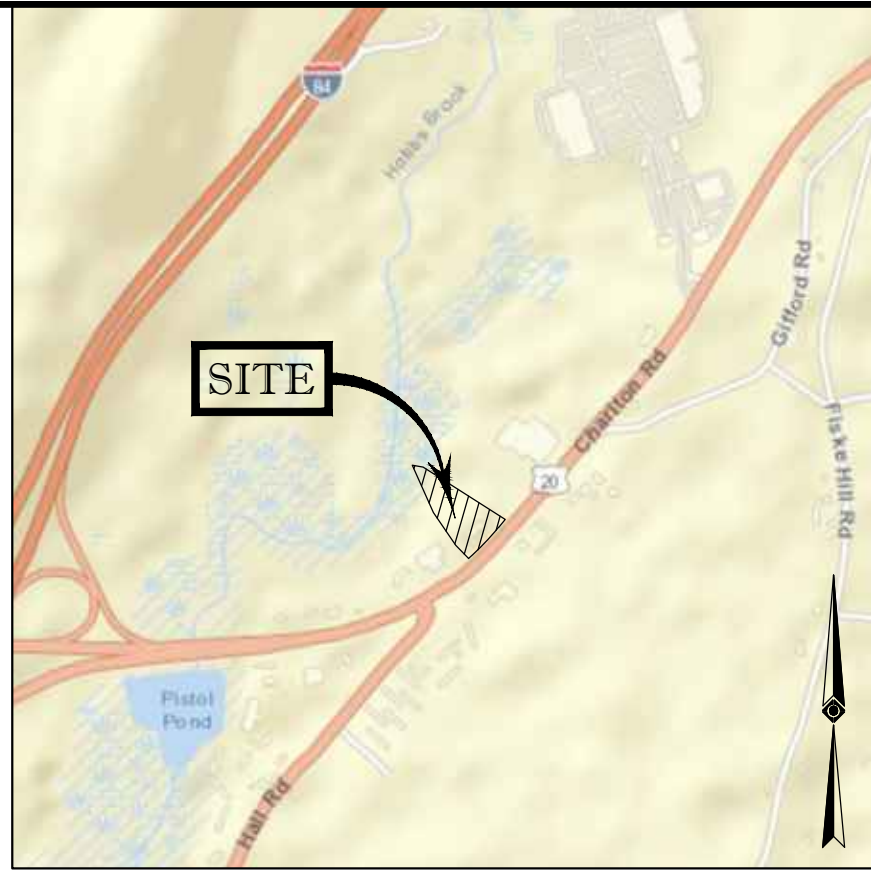


MATCH LINE TO DETAIL "A"



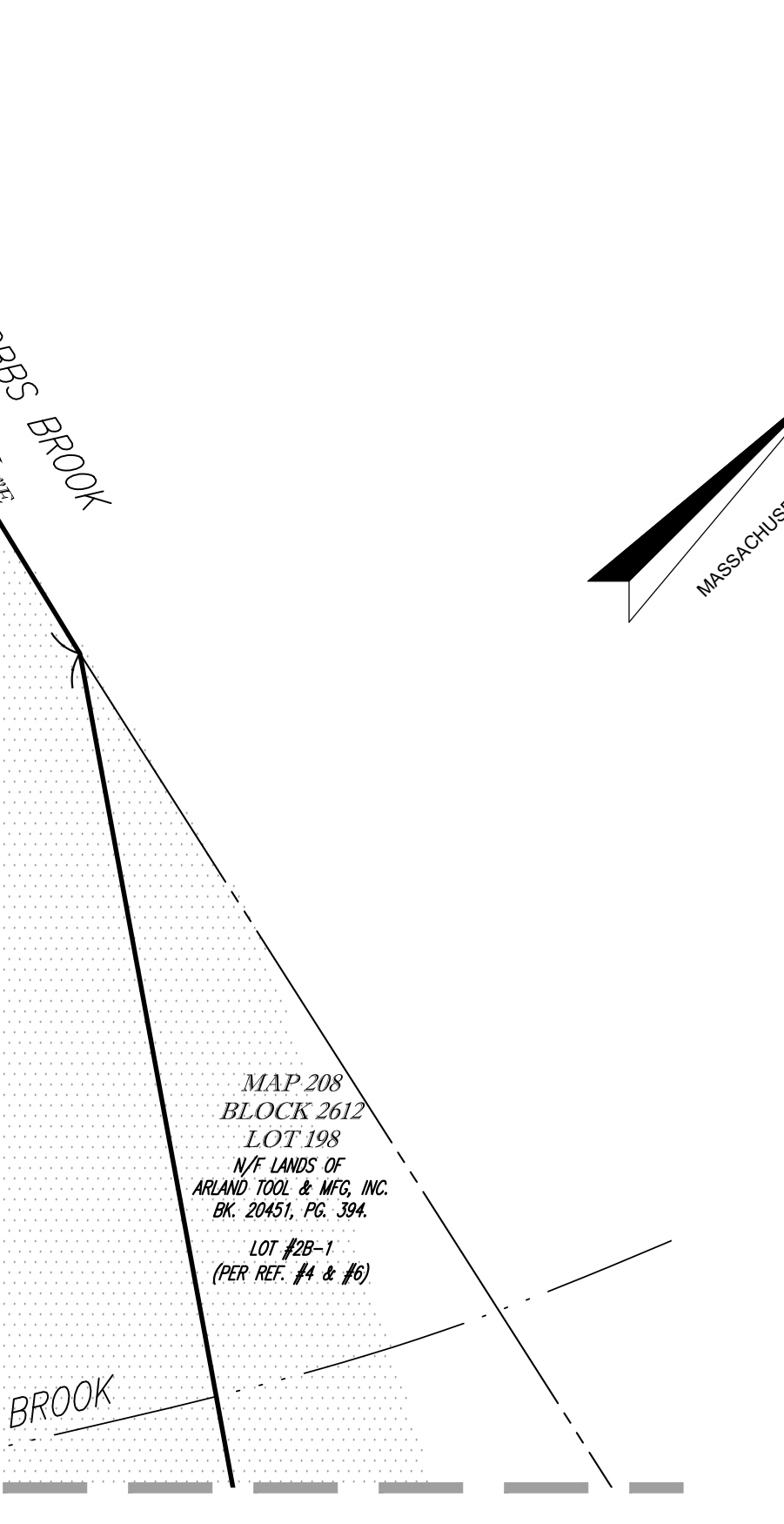
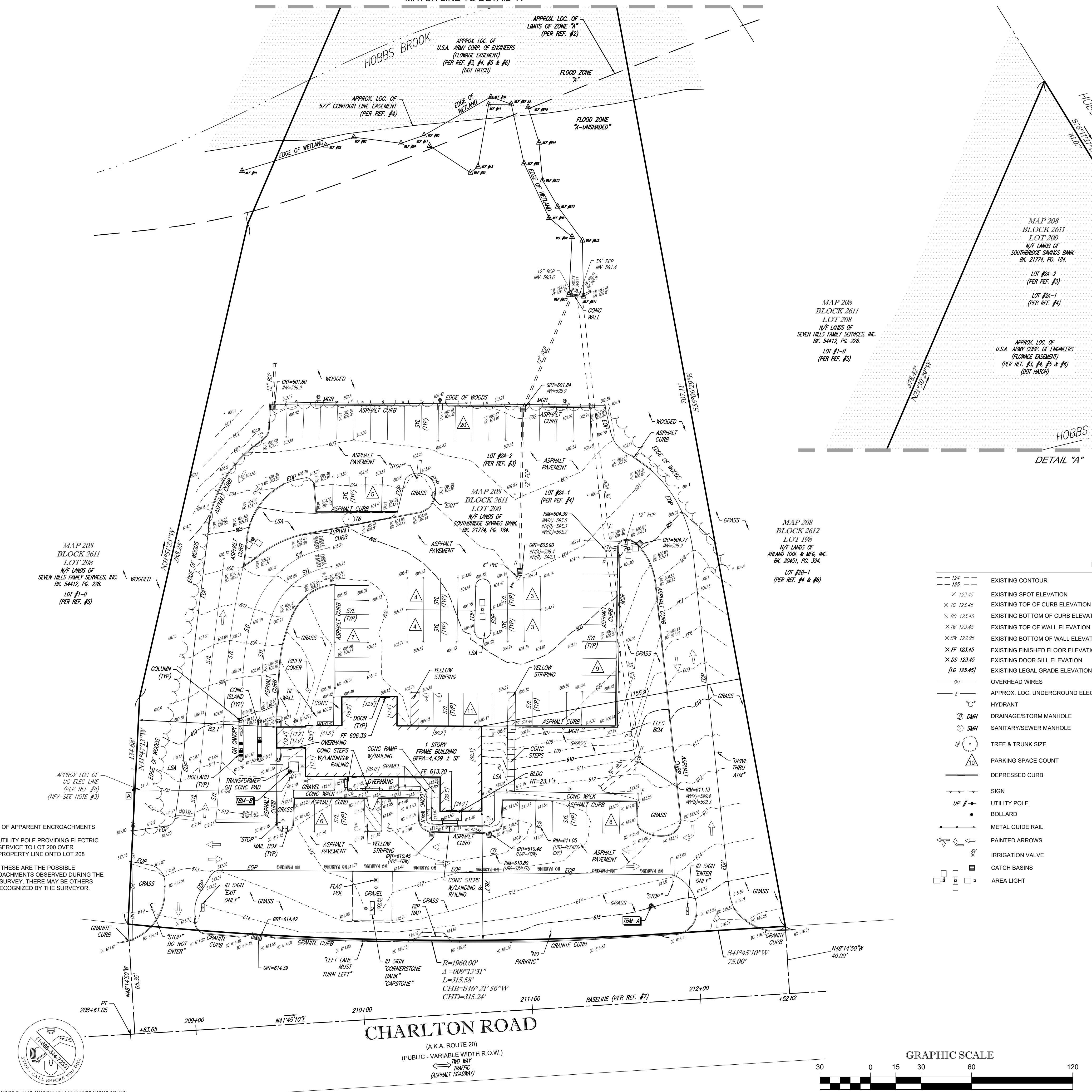
LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

NOTES:

- 1. PROPERTY KNOWN AS LOT 200 AS SHOWN ON THE TOWN OF STURBRIDGE, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 208.
2. AREA = 183,583 SQUARE FEET OR 4.214 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X- UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN), PARTIALLY LOCATED IN FLOOD HAZARD ZONE A (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; NO BASE FLOOD ELEVATIONS DETERMINED), PER REF. #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT SET IN BOLT OVER MAIN OUTLET OF FIRE HYDRANT, ELEVATION= 612.46'
TBM-B: X-CUT SET IN CORNER ON CONCRETE PAD, ELEVATION= 612.18'
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
11. THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY OTHERS AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON JUNE 14 & JUNE 21, 2023.

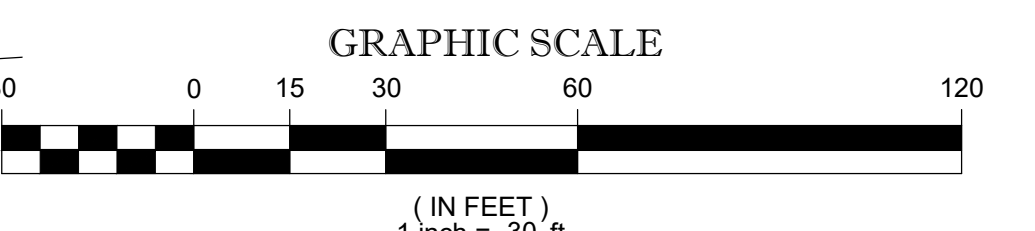
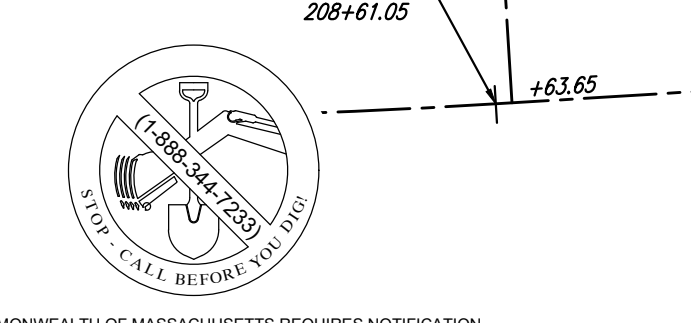
REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF THE TOWN OF STURBRIDGE, WORCESTER COUNTY, MAP 208.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 927 OF 1075," MAP NUMBER 250270927E, EFFECTIVE DATE: JULY 4, 2011.
3. MAP ENTITLED "CORRECTIVE PLAN SURVEYED FOR GUIDA DAIRY, LOCATED ON ROUTE 20, CHARLTON ROAD, STURBRIDGE, MA," PREPARED BY JALBERT ENGINEERING, INC., DATED JUNE 1, 1999, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEED AS PLAN BOOK 472, PAGE 15.
4. MAP ENTITLED "PLAN OF PROPERTY SURVEYED FOR GUIDA DAIRY, LOCATED IN STURBRIDGE, WORCESTER MA," PREPARED BY JALBERT ENGINEERING, INC., DATED MARCH 12, 1987, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEED AS PLAN BOOK 619, PAGE 12.
5. MAP ENTITLED "PLAN OF LAND SURVEYED FOR RONALD C. BEAUSOLEIL & FAITH AYERS, LOCATED ON ROUTE 20, CHARLTON ROAD, STURBRIDGE, WORCESTER MA," PREPARED BY JALBERT ENGINEERING, INC., DATED SEPTEMBER 2, 1987, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEED AS PLAN BOOK 583, PAGE 65.
6. MAP ENTITLED "CORRECTIVE PLAN SURVEYED FOR GUIDA DAIRY, LOCATED ON ROUTE 20, CHARLTON ROAD, STURBRIDGE, MA," PREPARED BY JALBERT ENGINEERING, INC., DATED SEPTEMBER 24, 1996, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEED AS PLAN BOOK 732, PAGE 105.
7. STURBRIDGE 1961 LAYOUT No. 1928 SHEET 6 OF 11.
8. UNDERGROUND ELECTRIC MAPPING PROVIDED BY NATIONAL GRID ELECTRIC.



LEGEND table with columns for symbols and descriptions. Includes entries for existing contours, spot elevations, utility poles, and various types of curbs and structures.

TABLE OF APPARENT ENCROACHMENTS
NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
CMG ENVIRONMENTAL
200 CHARLTON ROAD
MAP 208, BLOCK 2611, LOT 200
TOWN OF STURBRIDGE, WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS
CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HAUPPAUGE, NY 631-880-2945
MANHATTAN, NY 646-780-0111
SOUTH BOKROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 908-668-0999
DATE: 7-6-2023
APPROVED: G.L.H. DATE: 7-6-2023 SCALE: 1"=30' FILE NO: 03-230281-00 DWS NO: 1 OF 1

ZONING INFORMATION TABLE - STURBRIDGE, MA

**200 CHARLTON RD, STURBRIDGE**

PREPARED FOR: CORNERSTONE BANK  
253-257 MAIN STREET  
SOUTHBRIDGE, MA 01550

CURRENT OWNER: N/F SOUTHBRIDGE SAVINGS BANK  
PO BOX 370  
SOUTHBRIDGE MA 01550

ASSESSOR'S MAP ID: 208-02611-200 DEED: BK 21774 PG 184

EXISTING ZONE: IP (INDUSTRIAL PARK)

EXISTING USE: BANK BUILDING WITH DRIVE THRU ATM

PROPOSED USE: BANK BUILDING WITH DRIVE THRU ATM'S

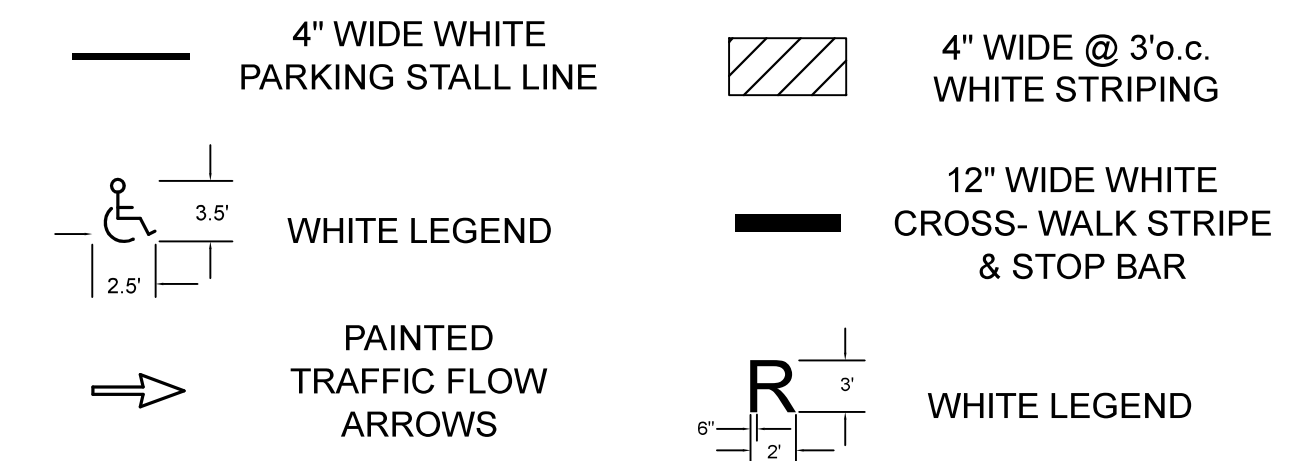
EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	87,120 S.F. (2 Acres)	183,583 S.F. (4.21 Acres)	183,583 S.F. (4.21 Acres)
FRONTAGE	300 FT	390.58 FT.	390.58 FT.
FRONT SETBACK	60 FT.	76.7 FT.	76.7 FT.
FRONT CANOPY SETBACK	N/A	99.9 FT. (TO BE REMOVED)	192.3 FT.
SIDE SETBACK	30 FT	82.1 FT.	82.1 FT.
SIDE CANOPY SETBACK	N/A	54.8 FT. (TO BE REMOVED)	55.9 FT.
REAR SETBACK	30 FT	568.6 FT.	568.6 FT.
REAR CANOPY SETBACK	N/A	596.0 FT. (TO BE REMOVED)	487.8 FT.
MAX. BLDG. HEIGHT	35' (2 STORIES)	<35 FT. (1 STY)	<35 FT. (1 STY)
IMPERVIOUS COVERAGE (MAX.)	70.0%	69,502 S.F. (37.9%)	66,311 S.F. (36.1%)
LOT BLDG. COVERAGE (MAX.)	33.0%	5,835 S.F. (3.2%)	6,144 S.F. (3.3%)

**PROPOSED PARKING CALCULATION:**

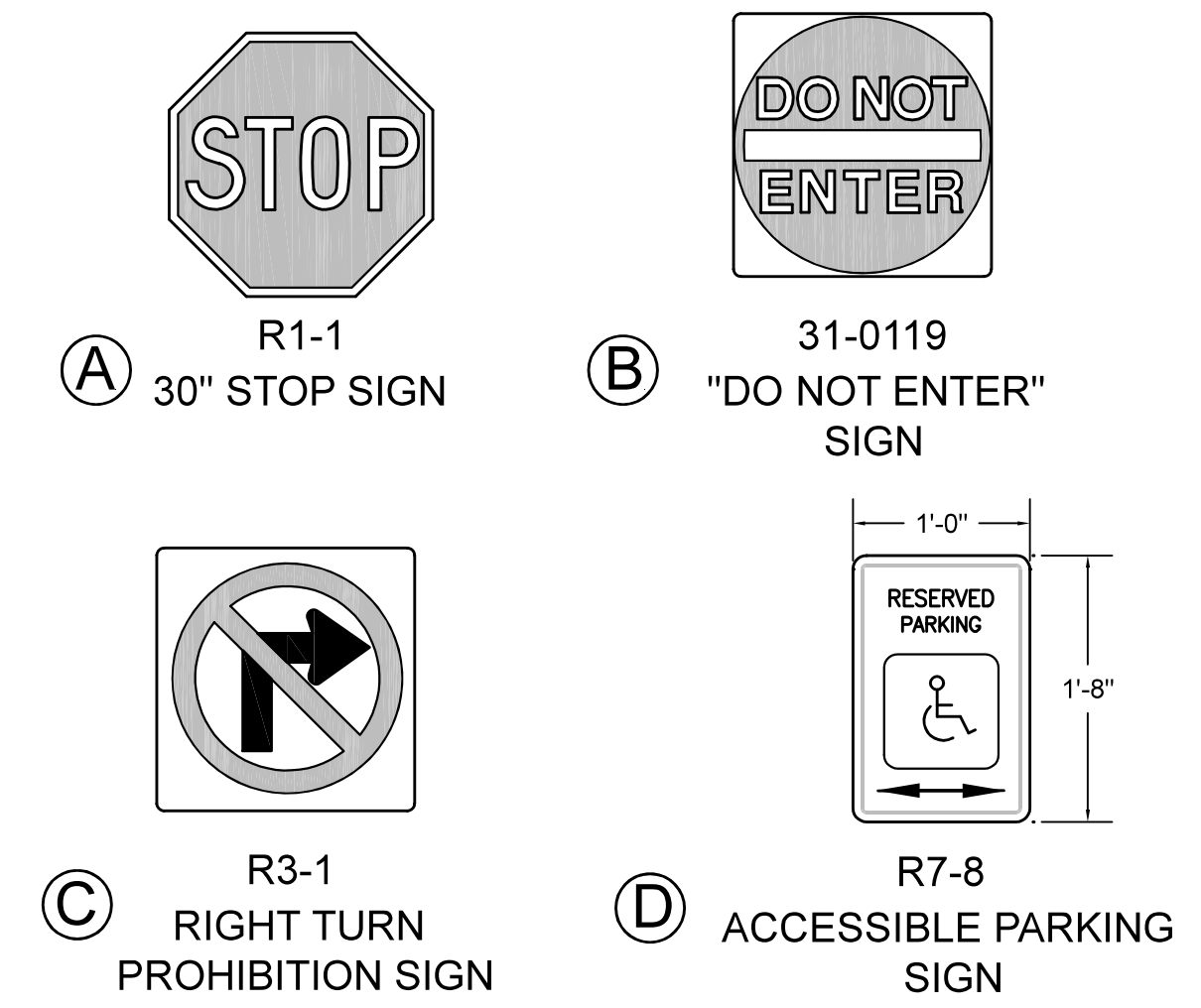
	REQUIRED	PROPOSED
Bank/Financial Institution (1 Space/ 400 s.f. FA)		
Assume 4,725 S.F.* (1/400 s.f. FA) = 11.8 Spaces	12 Spaces	70 Spaces*
*FLOOR AREA ESTIMATED USING STURBRIDGE ASSESSOR'S GIS PROPERTY CARD		
Marked Handicap Accessible Spaces (51-75 Spaces)	3 HC Spaces	4 HC Spaces

\*79 Existing Parking Spaces - 10 Spaces + 1 New Spaces = 70 Total Spaces

**PAVEMENT STRIPING LEGEND:**

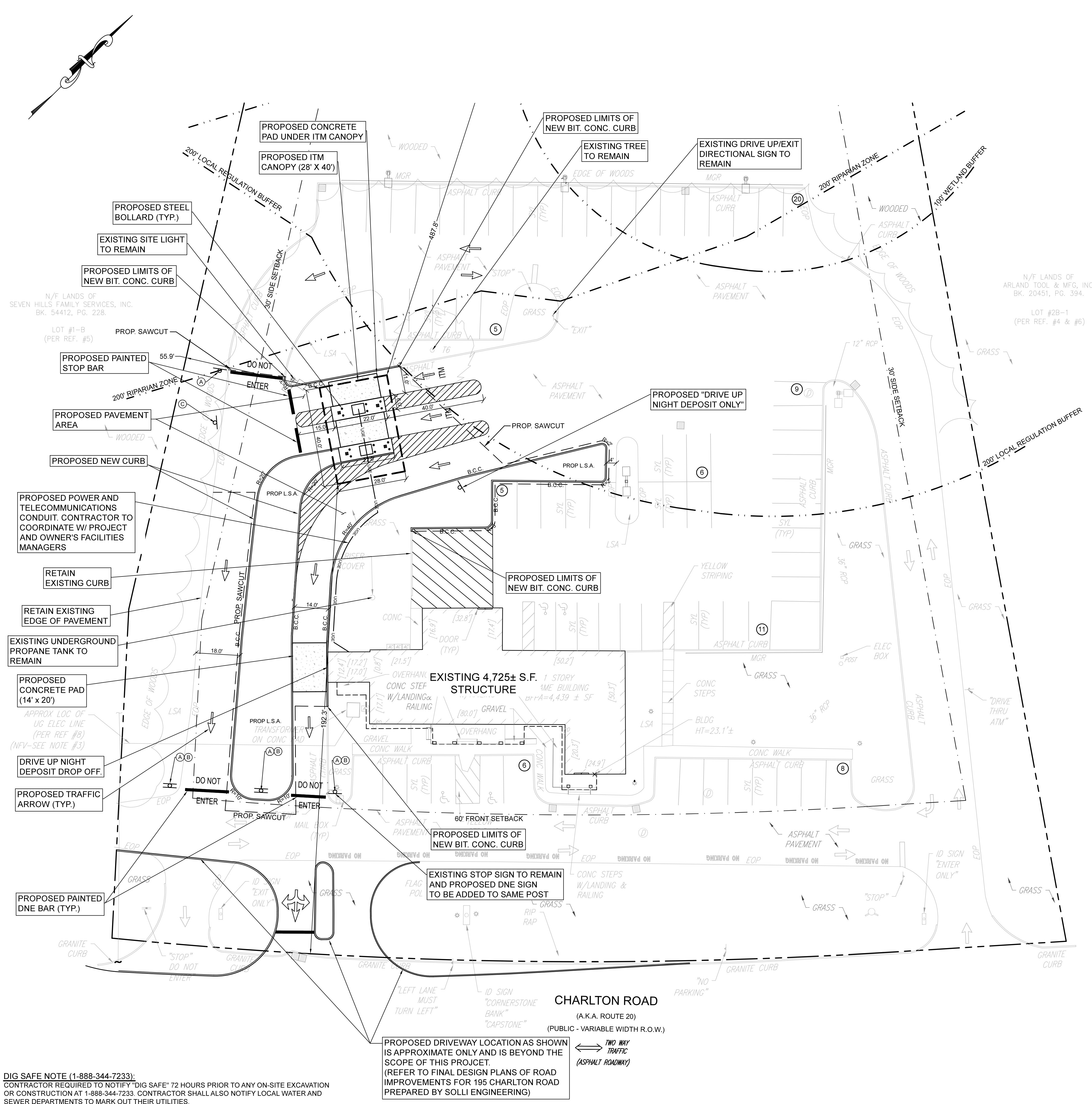
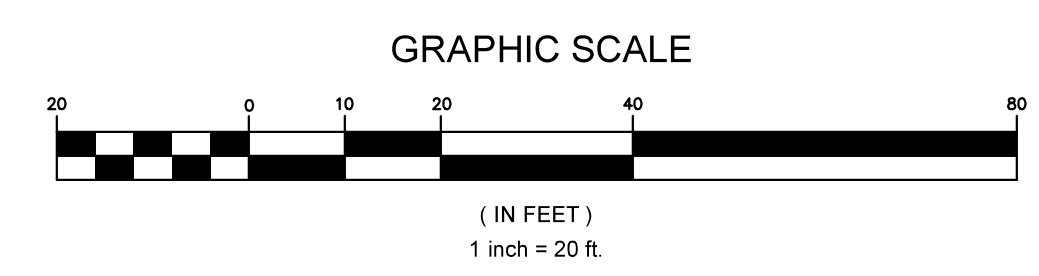


**SIGN LEGEND:**



**GENERAL SITE NOTES:**

- EXISTING SITE TOPOGRAPHY, UTILITIES, AND FEATURES ARE BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY CONTROL POINT ASSOCIATES, INC. OF SOUTHBOROUGH, MA ON JULY 6, 2023.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



**DIG SAFE NOTE (1-888-344-7233):**  
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

PROPOSED DRIVEWAY LOCATION AS SHOWN IS APPROXIMATE ONLY AND IS BEYOND THE SCOPE OF THIS PROJECT. (REFER TO FINAL DESIGN PLANS OF ROAD IMPROVEMENTS FOR 195 CHARLTON ROAD PREPARED BY SOLLI ENGINEERING)

**CHARLTON ROAD**  
(A.K.A. ROUTE 20)  
(PUBLIC - VARIABLE WIDTH R.O.W.)

NO.	DATE	DESCRIPTION	BY	CHKD

PROFESSIONAL SEAL

**PROJECT:** PROPOSED ITM DRIVE-THRU IMPROVEMENTS  
200 CHARLTON ROAD, STURBRIDGE, MA 01566

**PREPARED FOR:** CORNERSTONE BANK  
253-257 MAIN STREET  
SOUTHBRIDGE, MA 01550

**ENGINEERING SERVICES ENVIRONMENTAL SERVICES**  
67 Hall Road  
Sturbridge, MA 01566  
Phone: 774-241-0901  
fax: 774-241-0906

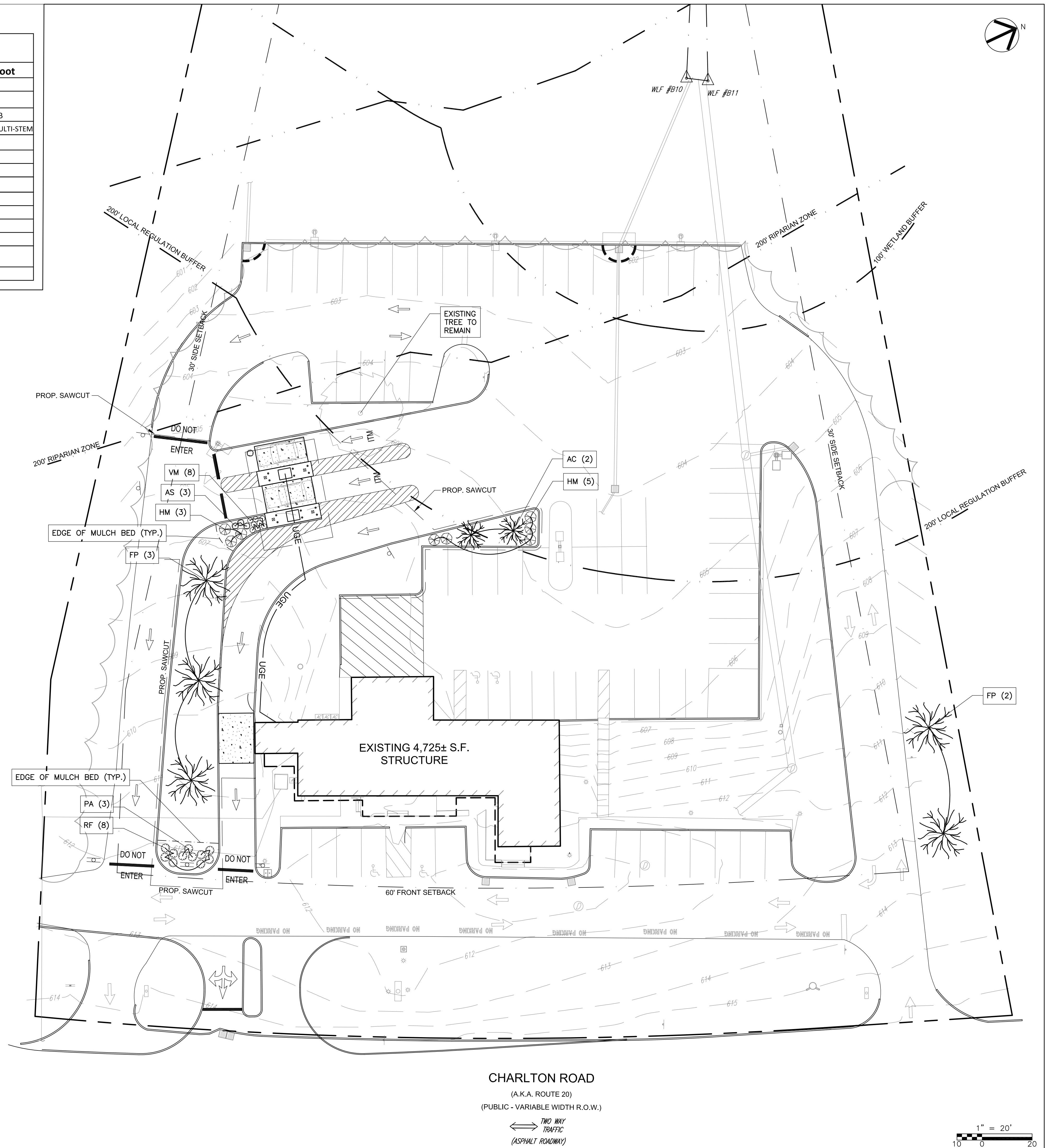
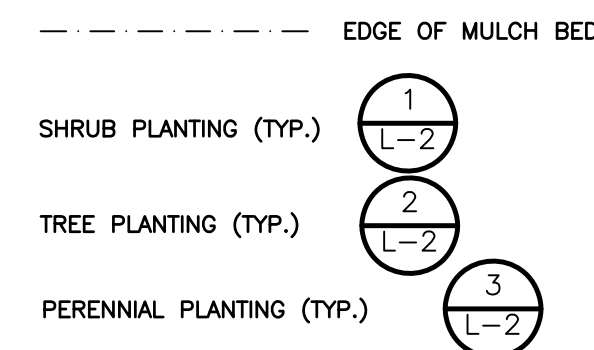


ISSUE DATE: 8/31/2023  
DRAWN BY: RP CHECKED BY: JAB  
SCALE: 1" = 20'  
PROJECT NO.: 2023-128

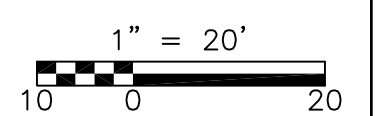
**SITE & UTILITY PLAN**

Plant Schedule	Symbol	Quantity	Botanical Name	Common Name	Size	Root
<b>Trees</b>						
FP	5	FRAXINUS PENNSYLVANICA 'CIMMARON'	CIMMARON GREEN ASH	2'-2.5" CAL.	BB	
AC	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	7'-8" H	MULTI-STEM	
<b>Shrubs</b>						
HM	8	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	2'-2.5' H		
<b>Perennials</b>						
AS	3	ASTILBE SIMPLICIFOLIA 'WHITE SENSATION'	WHITE SENSATION ASTILBE	#2 POT		
VM	8	VINCA MINOR	PERIWINKLE	#1 POT		
PA	3	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY'	BURGUNDY BUNNY FOUNTAIN GRASS	#2 POT		
RF	8	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	#2 POT		

- LANDSCAPE NOTES
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES AND OTHER PLANT MATERIAL TO BE PROTECTED FOR THE DURATION OF THE PROJECT.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL CALL "DIGSAFE" TO HAVE EXISTING UTILITIES MARKED. CONTRACTOR SHALL MAINTAIN MARKINGS FOR THE DURATION OF THE PROJECT.
  - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON THE PLANS.
  - ALL PLANT MATERIAL TO CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1 - LATEST EDITION.
  - ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
  - PLANTING ACTIVITIES SHALL OCCUR MID-SPRING OR MID-FALL ONLY. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF PLANNED PLANTING ACTIVITIES AT LEAST TWO WEEKS IN ADVANCE OF WORK. LANDSCAPE ARCHITECT MAY MODIFY PLANTING TIMELINE BASED ON CURRENT WEATHER CONDITIONS.
  - STAKE LOCATIONS OF PLANT MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
  - ALL MULCH BEDS SHALL CONSIST OF A 5" LAYER SCREENED LOAM AND A 3" LAYER SHREDED PINE BARK MULCH.
  - EDGE OF MULCH BEDS TO BE MECHANICALLY EDGED.
  - ALL DISTURBED AREAS NOT SHOWN AS PAVEMENT, MULCH BEDS, OR OTHER SPECIFIED MATERIAL SHALL RECEIVE A MINIMUM 5" LAYER OF LOAM AND SEED.
  - LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE.
  - CONTRACTOR SHALL REPAIR OR REPLACE ANY MATERIALS DAMAGED DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
  - CONTRACTOR TO SUBMIT A WATERING SCHEDULE FOR THE SIXTY DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER FOR ALL PROPOSED PLANT MATERIAL.
  - SEE LANDSCAPE DETAILS ON SHEET L-2 FOR PLANTING INFORMATION
  - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE, THE QUANTITY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.



CHARLTON ROAD  
(A.K.A. ROUTE 20)  
(PUBLIC - VARIABLE WIDTH R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)



NO.	DATE	BY	CHECKED	DESCRIPTION	REVISIONS



Proj. Mgr.: JC  
Designed: JC  
Drawn: JC  
Checked: DF  
Scale: AS NOTED  
Date: AUG. 2023

**PLANTING PLAN**  
PROPOSED DRIVE-THRU IMPROVEMENTS  
CORNERSTONE BANK  
200 CHARLTON RD., STURBRIDGE, MA.

Proj. No.  
Dwg. No.  
**L-1**



CONSULTANT:



KEY PLAN:

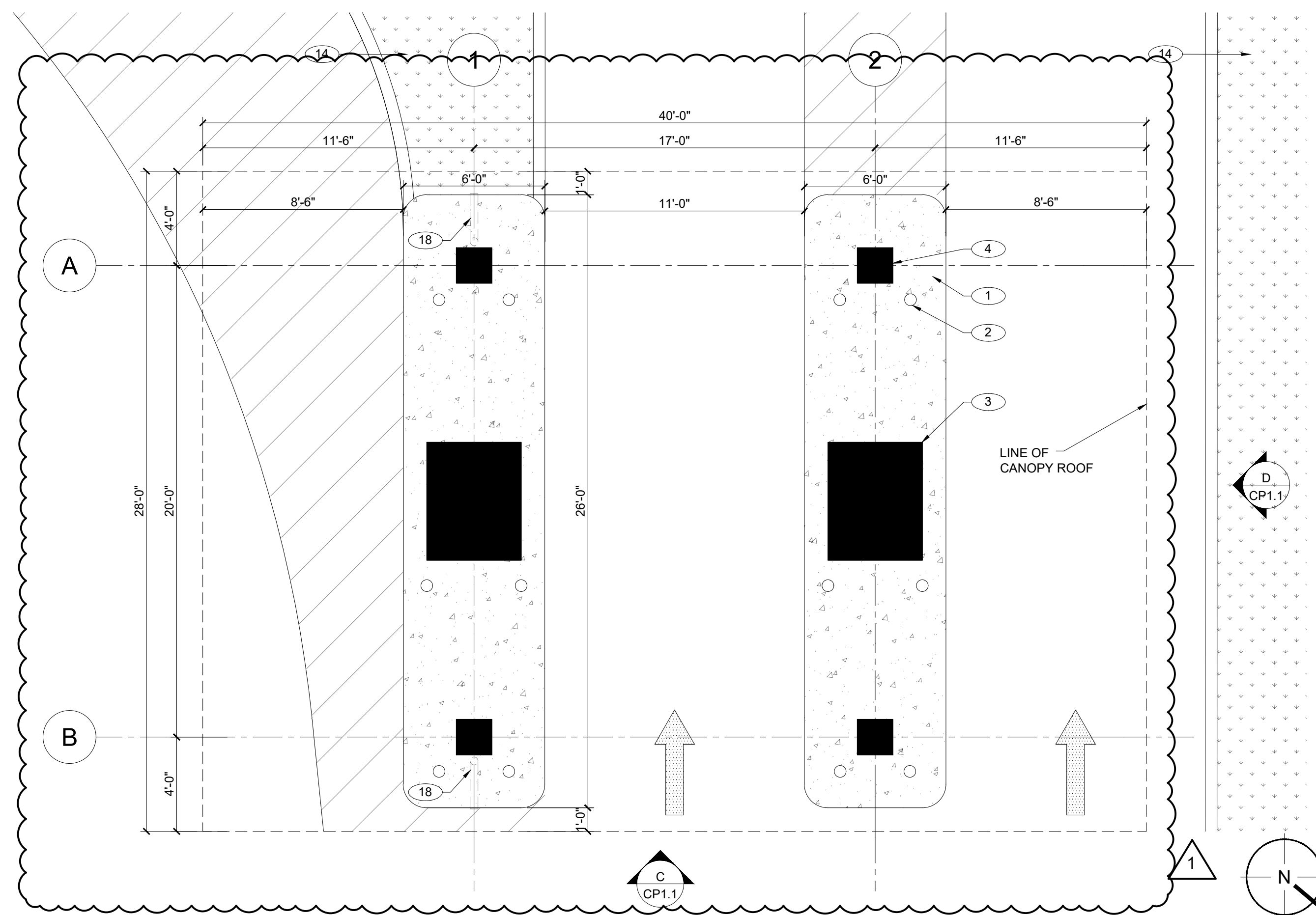
PROJECT LOCATION:  
 200 CHARLTON ROAD  
 STURBRIDGE, MA  
 01566

PROJECT NO: 1537

ORIGINAL ISSUE	DATE
FOR REVIEW	08.10.23
REVISIONS & SUBMISSIONS	DATE
1 REVISED	09.22.23
2	
3	
4	
5	
6	
7	
8	

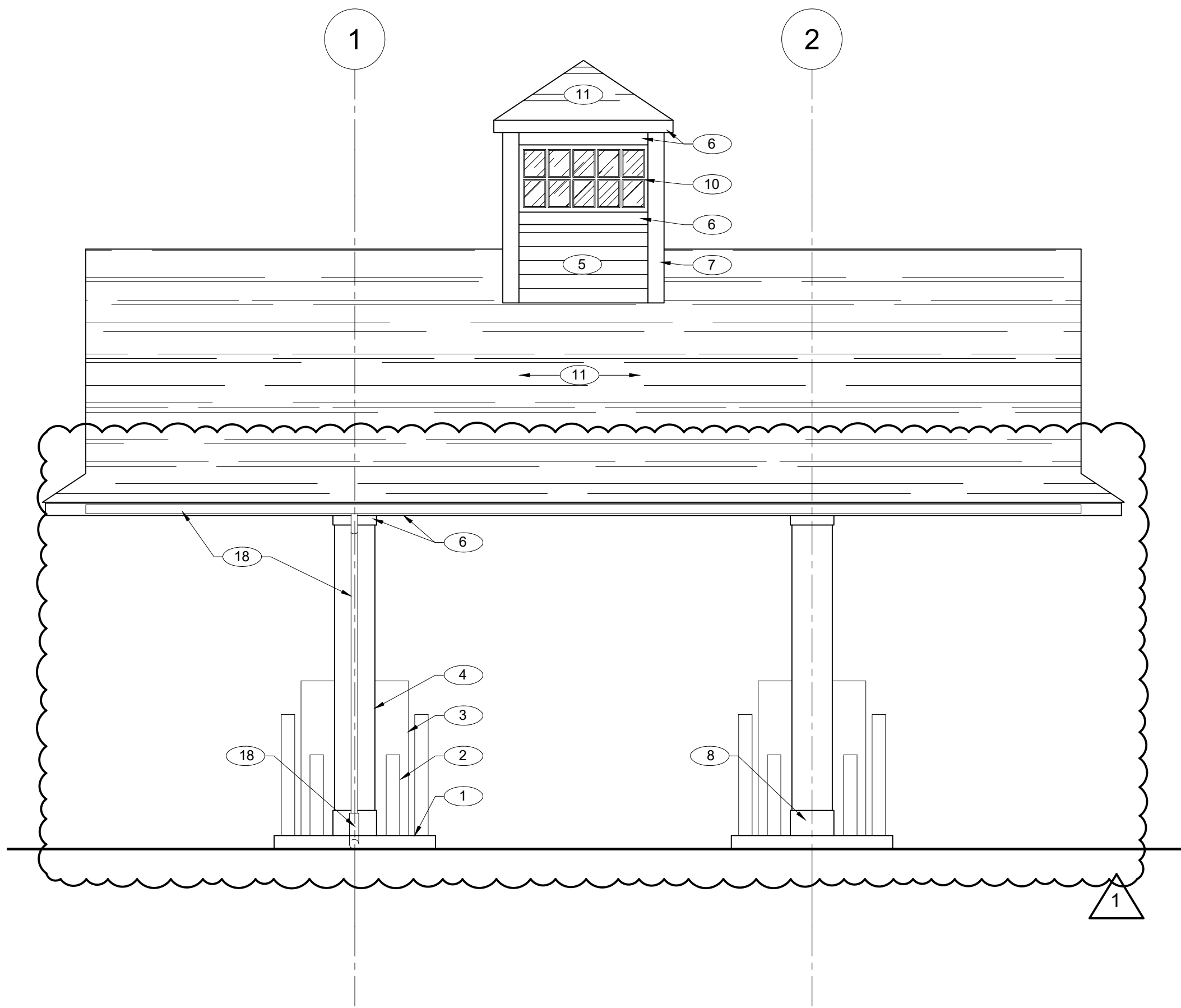
DRAWING NAME:  
**DRIVE THRU CANOPY PLAN & ELEVATIONS**

DRAWING NO:  
**CP1.1**

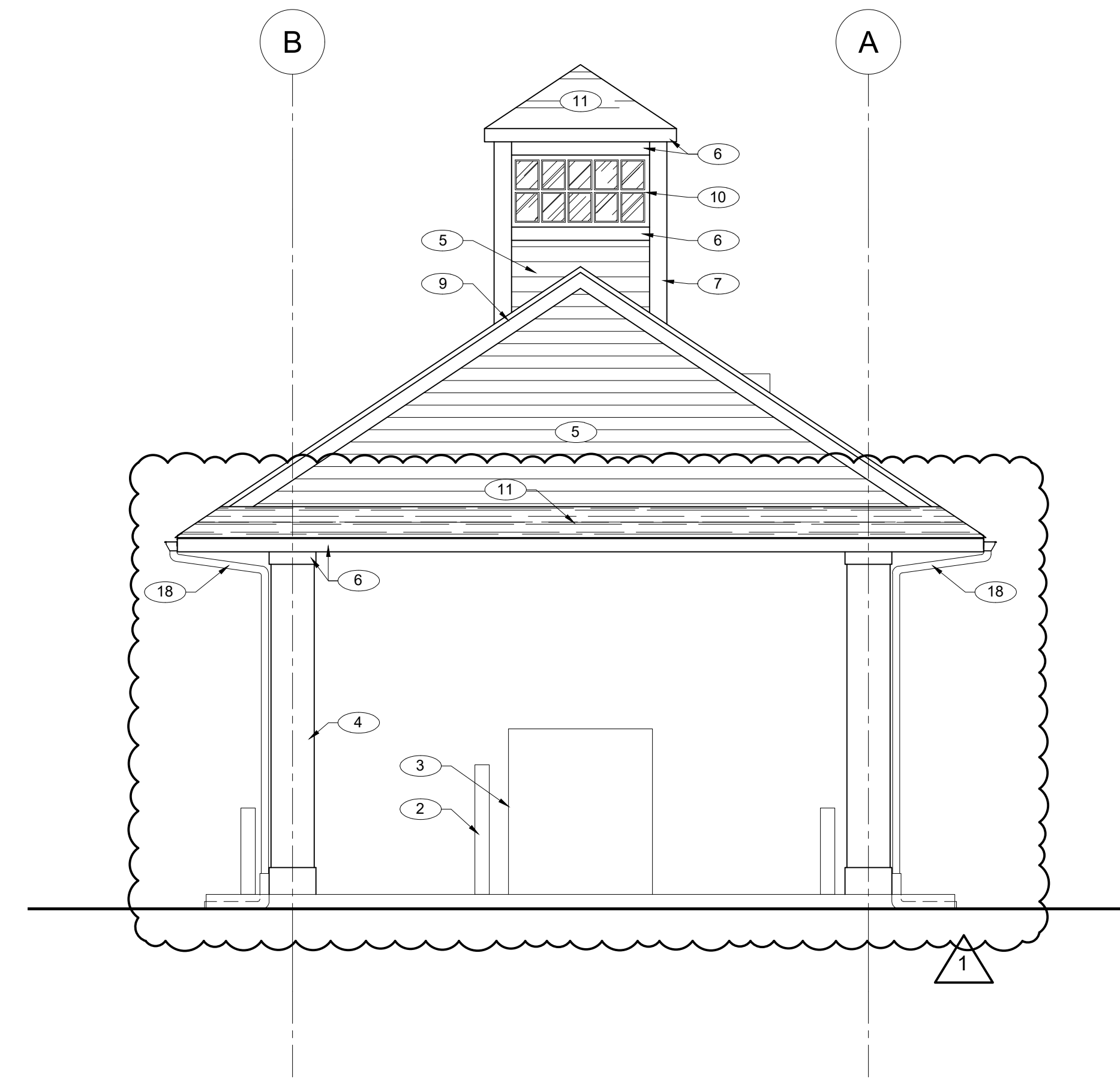


**DRIVE THRU CANOPY PLAN** 1/4" = 1'-0" **A**

**CANOPY RENDERING LOOKING NORTH** N.T.S. **B**



**NORTHEAST ELEVATION** 1/4" = 1'-0" **C**



**NORTHWEST ELEVATION** 1/4" = 1'-0" **D**

- DRAWING KEY NOTES # (NOT ALL NOTES APPEAR ON ALL SHEETS)
- 1 6" HIGH CONCRETE ISLAND
  - 2 36" HIGH X 6" DIA. CONCRETE FILLED STEEL BOLLARDS. PAINT TO MATCH EXISTING BOLLARDS COLOR. 4' 6" HEIGHT AT IRMS
  - 3 IRMS TYPE, SIZE AND GRAPHICS TBD
  - 4 18" SQUARE COLUMN ENCLOSURES
  - 5 CEMENTITIOUS CLAPBOARD SIDING. MFGR: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
  - 6 1 X 6 CEMENTITIOUS TRIM. MFGR: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
  - 7 1 X 8 CEMENTITIOUS TRIM. MFGR: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
  - 8 1 X 12 CEMENTITIOUS TRIM. MFGR: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
  - 9 PVC RAKE AND CORNICE MOULDING TO MATCH EXISTING ON MAIN BUILDING.
  - 10 CUPOLA WINDOW. MFGR: TBD. ALUMINUM CLAD WITH CLEAR NON-INSULATED GLAZING. CUPOLA SHALL BE INTERNALLY ILLUMINATED. LIGHT ORIENTATION SHALL BE DOWNWARD FACING WITH THE CUPOLA WINDOW PROVIDING THE HORIZONTAL CUTOFF TO ASSURE NO UPWARD LIGHT TRANSMISSION. REFER TO CP1.2.
  - 11 ARCHITECTURAL ASPHALT SHINGLES. MFGR AND MODEL NUMBER TO MATCH EXISTING MAIN BUILDING.
  - 12 NOT USED
  - 13 NOT USED
  - 14 LANDSCAPE AREA REFER TO CIVIL DRAWINGS.
  - 15 PVC SOFFIT PANEL (1 x 4 T & G LOOK). MFGR: TBD. COLOR: WHITE
  - 16 RECESSED LED CANOPY LIGHTING. REFER TO LIGHT SPECS ON SHEET CP1.2
  - 17 22" X 22" ACCESS PANEL
  - 18 ALUM. GUTTER & RAIN LEADER, SCHED 40 PVC BOOT AND DRAIN EMBEDDED IN CONC.

**PLAN AND ELEVATION KEY NOTES**



CONSULTANT:



KEY PLAN:

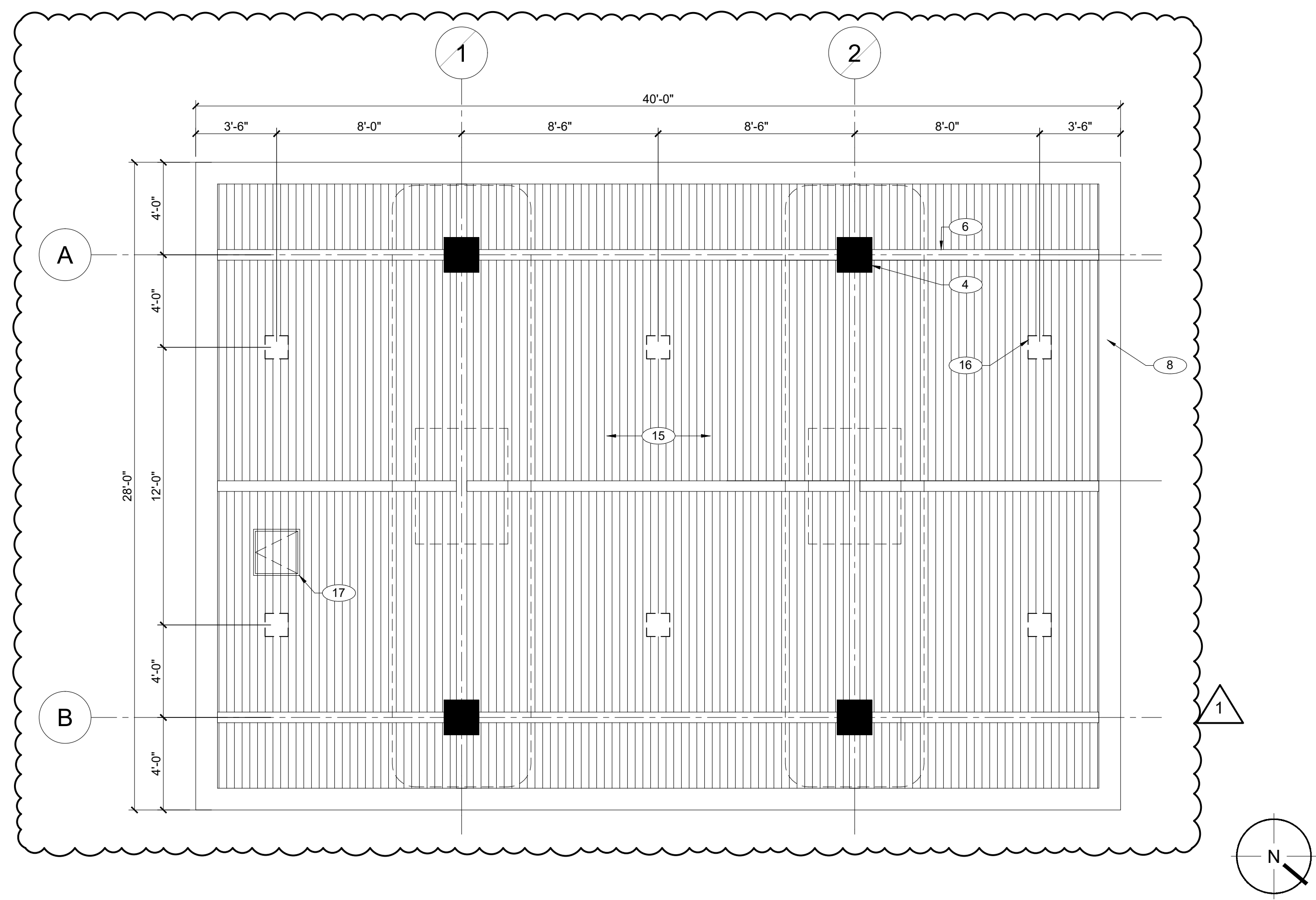
PROJECT LOCATION:  
**200 CHARLTON ROAD  
 STURBRIDGE, MA  
 01566**

PROJECT NO: 1537

ORIGINAL ISSUE	DATE
FOR REVIEW	08.10.23
REVISIONS & SUBMISSIONS	DATE
1 REVISED	09.22.23
2	
3	
4	
5	
6	
7	
8	

DRAWING NAME:  
**BANK ITM CANOPY  
 REFLECTED CEILING  
 PLAN**

DRAWING NO:  
**CP1.2**



**REFLECTED CEILING PLAN** 1/4" = 1'-0" **1**

**304 Series™**  
 LED Parking Structure Luminaire

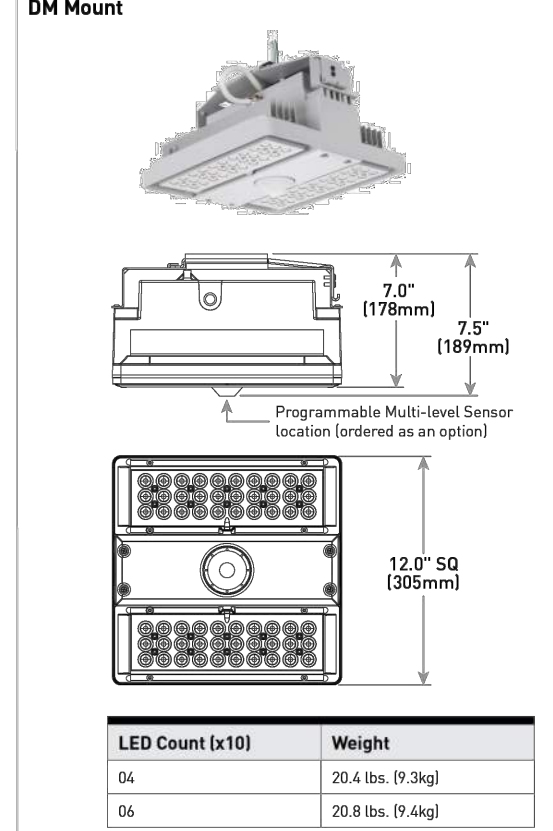
**Product Description**  
 Slim, low profile design. Luminaire is constructed from rugged die cast and extruded aluminum components. LED driver is mounted in a sealed weather-tight center chamber that allows for access from below the luminaire. High performance aluminum heat sinks specifically designed for LED parking structure application.  
**Applications:** Parking structures and low-medium bay general lighting

**Performance Summary**  
 Patented NanoOptic® Product Technology  
 Assembled in the U.S.A. of U.S. and imported parts  
**CR:** Minimum 70 CRI  
**CCT:** 4000K (+/- 300K), 5700K (+/- 500K) Standard  
**Limited Warranty:** 10 years on luminaire/15 years on Colorfast DeltaGuard® finish  
 † See <https://www.cree.com/led/304> for warranty terms

**Accessories**

Field-Installed	For Hook & Cord Mount Luminaires
<b>Blind Guard</b> - For pendant or hook & cord mount only XA-CP1800000**	<b>Locking Type Plug</b> L3-15P - 120V L4-15P - 208/240V L3-15P - 277V L16-20P - 277/480V
<b>Luminaire</b> - For 0.1" Stopped Ceilings 304-PM01011**	<b>Locking Type Receptacle</b> L3-15R - 120V L4-15R - 208/240V L3-15R - 277V L4-15R - 277V L16-20R - 480V L16-20R - 120V/250V L16-20R - 277V/480V
<b>Fitting</b> 304-FIT01**	<b>Steady Lock</b> - For direct mount SL-C
<b>Pendant Mount Kits</b> - Includes two conduit fittings and 3/4"-1/2" NPT pipe threaded on one end - Pendant height from ceiling surface to bottom of the luminaire, including accessories or surface boxes will add to overall height XA-PS1200** - 12" (305mm) XA-PS1800** - 18" (457mm) XA-PS2400** - 24" (609mm)	<b>Hard-Head Remote</b> XA-SEN004 - For successful implementation of the programmable multi-level option, a minimum of one hard-head remote is required
<b>For Direct Mount Luminaires</b>	
<b>Blind Release</b> - For direct mount only XA-CP180000**	

Rev. Date: V8 10/26/2020



**Ordering Information**  
 Example: PFK-304-DM-04-06-E-UL-SV-700

Product	Optic	Mounting	LED Count (x10)	E	Series	Voltage	Color Options	Drive Current	Options
PKF-304	SM	DM	04	E	UL	Black	350	DM 0-10V Dimming	- Control by address - Refer to Dimming spec sheet for details - Can't exceed of specified drive current
	Type V Medium	HC	08		UL	BZ	525		
	Type V Short	Hook & Cord			UL	WH	700	F Fuse	- Compatible only with 120V, 277V or 347V (phase to neutral) - Conduit factory fitting is required for 208V, 240V or 480V (phase to phase) - Refer to DS spec sheet for availability with PML options - When code dictates fusing, use time delay fuse
	Pyralisium	PD			WH	White	700mA	J Alternate Junction Box Mounting	- For direct mount only - Alternate bracket to fit 4" (102mm) square and RAC0297 J-Box
	Symmetrical	Pendant						PML Programmable Multi-Level	- Refer to PML specification for details - Intended for downlight applications at 0' fill
	Sparkle							40K 4000K Color Temperature	- Minimum 70 CRI - Color temperature per luminaire
	Pendulum							TFL Amber Turtle Friendly LEDs	- Available only with 750mA - Lumen multiplier from 3700K, 0.22 (350mA) - Power multiplier 0.76 - 600nm dominant wavelength - Additional shunting by external may be required for Florida Fish and Wildlife Conservation Commission compliance
	40' Flood								



US: [creeled.com](http://creeled.com) (800) 236-6800  
 Canada: [creeled.com](http://creeled.com) (800) 473-1234

**DRAWING KEY NOTES** # (NOT ALL NOTES APPEAR ON ALL SHEETS)

- 6" HIGH CONCRETE ISLAND
- 36" HIGH X 6" DIA. CONCRETE FILLED STEEL BOLLARDS. PAINT TO MATCH EXISTING BOLLARDS COLOR. 4" H HEIGHT AT ITMS
- ITM TYPE, SIZE AND GRAPHICS TBD
- 18" SQUARE COLUMN ENCLOSURES
- CEMENTITIOUS CLAY BEARING TRIM. MFG: JAMES HARDI. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
- 1 X 6 CEMENTITIOUS TRIM. MFG: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
- 1 X 8 CEMENTITIOUS TRIM. MFG: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
- 1 X 12 CEMENTITIOUS TRIM. MFG: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED)
- PVC RAKE AND CORNICE MOULDING TO MATCH EXISTING ON MAIN BUILDING.
- CUPOLA WINDOW. MFG: TBD. ALUMINUM CLAD WITH CLEAR NON-INSULATED GLAZING. CUPOLA SHALL BE INTERNALLY ILLUMINATED. LIGHT ORIENTATION SHALL BE DOWNWARD FACING WITH THE CUPOLA WINDOW PROVIDING THE HORIZONTAL CUTOFF TO ASSURE NO UPWARD LIGHT TRANSMISSION. REFER TO CP1.2.
- ARCHITECTURAL ASPHALT SHINGLES. MFG: JAMES HARDIE. TEXTURE: SMOOTH. COLOR: WHITE (PRE-FINISHED).
- EXISTING MAIN BUILDING.
- NOT USED
- NOT USED
- LANDSCAPE AREA REFER TO CIVIL DRAWINGS.
- PVC SOFFIT PANEL (1 x 4 T & G LOOK). MFG: TBD. COLOR: WHITE
- RECESSED LED CANOPY LIGHTING. REFER TO LIGHT SPECS ON SHEET CP1.2
- 27" X 27" ACCESS PANEL
- ALUM. GUTTER & RAIN LEADER. SCHED 40 PVC BOOT AND DRAIN EMBEDDED IN CONC.