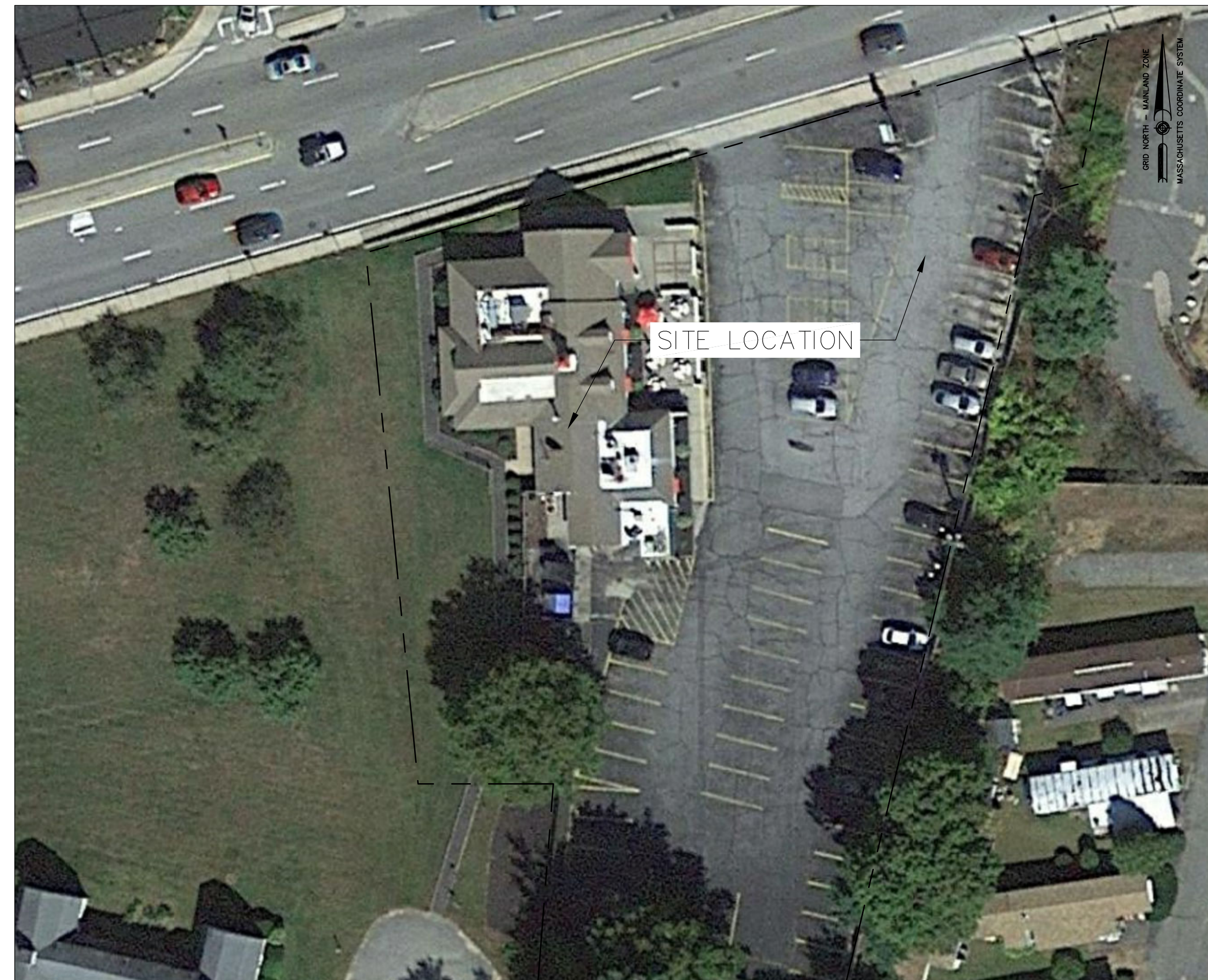


GIDO'S BRICK OVEN PIZZA

PROPOSED ARCHITECTURE AND SITE IMPROVEMENTS

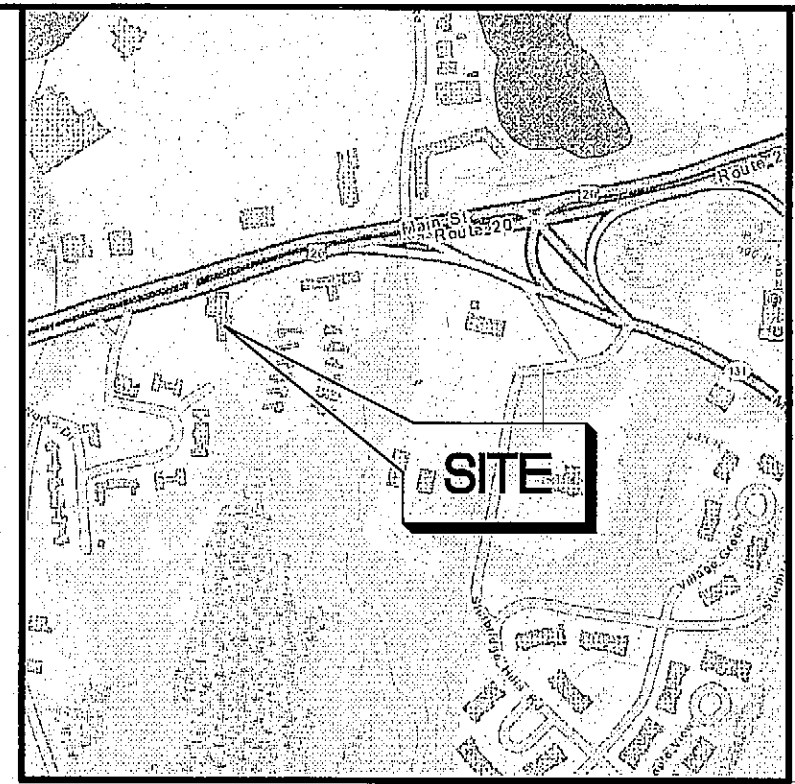
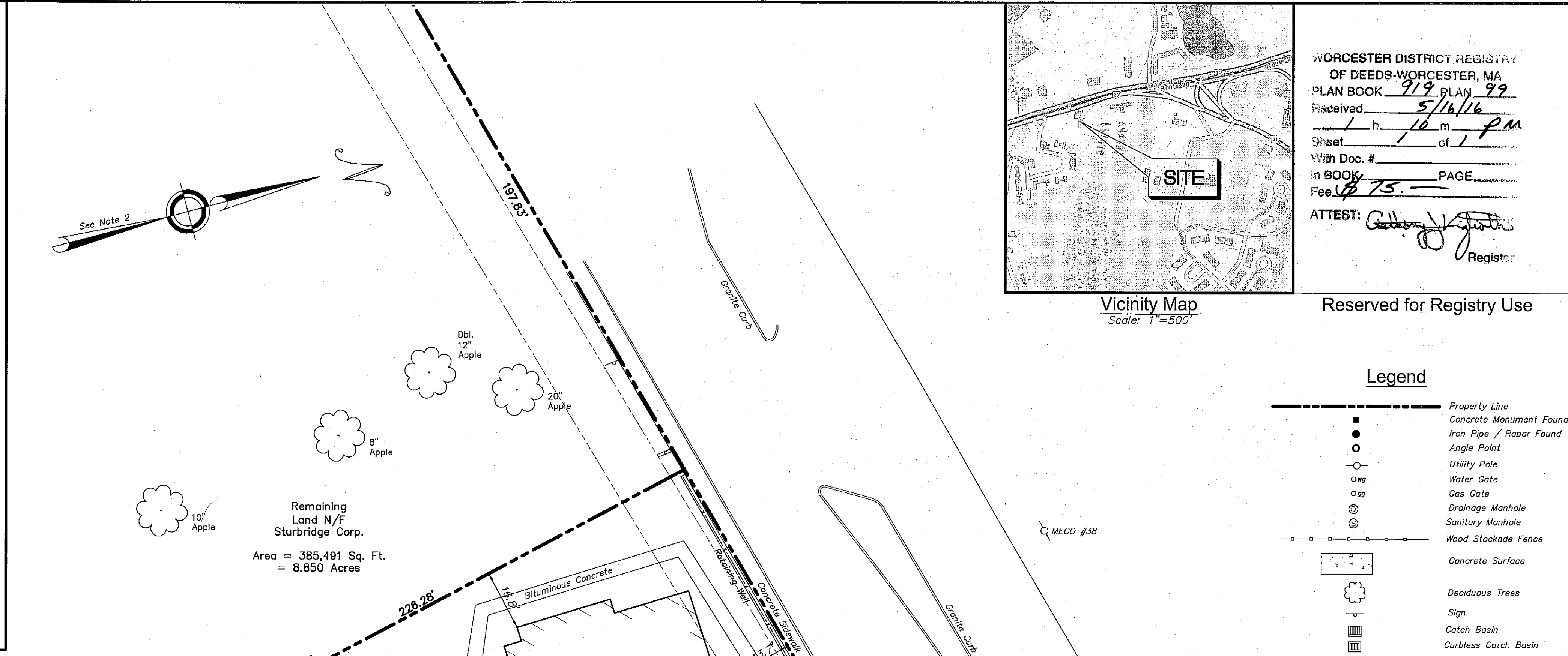
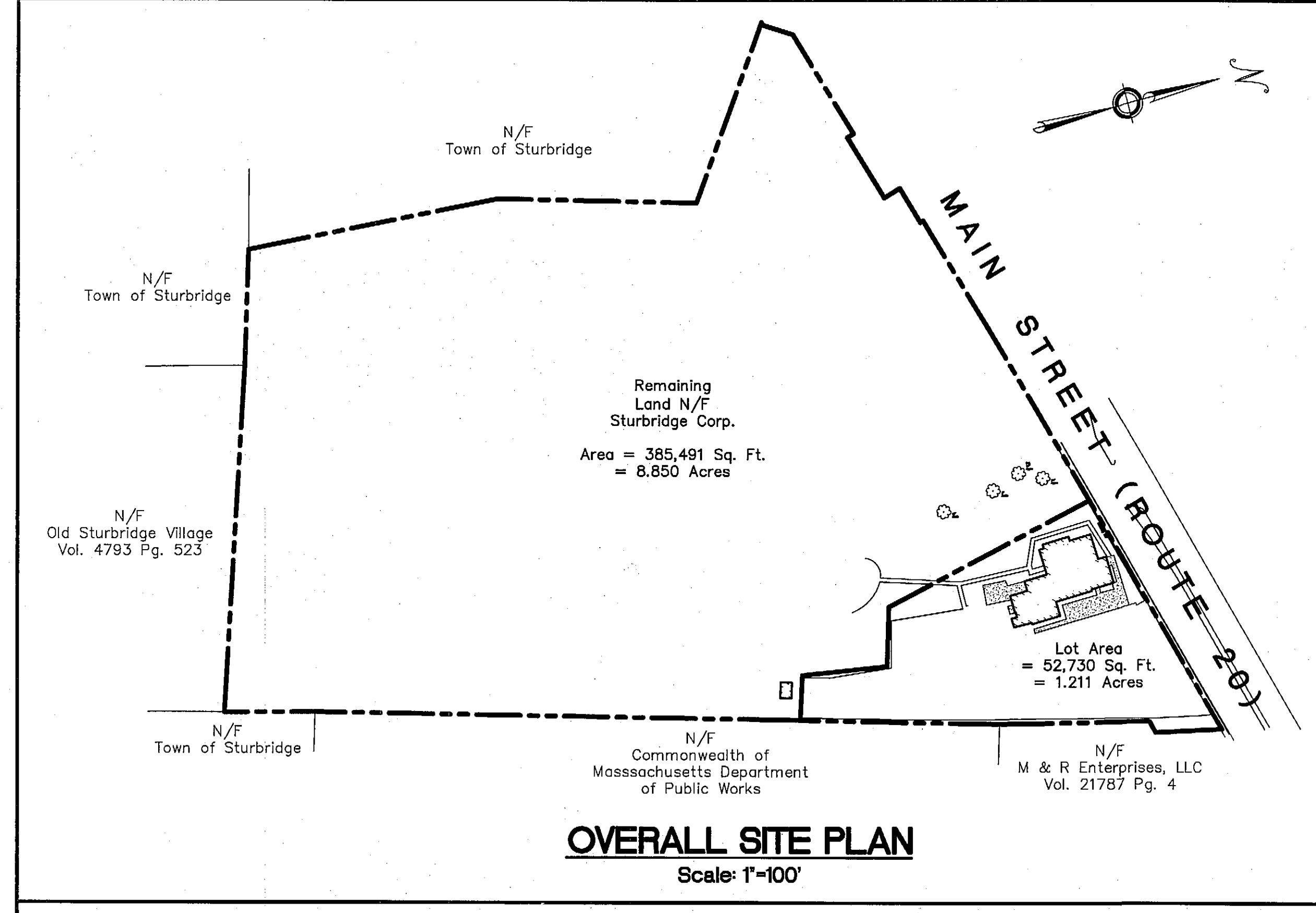
367 MAIN STREET STURBRIDGE, MA



LIST OF DRAWINGS

| | |
|------|---|
| EX-1 | EXISTING CONDITIONS SURVEY |
| A-1 | ARCHITECTURAL ELEVATIONS AND MATERIALS |
| A-2 | ARCHITECTURAL FLOOR PLAN |
| A-3 | ARCHITECTURAL EAST AND WEST ELEVATIONS |
| A-4 | ARCHITECTURAL NORTH AND EAST ELEVATIONS |
| L-0 | SITE PLAN RENDERING |
| L-1 | OVERALL LANDSCAPE SITE PLAN |
| L-2 | LANDSCAPE MATERIALS PLAN |
| L-3 | LANDSCAPE LAYOUT PLAN |
| L-4 | PLANTING PLAN |
| L-5 | LANDSCAPE DETAILS |

OCTOBER 2021

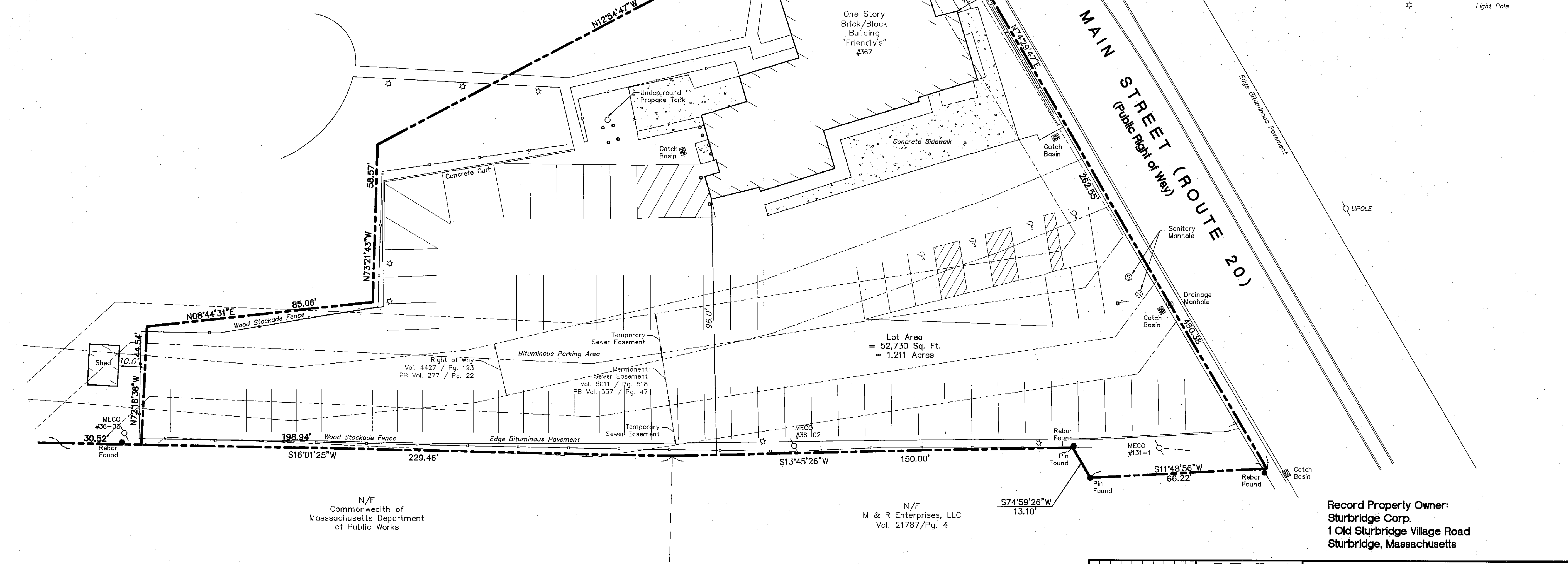


WORCESTER DISTRICT REGISTER
OF DEEDS-WORCESTER, MA
PLAN BOOK 919 PLAN 99
Received 5/16/16
Sheet 1 of 1 P.M.
With Doc. #
In Book PAGE
Fee \$75
ATTEST: [Signature]
Registrar

Reserved for Registry Use

Map Notes

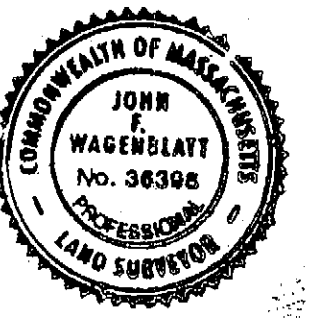
- The type of Survey performed and the mapped features depicted hereon are in accordance with the requirements of a Boundary Survey. Boundary determination/option is based upon a resurvey of the map referenced in note 3-A. This survey conforms to class A-2.
- Bearings are referenced to map referenced in note 3-A.
- Reference is made to the following maps:
 - "Plan of Land in Sturbridge, Massachusetts (Worcester County) Prepared for: Old Sturbridge Village, Inc. Record owner: Sturbridge Corp., Scale: 1"=50', Date: January 9, 2001", Prepared by Schofield Brothers of New England, Inc., Sheet 1 of 1, Project No. 20934.
 - "Plan of Land in Sturbridge, Massachusetts (Worcester County) Prepared for: Old Sturbridge Village, Inc. Record owner: Sturbridge Corp., Scale: 1"=50', Date: January 9, 2001", Prepared by Schofield Brothers of New England, Inc., Sheet 1 of 7, Project No. 20934.
 - "Perimeter Boundary Survey Plan of Land in Sturbridge, Mass. Prepared for: Old Sturbridge Village Corporation", Schofield Brothers, Inc. Professional Engineers & Professional Land Surveyors 1071 Worcester Road, Framingham, Mass. 01701, Scale: 1"=100', date: July 6, 1990, revised: July 25, 1990, Sheet 3 of 15.
 - "Sturbridge - 1994 Alteration - Sheet 2 of 3 Sheets layout No. 7104
 - "Sturbridge - 1994 Alteration - Sheet 3 of 3 Sheets layout No. 7104
 - "Sturbridge Plan of Land Prepared for Mobil Oil Corporation", Scale: 1"=30', 7 April 1971, prepared by Pharmed Engineering Corporation, Holyoke, Mass.
- Parcel is depicted as Lot 367, Block 2457, Map 415 as described in Vol. 362B on Page 322 in the Assessors office. The property is zoned Commercial Tourist District as referenced from the town zoning map dated June 6, 2011.
- Property is located in flood zone X, area depicted to be located outside the 0.2% annual chance floodplain as depicted on FIRM, Sturbridge, Massachusetts, Worcester County, Panel 927 of 1075, Community Panel Number 250337, Suffix E, effective date: July 4, 2011.
- Location of all underground utilities depicted hereon are approximate and are based on field location of visible structures such as catch basins, manholes, water gates, etc. and compiling information from plans supplied by the respective utility companies and government agencies. All contractors are required by State Regulations to contact Dig Safe System, Inc. at 811 or 888-DIG-Safe for locations and stake out of utilities prior to any excavation.



Certification

I report that this plan and survey conform to the technical and procedural standards for the practice of land surveying in the Commonwealth of Massachusetts. Furthermore, I report that the plan has been prepared in conformity with the rules and regulations of the Register of deeds of the Commonwealth of Massachusetts.

[Signature]
JOHN F. WAGENBLATT
L.S. No. 36,396



ZONING CHART

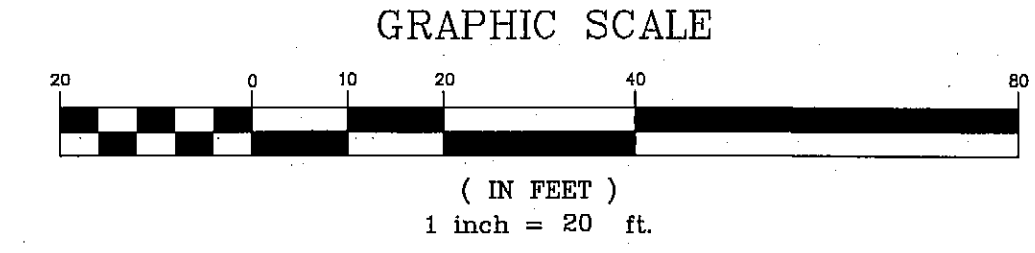
TOWN OF STURBRIDGE
COMMERCIAL TOURIST DISTRICT
PROPOSED USE: COMMERCIAL BUILDING
367 MAIN STREET

| ITEM | REQUIRED/PERMITTED | EXISTING |
|-----------------------|--------------------|------------|
| LOT SIZE | 1 Acre | 1.21 Acre |
| LOT FRONTAGE | 150 FT. | 282.55 FT. |
| BUILDING SETBACK | | |
| STREET | 25 FT. | 13.7 FT.* |
| OTHER | 10 FT. | 16.8 FT. |
| MAX. HEIGHT (Stories) | 35 FT. (3 Stories) | 1 Story |
| MAX. LOT COVERAGE | 30% | 9.2% |

*Non-Conforming

STURBRIDGE PLANNING BOARD
Planning Board Approval Under the
Subdivision Control Law Not Required M.G.L.
Chapter 41 Section 81P

Date: 4/12/16 [Signature]



LRC GROUP

- Land Planning
- Civil Engineering
- Environmental Services
- Land Surveying
- Landscape Architecture

160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.635.2877 Fax: 860.635.4226

Additional Offices:
Poughkeepsie, NY
Clinton, NJ

www.lrcconsult.com

Land Resource Consultants, Inc.
LRC Engineering & Surveying, D.P.C.
LRC Environmental Services, Inc.
LRC Engineering and Surveying, LLC

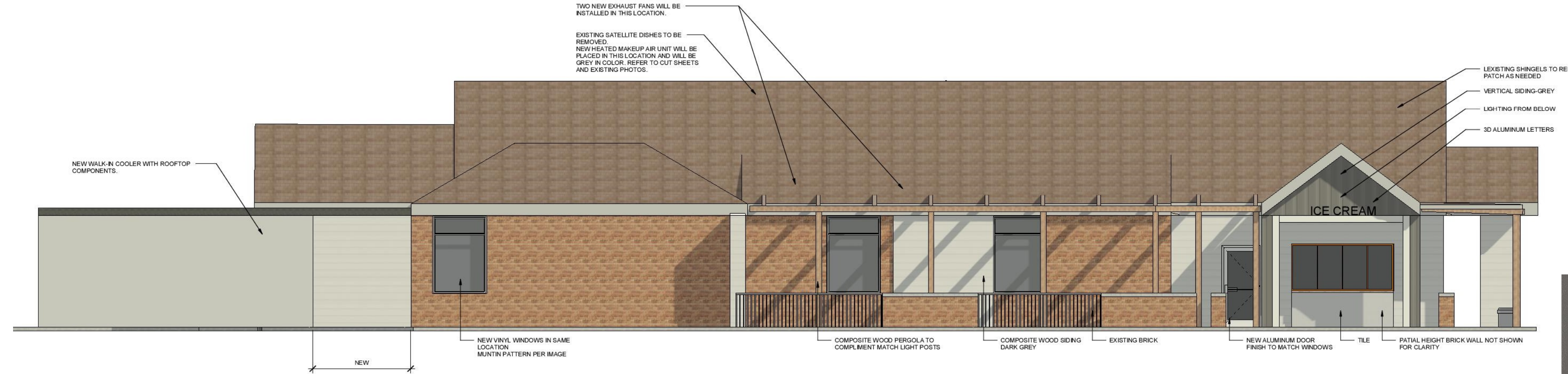
ANR PLAN OF LAND

MAP SHOWING PROPERTY
TO BE CONVEYED TO
FRIENDLY'S ICE CREAM, LLC
367 MAIN STREET
STURBRIDGE, MASSACHUSETTS

| | | | | |
|----------|-----|-------------|----------------|-------------|
| Designed | - | CAD File | 16-1807exr | Sheet No. |
| Drawn | RHR | Project No. | 16-1807 | EX-1 |
| Checked | JA | Date | March 23, 2016 | |
| Approved | JW | Scale | As Noted | |



COMPOSITE PLANK SIDING



EAST ELEVATION



VINYL WINDOWS



VERTICAL SIDING AT GABLE ENDS



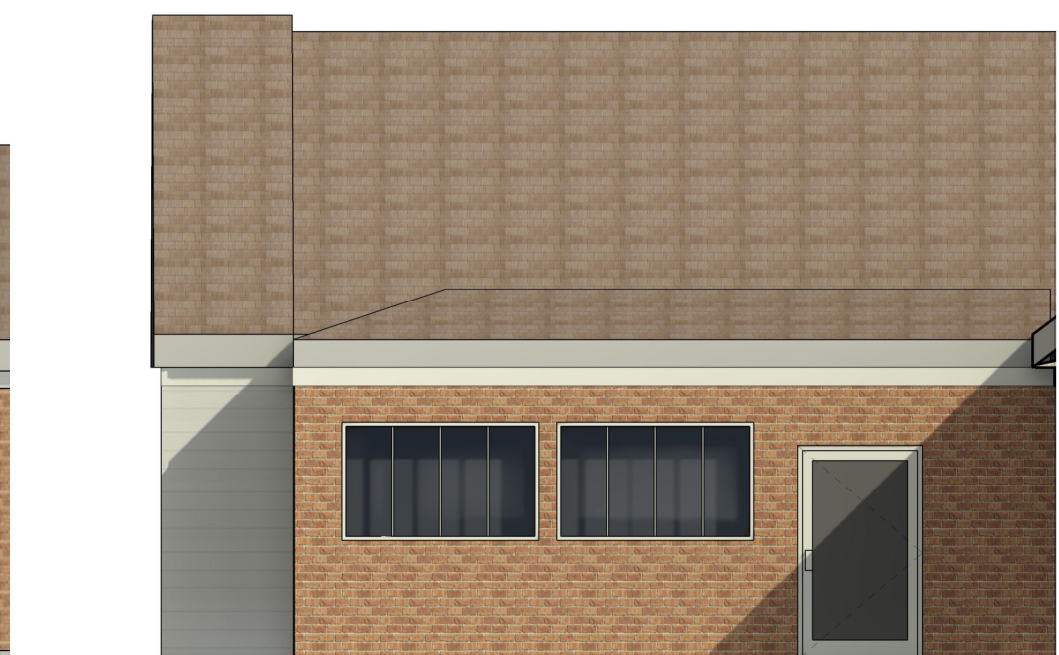
NORTH ELEVATION



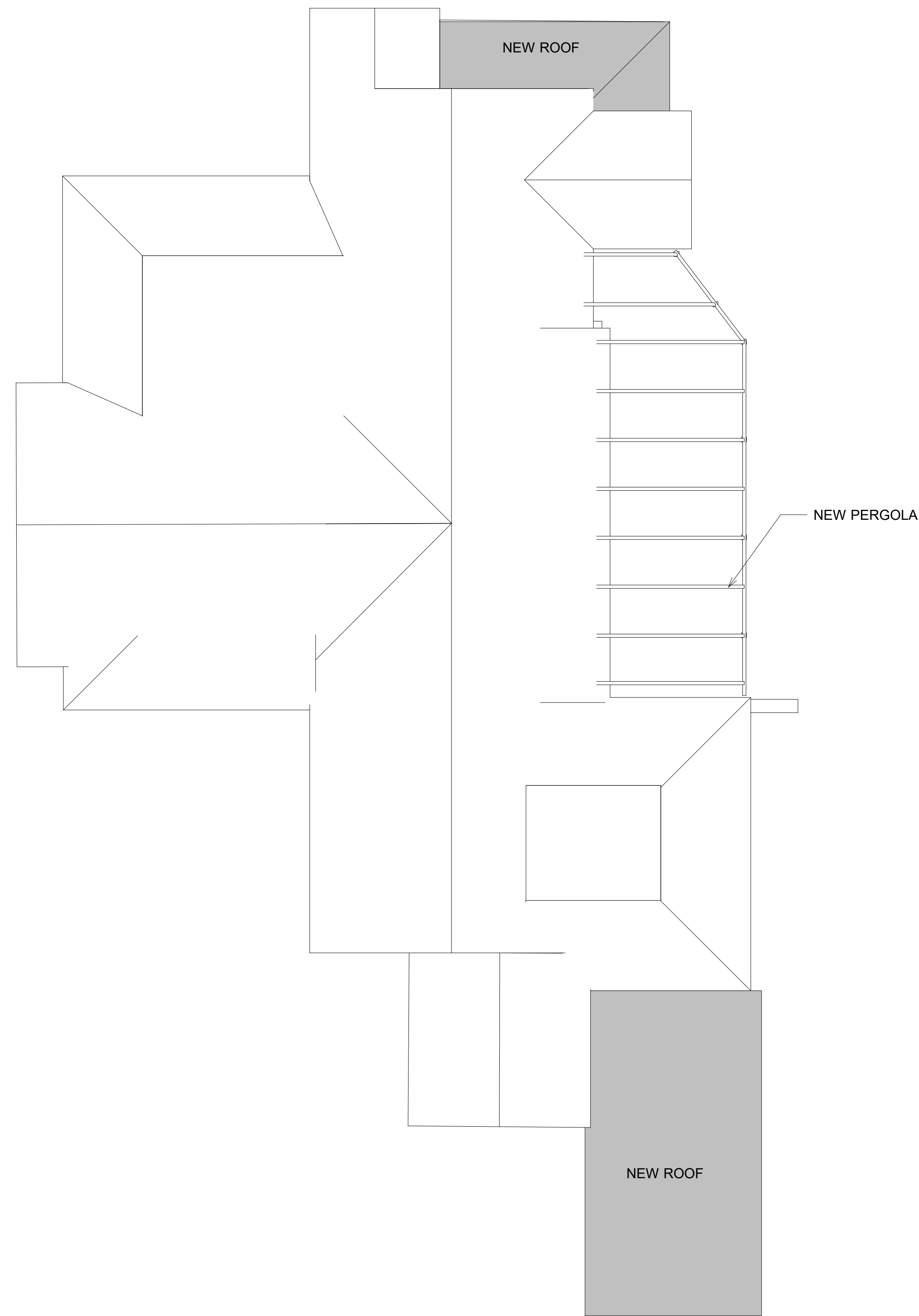
WOOD COMPOSITE PERGOLA SIMILAR DESIGN



WEST ELEVATION



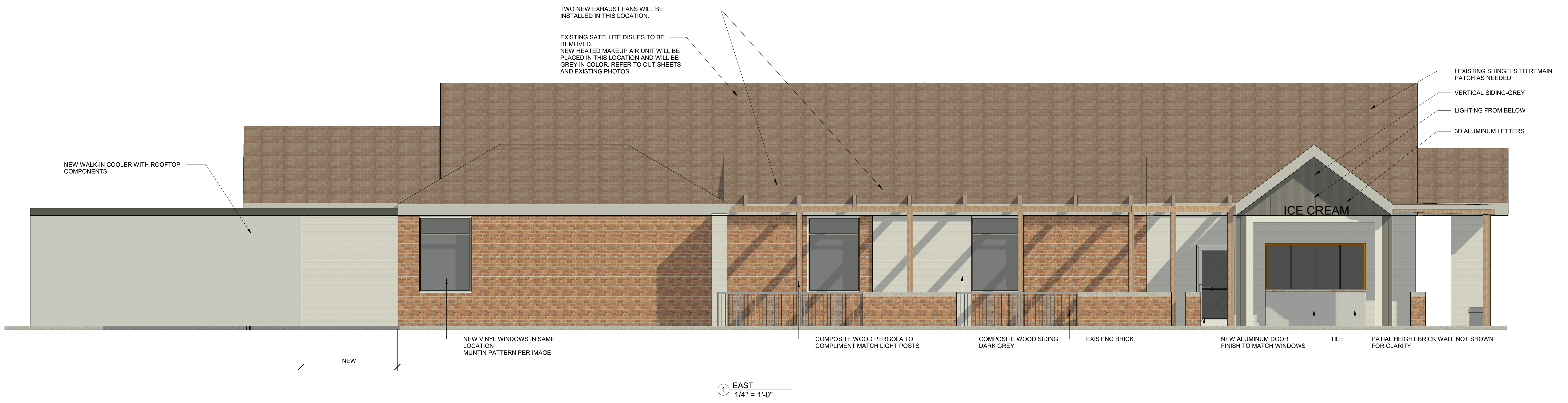
SOUTH ELEVATION



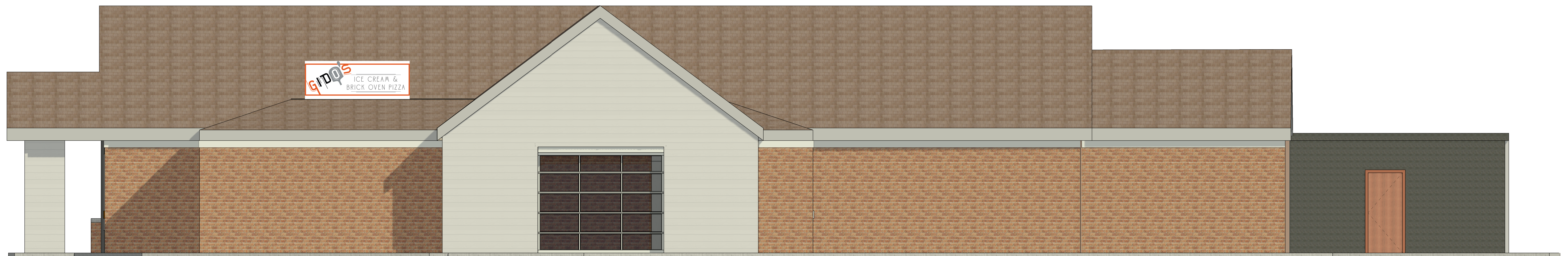
② ROOF PLAN
1/8" = 1'-0"



① PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"



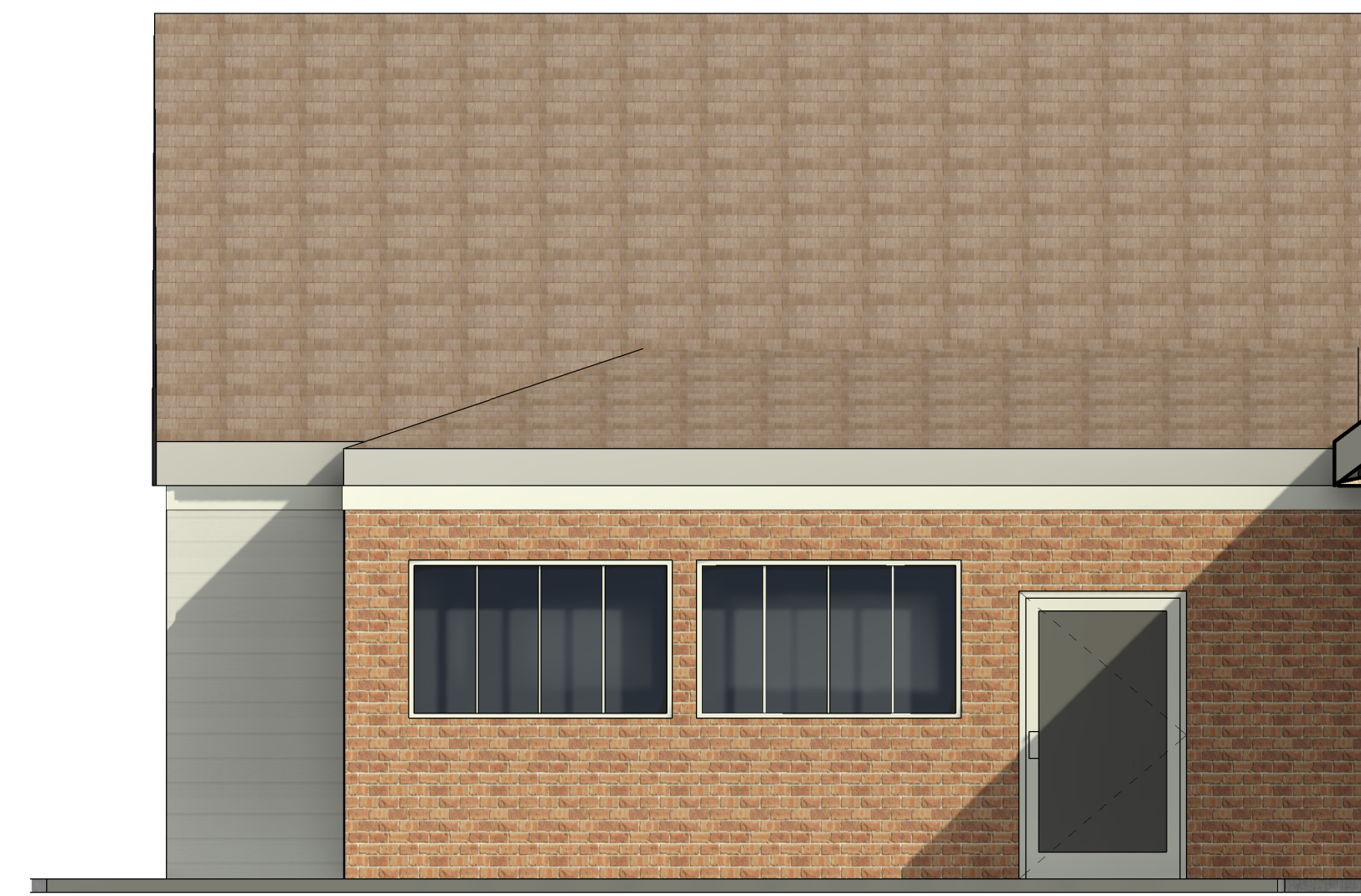
① EAST
1/4" = 1'-0"



② WEST
1/4" = 1'-0"



① NORTH
1/4" = 1'-0"



② SOUTH
1/4" = 1'-0"



1" = 5'
2.5 0 5

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REVISIONS

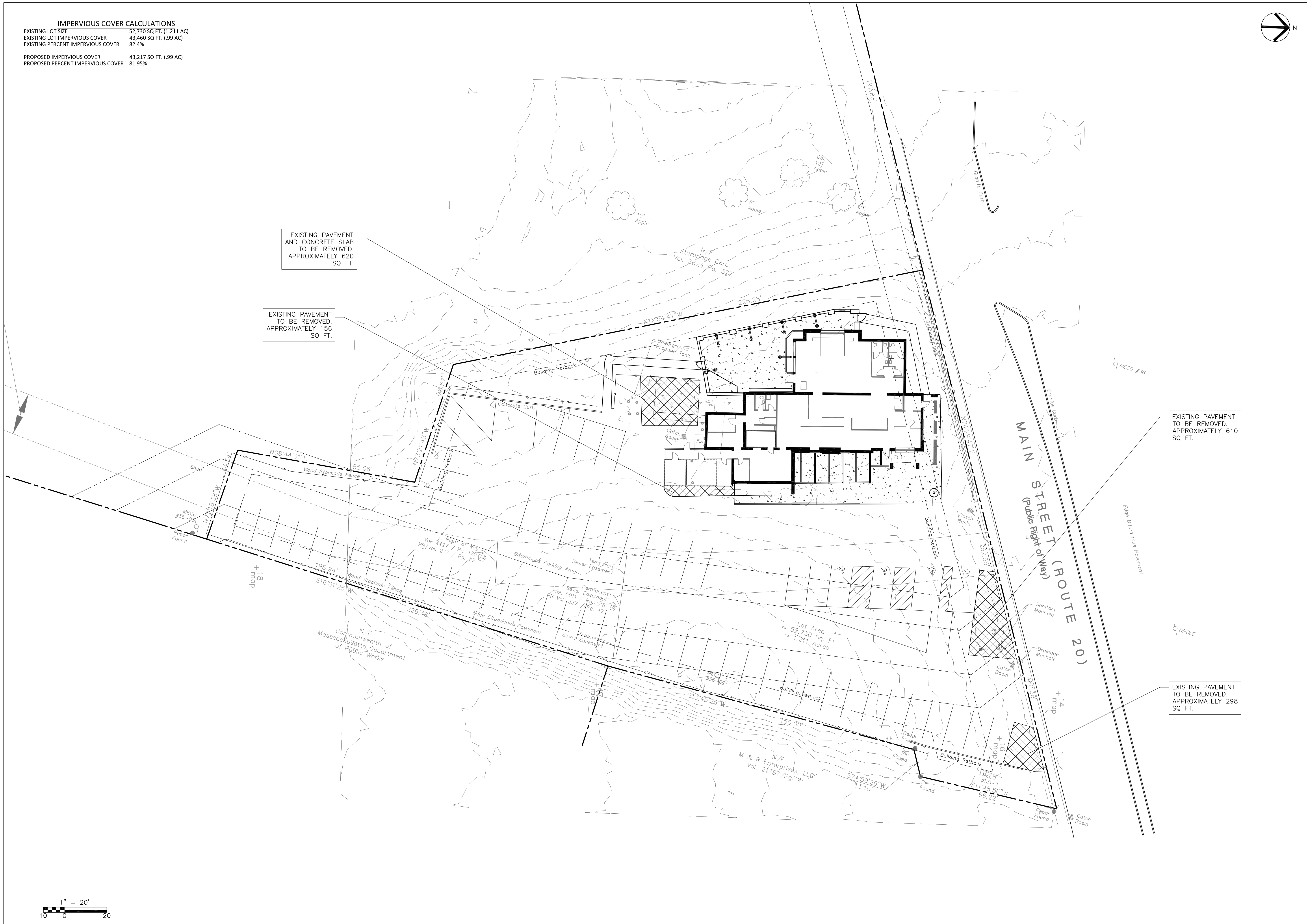
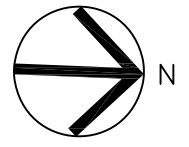


Proj. Mgr.: JC
Designed: JC
Drawn: JC
Checked: DF
Scale: AS NOTED
Date: OCT 2021

LANDSCAPE ILLUSTRATIVE PLAN
PROPOSED GIDOS RESTAURANT
367 MAIN STREET
STURBRIDGE, MA 01566

Proj. No.
Dwg. No.

IMPERVIOUS COVER CALCULATIONS
 EXISTING LOT SIZE 52,730 SQ. FT. (1.211 AC)
 EXISTING LOT IMPERVIOUS COVER 43,460 SQ. FT. (.99 AC)
 EXISTING PERCENT IMPERVIOUS COVER 82.4%
 PROPOSED IMPERVIOUS COVER 43,217 SQ. FT. (.99 AC)
 PROPOSED PERCENT IMPERVIOUS COVER 81.95%



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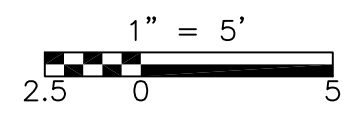
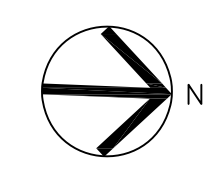
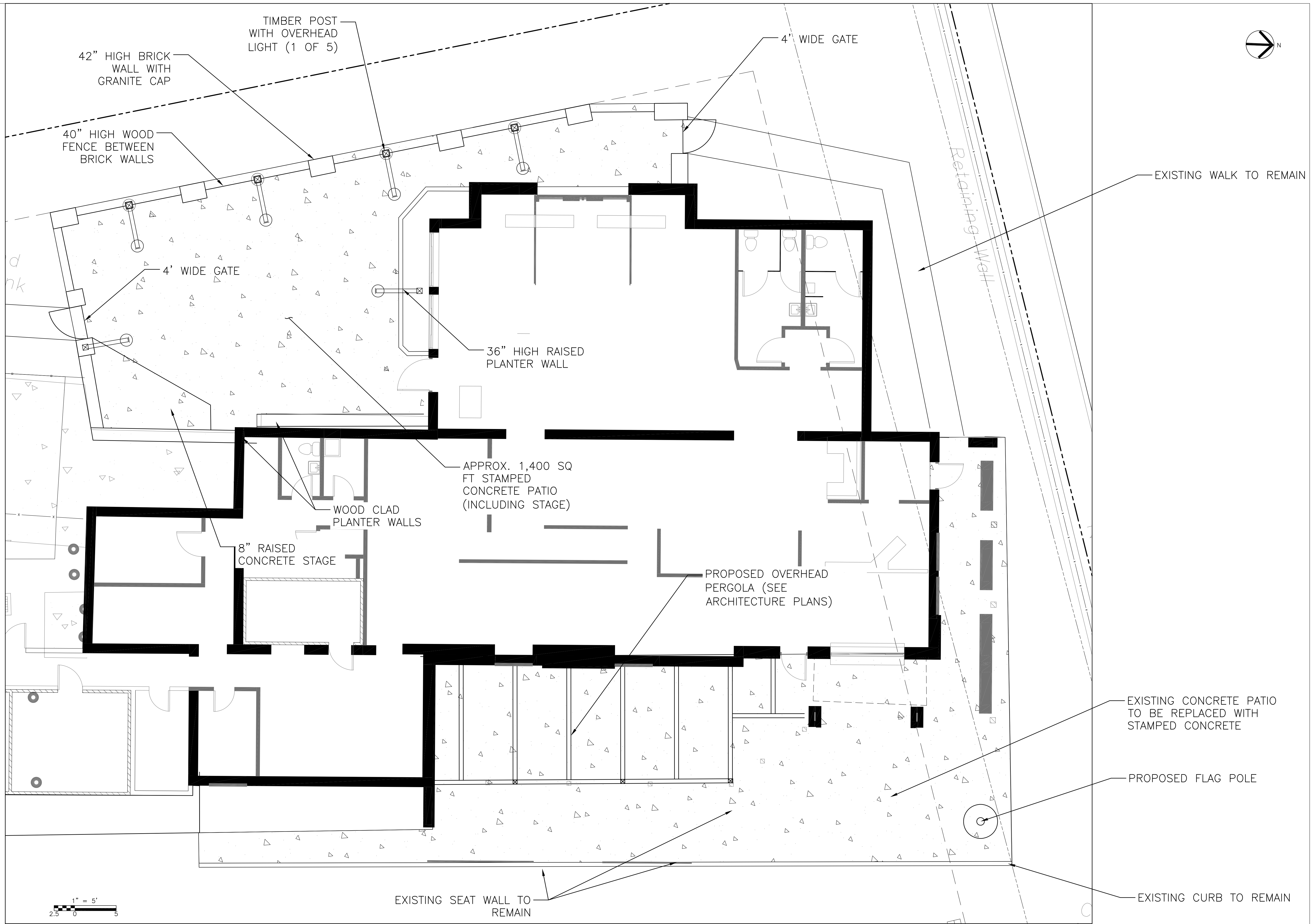
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 Scale: AS NOTED
 Date: OCT 2021

LANDSCAPE LAYOUT PLAN
 PROPOSED GIDOS RESTAURANT
 367 MAIN STREET
 STURBRIDGE, MA 01566

Proj. No.
 Dwg. No.



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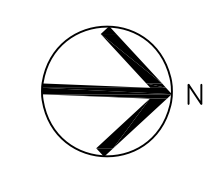
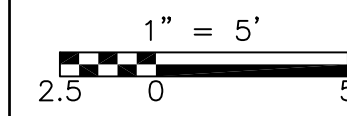
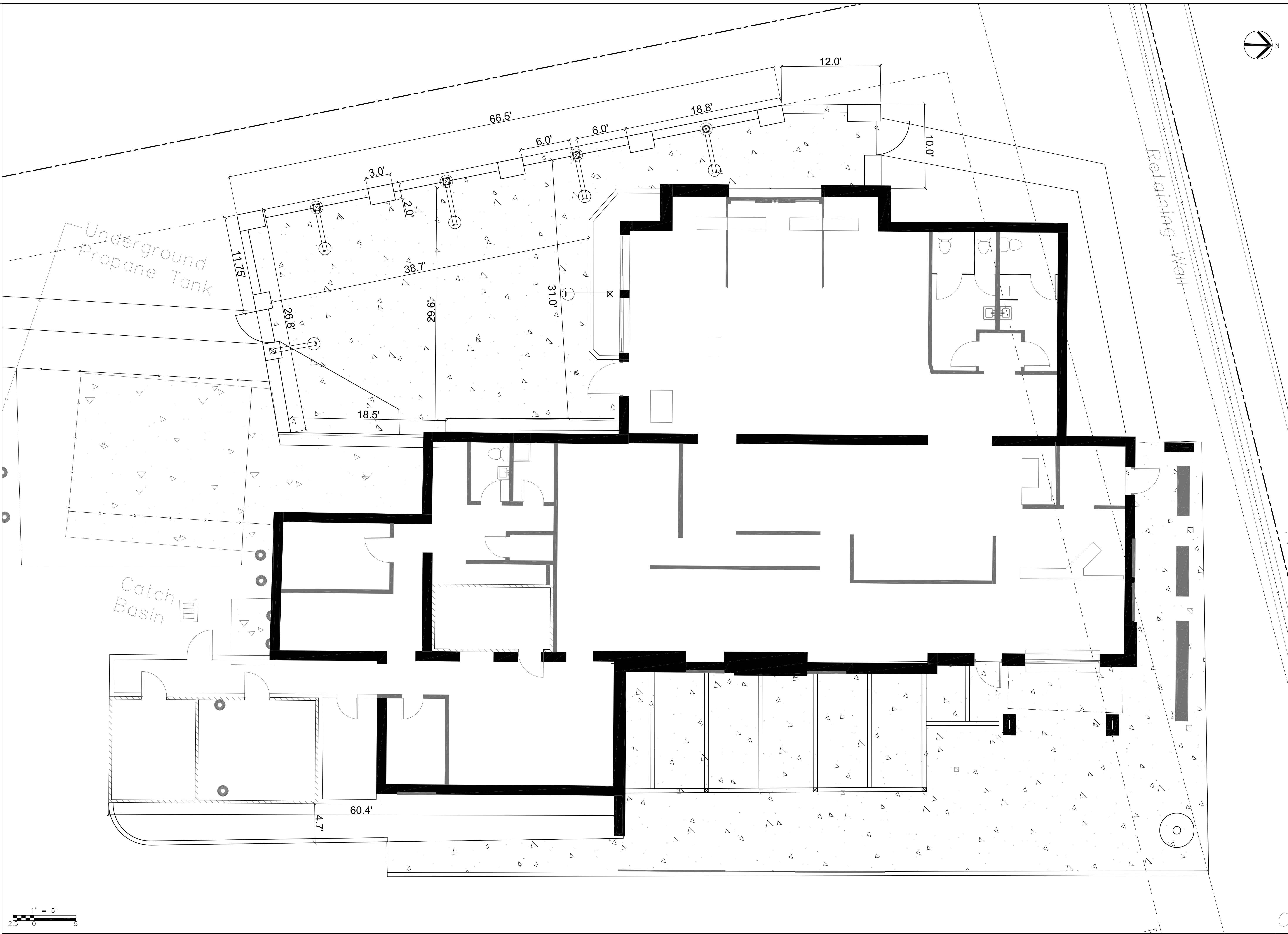


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 Designed: JC
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 Scale: AS NOTED
 Date: OCT 2021

LANDSCAPE MATERIALS PLAN
 PROPOSED GIDOS RESTAURANT
 367 MAIN STREET
 STURBRIDGE, MA 01566

Proj. No.
 Dwg. No.

REVISIONS



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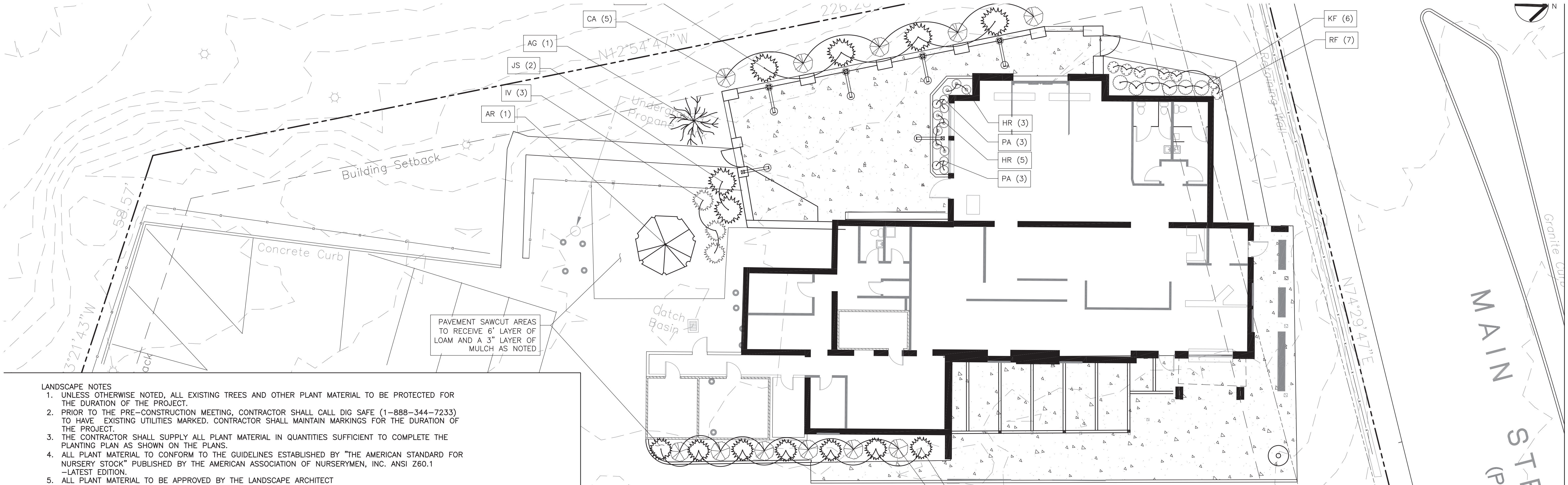
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 Date: OCT 2021

LANDSCAPE LAYOUT PLAN
 PROPOSED GIDOS RESTAURANT
 367 MAIN STREET
 STURBRIDGE, MA 01566

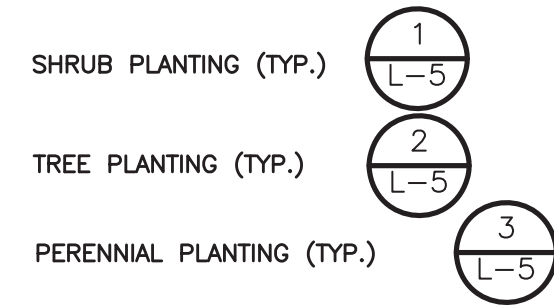
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LANDSCAPE NOTES

- UNLESS OTHERWISE NOTED, ALL EXISTING TREES AND OTHER PLANT MATERIAL TO BE PROTECTED FOR THE DURATION OF THE PROJECT.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL CALL DIG SAFE (1-888-344-7233) TO HAVE EXISTING UTILITIES MARKED. CONTRACTOR SHALL MAINTAIN MARKINGS FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON THE PLANS.
- ALL PLANT MATERIAL TO CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1 -LATEST EDITION.
- ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT
- STAKE LOCATIONS OF PLANT MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL MULCH BEDS SHALL CONSIST OF A 6" LAYER SCREENED LOAM AND A 3" LAYER SHREDDED PINE BARK MULCH.
- EDGE OF MULCH BEDS TO BE MECHANICALLY EDGED.
- ALL DISTURBED AREAS NOT SHOWN AS PAVEMENT, MULCH BEDS, OR OTHER SPECIFIED MATERIAL SHALL RECEIVE A MINIMUM 6" LAYER OF LOAM AND SEED.
- LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY MATERIALS DAMAGED DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR TO SUBMIT A WATERING SCHEDULE FOR THE SIXTY DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER FOR ALL PROPOSED PLANT MATERIAL.
- SEE LANDSCAPE DETAILS FOR PLANTING INFORMATION.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE, THE QUANTITY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.

— — — EDGE OF MULCH BED



| Plant Schedule | Symbol | Quantity | Botanical Name | Common Name | Size | Root |
|---------------------------------------|--------|----------|---|-------------------------------|-------------|------|
| Trees | | | | | | |
| AR | 1 | 1 | ACER RUBRUM 'RED SUNSET' | RED SUNSET RED MAPLE | 2-2.5" CAL. | BB |
| AG | 1 | 1 | ACER GRISEUM | PAPERBARK MAPLE | 2-2.5" CAL. | BB |
| JS | 6 | 6 | JUNIPERUS SCOPULORUM 'MOONGLOW' | MOONGLOW JUNIPER | 5'-6' H | BB |
| TO | 7 | 7 | THUJA OCCIDENTALIS 'NIGRA' | AMERICAN ARBORVITAE | 5'-6' H | BB |
| Shrubs | | | | | | |
| IV | 3 | 3 | ILEX VERTICILLATA | COMMON WINTERBERRY | 2'-2.5' H | |
| FG | 12 | 12 | FOTHERGILLA GARDENII | FOTHERGILLA | 2'-2.5' H | |
| CA | 8 | 8 | CLETHRA ALNIFOLIA 'SIXTEEN CANDLES' | SUMMERSWEET | 2'-2.5' H | |
| Perennials & Ground Covers | | | | | | |
| PA | 21 | 21 | PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' | BURGUNDY BUNNY FOUNTAIN GRASS | #2 POT | |
| KF | 6 | 6 | CALAMAGROSTIS 'KARL FOERSTER' | FEATHER REED GRASS | #2 POT | |
| RF | 19 | 19 | RUDBECKIA FULGIDA 'GOLDSTRUM' | BLACK EYED SUSAN | #2 POT | |
| HR | 8 | 8 | HEMEROCALLIS X ROSY RETURNS | ROSY RETURNS DAYLILLY | #2 POT | |



RED MAPLE



PAPERBARK MAPLE



MOONGLOW JUNIPER



AMERICAN ARBORVITAE



SUMMERSWEET



FOTHERGILLA



BURGUNDY BUNNY GRASS



WINTERBERRY



FEATHER REED GRASS

| NO. | DATE | BY | CHECKED | DESCRIPTION |
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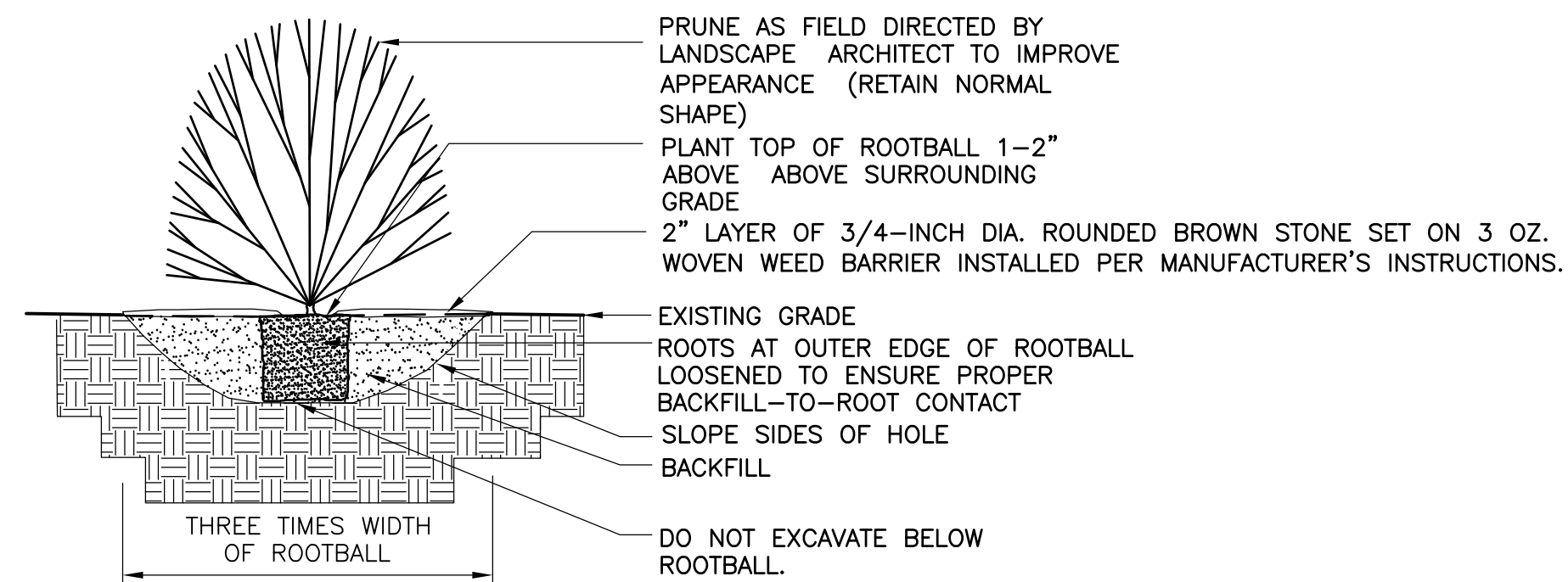
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JCLA
 JOSEPH COAN LANDSCAPE ARCHITECTURE
 STURBRIDGE MA 01566-0553

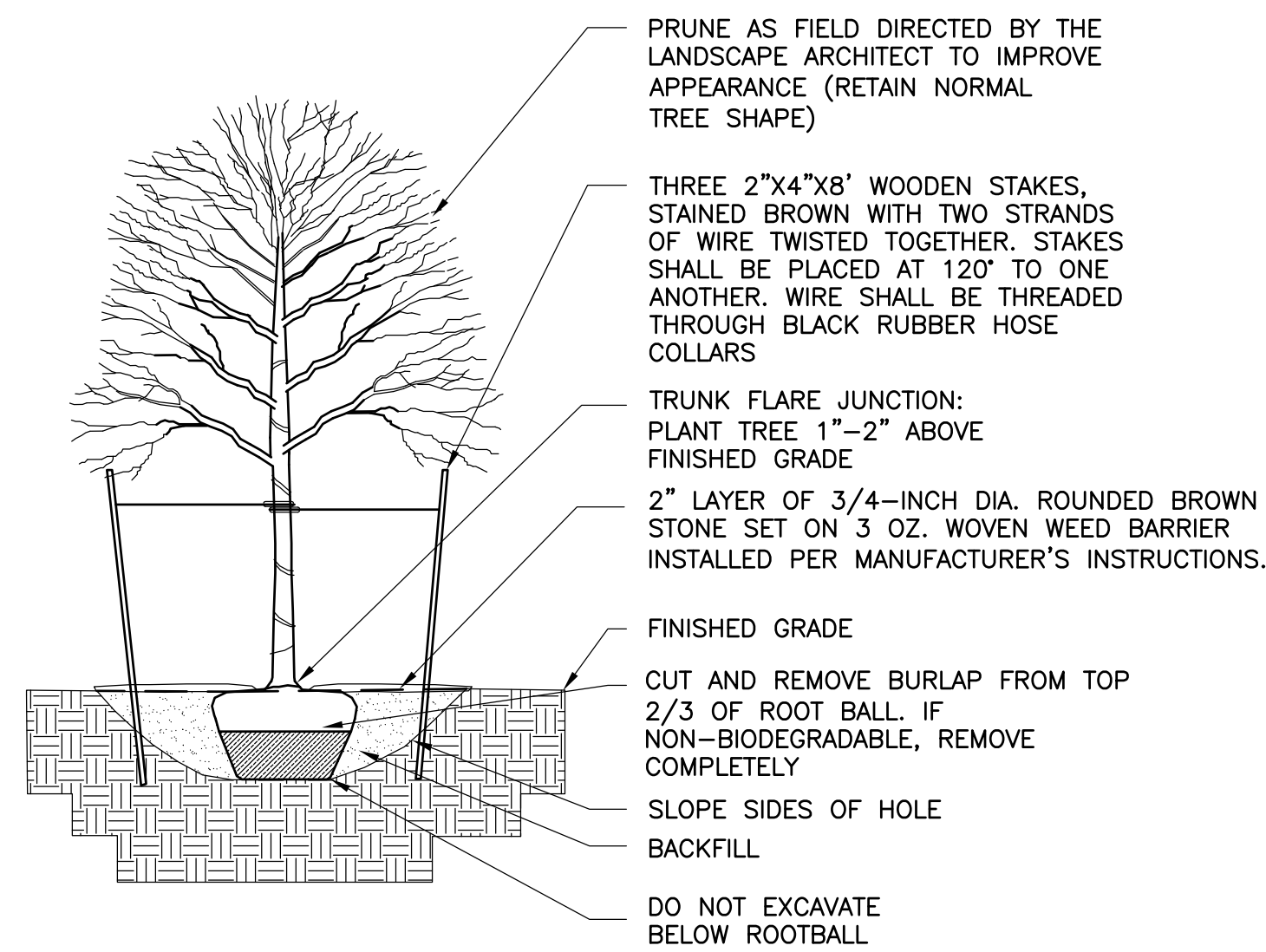
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 Date: OCT 2021

PLANTING PLAN
 PROPOSED GIDOS RESTAURANT
 367 MAIN STREET
 STURBRIDGE MA 01566

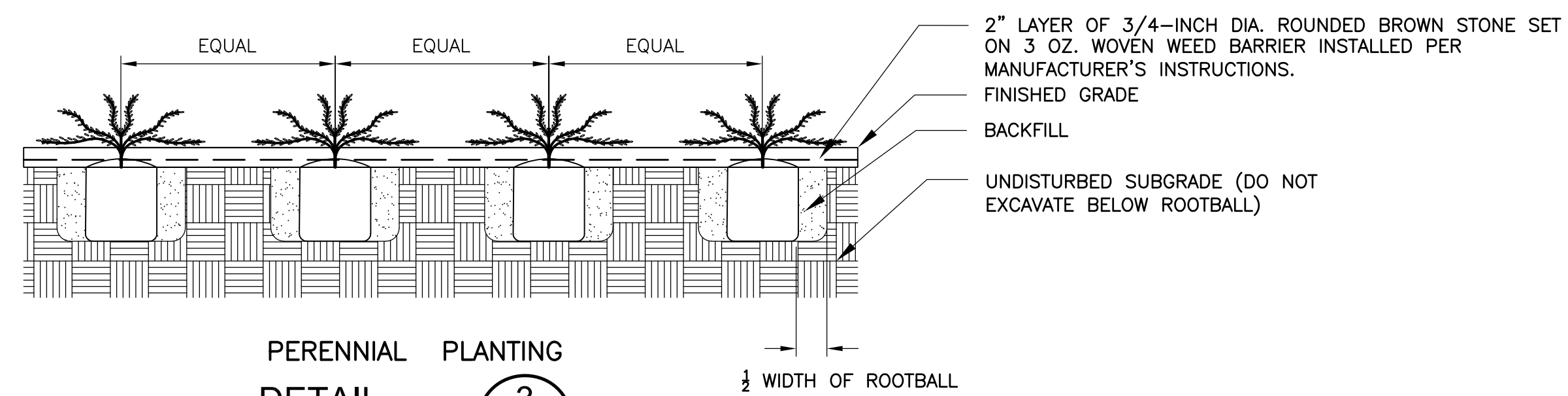
Proj. No.
 Dwg. No.
L-4



SHRUB PLANTING
DETAIL 1
 NOT TO SCALE L-2



TREE PLANTING
DETAIL 2
 NOT TO SCALE L-2



PERENNIAL PLANTING
DETAIL 3
 NOT TO SCALE L-3

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PLANTING DETAILS
 PROPOSED GIDOS RESTAURANT
 367 MAIN STREET
 STURBRIDGE, MA 01566

Proj. No.

Dwg. No.

L-5