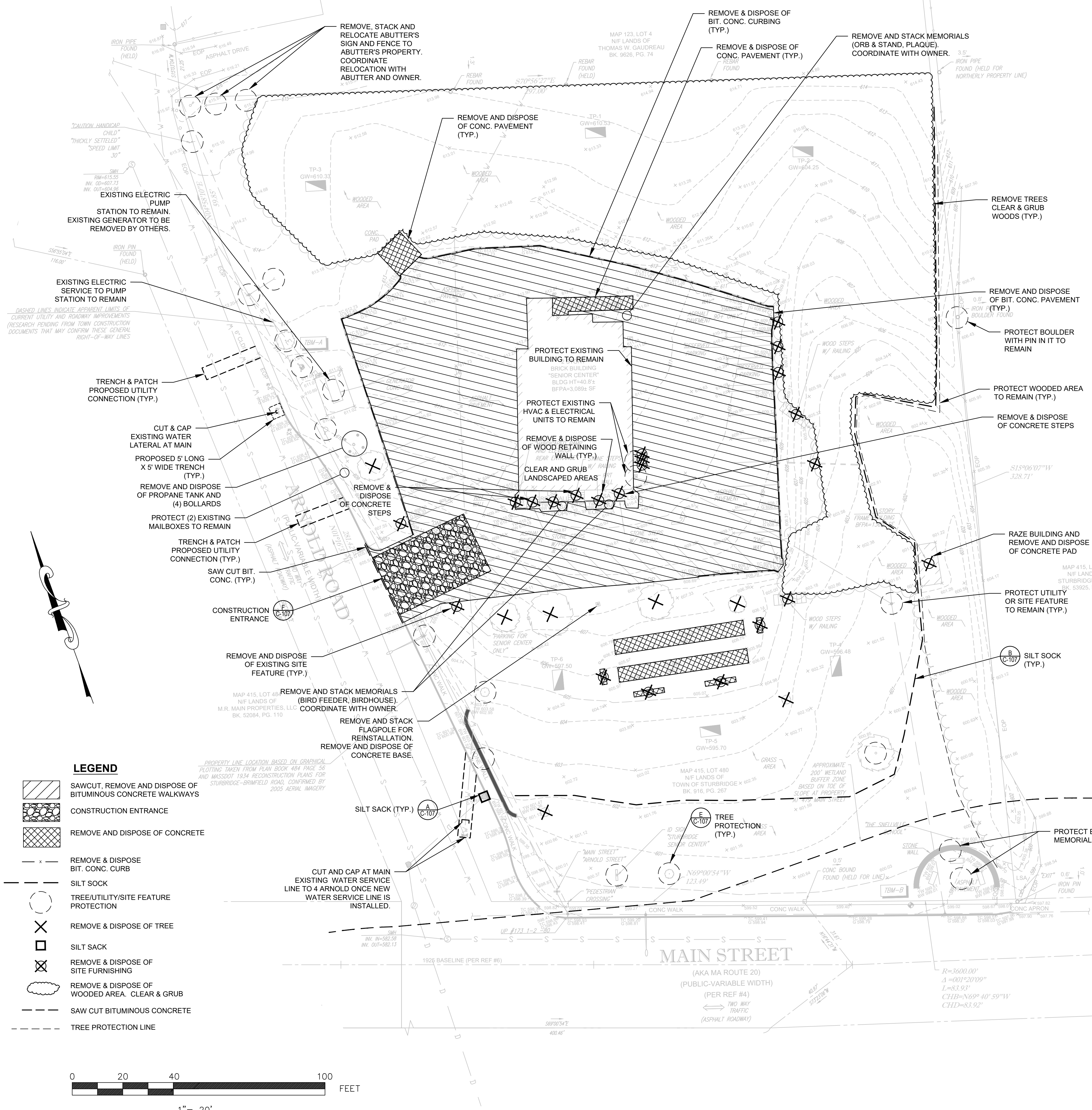
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SITE PREPARATION AND DEMOLITION

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SITE PREPARATION & DEMOLITION NOTES

- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE AND SHALL BE CONSIDERED INCIDENTAL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES, FEES AND APPROVALS REQUIRED TO CORRECTLY COMPLETE THE WORK, INCLUDING STREET OCCUPANCY PERMITS.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY AND LIABILITY FOR THE SAFETY OF ALL WHO WILL TRAVERSE THROUGH THE SITE AND THE STRUCTURAL INTEGRITY AND SAFETY OF ALL EXCAVATIONS, STORED ITEMS, WORK AND UTILITIES TO REMAIN DURING CONSTRUCTION.
- COMPLETELY DEMOLISH ALL FOUNDATIONS, SLABS AND FOOTINGS AND OTHER BELOW GRADE STRUCTURES UNLESS OTHERWISE SPECIFIED OR CALLED OUT IN THE DRAWING.
- ALL EXISTING SURFACE CASTINGS THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE ADJUSTED OR MODIFIED TO MEET THE PROPOSED FINISH GRADES.
- ALL CATCH BASIN AND INLET STRUCTURES SHALL BE CLEARED OF DEBRIS AND FLUSHED FOR POSITIVE DRAINAGE UPON COMPLETION OF WORK.
- SEE LAYOUT PLANS FOR ACCURATE DIMENSIONS TO NEW PAVING, CURBING, ETC. CONSULT ALL DRAWINGS FOR COORDINATING WORK PRIOR TO COMMENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE OF LIMITS OF WORK DUE TO CONTRACT OPERATIONS. DAMAGED MATERIAL SHALL INCLUDE BUT IS NOT LIMITED TO PROTECTING GRANITE AND CONCRETE CURBS, WALLS, GATES, FENCES, PLANTERS, SIGNS, AND FIRE HYDRANTS. IF MATERIAL IS DAMAGED IT SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL CLEAN CONSTRUCTION SITE DAILY TO PREVENT DUST AND DEBRIS FROM LEAVING THE SITE. DUST CONTROL MUST BE AVAILABLE AT ALL TIMES. CONSTRUCTION AREA MUST BE BROOM SWEEP AND WASHED DOWN AS OFTEN AS REQUIRED TO MAINTAIN A CLEAN SITE ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL PROVIDE EMERGENCY ACCESS TO SITE AT ALL TIMES. ANY EQUIPMENT NOT IN USE MUST BE CONFINED TO THE LIMIT OF WORK AREA. CONTRACTOR SHALL COORDINATE EQUIPMENT, DISRUPTION, STAGING AREAS, AND SEQUENCE OF WORK DAILY WITH OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL WHEN POSSIBLE CRUSH ONSITE AND REUSE CONCRETE AND BITUMINOUS CONCRETE MATERIAL. PRIOR TO REUSE SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER SHOWING THAT THE REUSED MATERIAL MEETS THE APPROPRIATE GRADATION AND A 10 LB. SAMPLE OF THE MATERIAL TO BE REUSED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL, COMPACTED GRAVEL, AND BITUMINOUS MATERIAL FOR POTENTIAL REUSE.
- EXISTING TOPSOIL SHALL BE USED FOR LOAM MIXTURES ONLY IF TESTING INDICATES TOTAL CONFORMITY TO THE SPECIFICATION FOR LOAM BORROW.
- TREE PROTECTION FOR EXISTING TREES TO REMAIN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL REMAIN THROUGHOUT CONSTRUCTION.
- ALL GRASS AND LANDSCAPED AREAS MARKED FOR DEMOLITION SHALL BE CLEARED AND GRUBBED.
- APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
- CHANGES TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY FIELD INSPECTOR.
- CALCIUM CHLORIDE/ WATER FOR DUST CONTROL SHALL BE AVAILABLE AT ALL TIMES.
- ALL MATERIALS AND METHODS SHALL CONFORM TO TOWN OF STURBRIDGE D.P.W. AND WATER AND SEWER OPERATIONS STANDARDS.
- THE CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SAFETY AND TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- ALL DRAINAGE STRUCTURES (CATCH BASINS / LEECHING BASINS) IN THE AREA SHALL BE PROTECTED FROM RUNOFF.
- "AS-BUILT" UTILITY DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEERING DIVISION UPON COMPLETION OF THIS PROJECT.
- ALL PAVEMENT MARKINGS CHANGED, ALTERED OR REMOVED SHALL BE RE-APPLIED.
- THE CONTRACTOR SHALL HAVE AN APPROVED S.W.P.P. ON SITE AT ALL TIMES.
- WHERE NEW BITUMINOUS CONCRETE PAVEMENT MEETS EXISTING BITUMINOUS CONCRETE PAVEMENT, THE EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE SAW CUT AND THE FINAL SURFACE JOINED WITH A SANDED JOINT WITH RS-1 TACK COAT.
- CONTRACTOR MAY REUSE EXISTING DRIVEWAY AND WALKWAY PAVEMENT BASE MATERIAL FOR REUSE, UPON APPROVAL OF THE ENGINEER. REJECTED BASE MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.
- SEE SHEET C-100 FOR GENERAL NOTES.



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WDG

Waterfield Design Group

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LAYOUT & MATERIALS

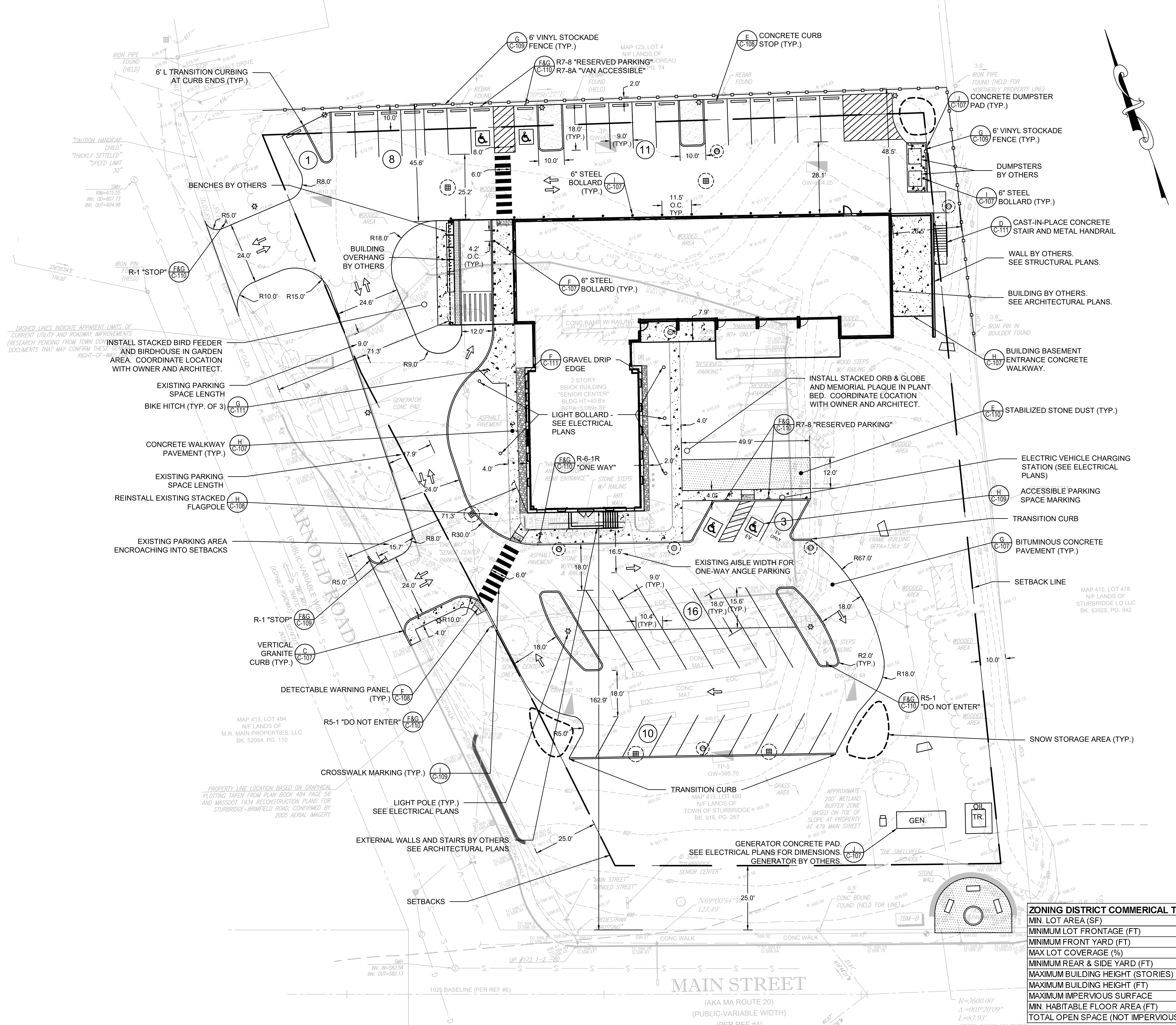
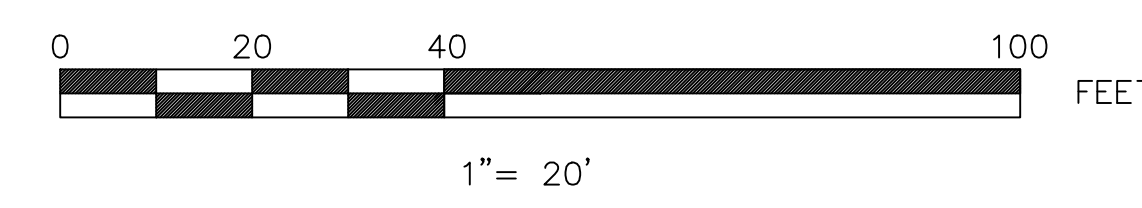
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LAYOUT & MATERIALS NOTES

- LAYOUT LINES ARE PARALLEL OR PERPENDICULAR TO LINES FROM WHICH THEY ARE MEASURED, UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO: WALL FACE, PAVEMENT EDGE, EDGE OF IMPROVEMENT, OR AS OTHERWISE NOTED.
- DIMENSIONS SHOWN ON THE DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- SITE LAYOUT IS BASED ON THE EXISTING CONDITIONS SURVEY. ANY DISCREPANCY BETWEEN THIS DRAWING AND ACTUAL FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS TO RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL LOOM AND SEED ALL LANDSCAPE ISLANDS AND ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION.

LEGEND

- CONCRETE WALKWAY PAVEMENT
- STABILIZED STONE DUST
- GRAVEL DRIP EDGE
- LIGHT POLE
- LIGHT BOLLARD
-
- CATCH BASIN
- FENCE
- MAN HOLE
- SIGN
- SNOW STORAGE AREA
- SETBACK LINE



ZONING DISTRICT COMMERCIAL TOURIST (CT)	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SF)	10,000	78,147	78,147
MINIMUM LOT FRONTAGE (FT)	100	548.7	548.7
MINIMUM FRONT YARD (FT)	25	70.3	70.3
MAX LOT COVERAGE (%)	30	4.0	12.5
MINIMUM REAR & SIDE YARD (FT)	10	71.5	26.5
MAXIMUM BUILDING HEIGHT (STORIES)	3	3	3
MAXIMUM BUILDING HEIGHT (FT)	35	40.8	40.8
MAXIMUM IMPERVIOUS SURFACE	-	33%	0.6
MIN. HABITABLE FLOOR AREA (FT)	750	NA	NA
TOTAL OPEN SPACE (NOT IMPERVIOUS) (SF)	-	67%	37%

OFF-STREET ACCESSORY PARKING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
NUMBER OF SPACES REQUIRED (1 PER 500 SF + EMPLOYEES)	26±	29	49
MIN. AISLE WIDTH FOR ONE-WAY ANGLE PARKING (FT)	18	16.5	18
MIN. PARKING SPACE WIDTH (FT)	10*	9±	9
MIN. PARKING SPACE LENGTH (FT)	20*	18±	18
HANDICAPPED PARKING PROVIDED	2	2	4
MIN. SETBACK FROM PROPERTY LINES (FT)	25/10	15.7	2
INTERIOR PARKING LOT LANDSCAPING (%)	5	0	5
MINIMUM INTERIOR SHADE TREES	5	0	5

* Properties within the CT District shall not be required to comply with current parking requirements for the continued use of a same or similar use that existed at the time of adoption of the bylaw