

SPECIAL PERMIT AND SITE PLAN "BLUEBERRY HILL ESTATES" 55+ MANUFACTURED HOUSING COMMUNITY LOT 3 BERRY FARMS ROAD STURBRIDGE, MASSACHUSETTS

APPLICANT:
JUSTIN STELMOK
557 SOUTHWEST CUT-OFF
WORCESTER, MA 01607
DATE: 4/1/2022

TAX MAP REFERENCES:
MAP 3534, LOT 20 & MAP 3914, LOT 30

RECORD OWNER:
FISKE HILL EAST REALTY TRUST
97 ARNOLD ROAD
FISKDALE, MA 01518

DEED REFERENCE:
(WORCESTER COUNTY REGISTRY OF DEEDS)
LOCUS DEED:
DEED BOOK 61992 PAGE 321

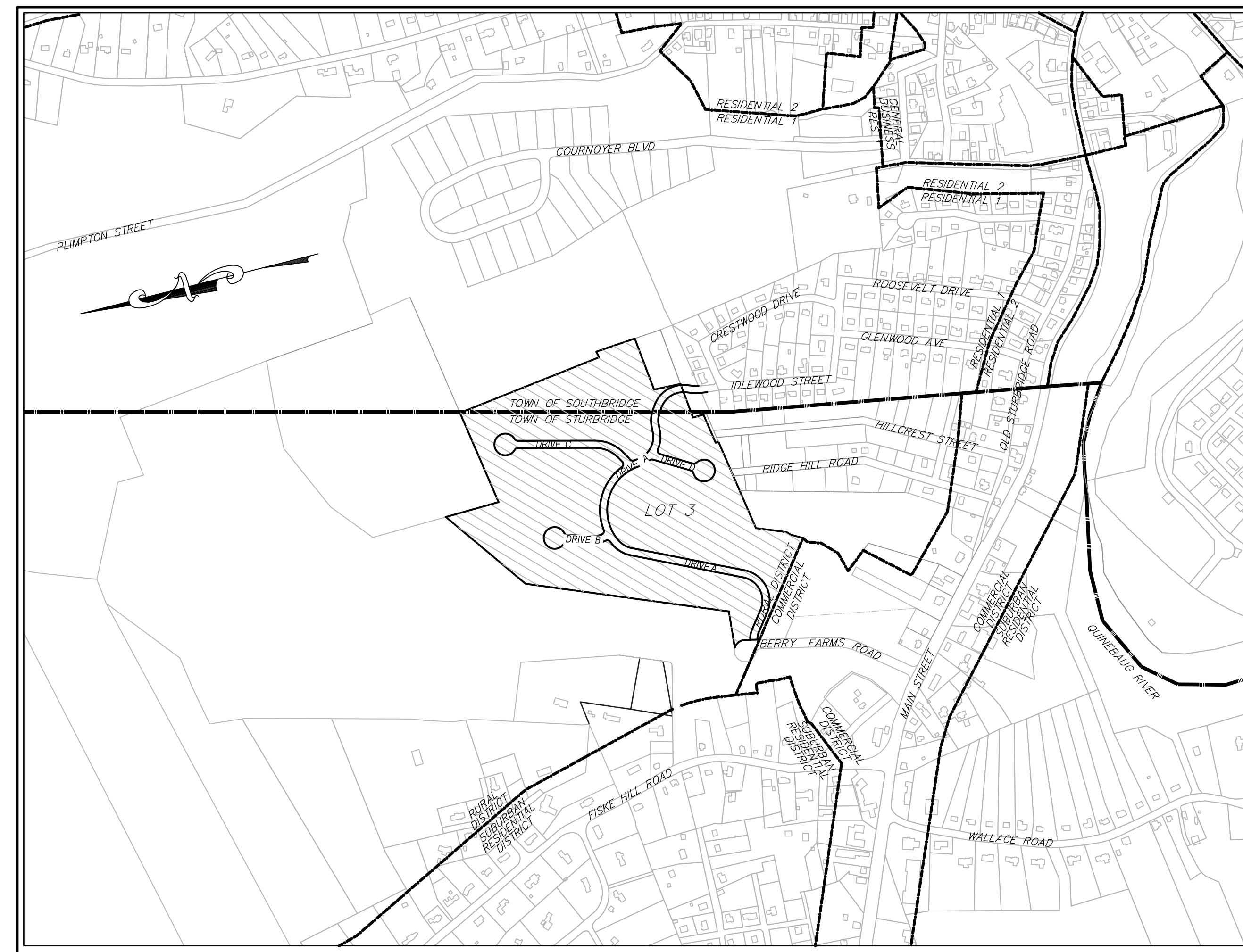
PLAN REFERENCES:
(WORCESTER COUNTY REGISTRY OF DEEDS)
LOCUS PLAN:
PLAN BOOK 853 PLAN NUMBER 51

STURBRIDGE			
DISTRICT DIMENSIONAL REGULATIONS			
DISTRICT	USE	REQUIRED	PROPOSED
RURAL RESIDENTIAL	MANUFACTURED HOUSING COMMUNITY		
MIN. LOT SIZE	1 ACRE	41.41 ACRES	41.41 ACRES
MIN. FRONTAGE	150'	157.36'	157.36'
MIN. FRONT YARD DEPTH	30'	N/A *	164.3'
MIN. SIDE YARD DEPTH	20'	N/A *	20.0'
MIN. REAR YARD DEPTH	20'	N/A *	34.3'
MAX. # BUILDING STORIES	2	N/A *	2 (CLUBHOUSE)
MAX. BUILDING HEIGHT	35'	N/A *	15'±
MAX. LOT COVERAGE	15%	0.0%	8.8%

* NO EXISTING BUILDINGS ON EXISTING LOT 3.

SOUTHBRIDGE	
DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	USE
RESIDENTIAL 1	SINGLE FAMILY DWELLING
MIN. LOT SIZE	22,500 S.F.
MIN. FRONTAGE	125'
MIN. FRONT YARD DEPTH	30'
MIN. SIDE YARD DEPTH	20'
MIN. REAR YARD DEPTH	35'
MAX. BUILDING HEIGHT	35' / 2.5 STORIES
MAX. LOT COVERAGE	30%

* NO PROPOSED DEVELOPMENT WITHIN THE TOWN OF SOUTHBRIDGE



SITE LOCUS
1" = 500'

STURBRIDGE PLANNING BOARD
SITE PLAN & SPECIAL PERMIT APPROVAL

DATE: _____

DRAWING INDEX

C-1	TITLE SHEET
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C-19	PHASING PLAN
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C-24 THRU C-30	SITE DETAILS
C-31	FIRE TRUCK TURN ANALYSIS

PROJECT SURVEYOR:

McCLURE
ENGINEERING, INC

119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: survey@mcclureengineers.com

PROJECT ENGINEER:

McCLURE
ENGINEERING, INC

119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: pengle@mcclureengineers.com

PROJECT WETLAND SCIENTIST:

LEC

ENVIRONMENTAL CONSULTANTS, INC.
100 Grove street, Suite 302, Worcester, MA 01605
Office: 508.753.3077
Mobile: 508.365.8321

NOTES:

- AREA OF LOT 3 = 1,803,971± SF OR 41.4135± AC. (PER RECORD PLAN)
- THE BEARING BASIS OF THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON RTK GPS OBSERVATIONS ON THE KEYSTONE REAL TIME NETWORK AND ARE SUBJECT TO LOCAL BENCHMARK ADJUSTMENT.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP 25027C0933E & 25027C0931E WITH AN EFFECTIVE DATE OF 7/04/2011.

GENERAL SITE NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT OF LOT 3 BERRY FARMS ROAD IN STURBRIDGE, MA.
- BORDERING VEGETATED WETLANDS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS FEBRUARY 2020 AND DECEMBER 2020. VERNAL POOL BOUNDARIES DELINEATED APRIL AND MAY, 2021. ON-SITE WETLANDS AS SHOWN WERE PREVIOUSLY APPROVED VIA ORAD FILE NUMBER 300-1113. OFF-SITE WETLANDS PREVIOUSLY APPROVED VIA OOC FILE NUMBER 300-1086.

HOR. SCALE IN FEET: 1"=500'		MADE (APVD)	
0	500	1000	1500
REV	DATE	DESCRIPTION	PE
1	11.10.22	TOWN, DEP., PEER ENG. COMMENTS	PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



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SPECIAL PERMIT AND SITE PLAN
"BLUEBERRY HILL ESTATES"
LOT 3 BERRY FARMS ROAD
STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
557 SOUTHWEST CUT-OFF
WORCESTER, MA 01607

DRAWN BY: WCN
DATE: 4/1/22
CHK BY: PE
SCALE: 1"=500'
PROJ. NO. 287-2118-K

TITLE SHEET

SHEET **C1** OF **31**

NOTES:

- EXISTING CONDITIONS SHOWN ARE BASED ON A FIELD SURVEY BY MCCLURE ENGINEERING INC., IN MAY 2021 AND AN EARLIER FIELD SURVEY BY LEVESQUE GEOMATICS, INC. IN APRIL, 2020.
- BORDERING VEGETATED WETLANDS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS FEBRUARY 2020 AND DECEMBER 2020. VERNAL POOL BOUNDARIES DELINEATED APRIL AND MAY, 2021 ON-SITE, NOTICE OF INTENT #300-1113. RESOURCE AREAS HAVE BEEN APPROVED BY AN ORAD ISSUED BY THE STURBRIDGE CONSERVATION COMMISSION ON 1/13/22. OFF-SITE RESOURCE AREAS SHOWN HAVE BEEN REVISED UNDER NOTICE OF INTENT #300-1086.
- THE BEARING BASIS OF THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
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- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON RTK GPS OBSERVATIONS ON THE KEYSTONE REAL TIME NETWORK AND ARE SUBJECT TO LOCAL BENCHMARK ADJUSTMENT.

TEST PIT DATA

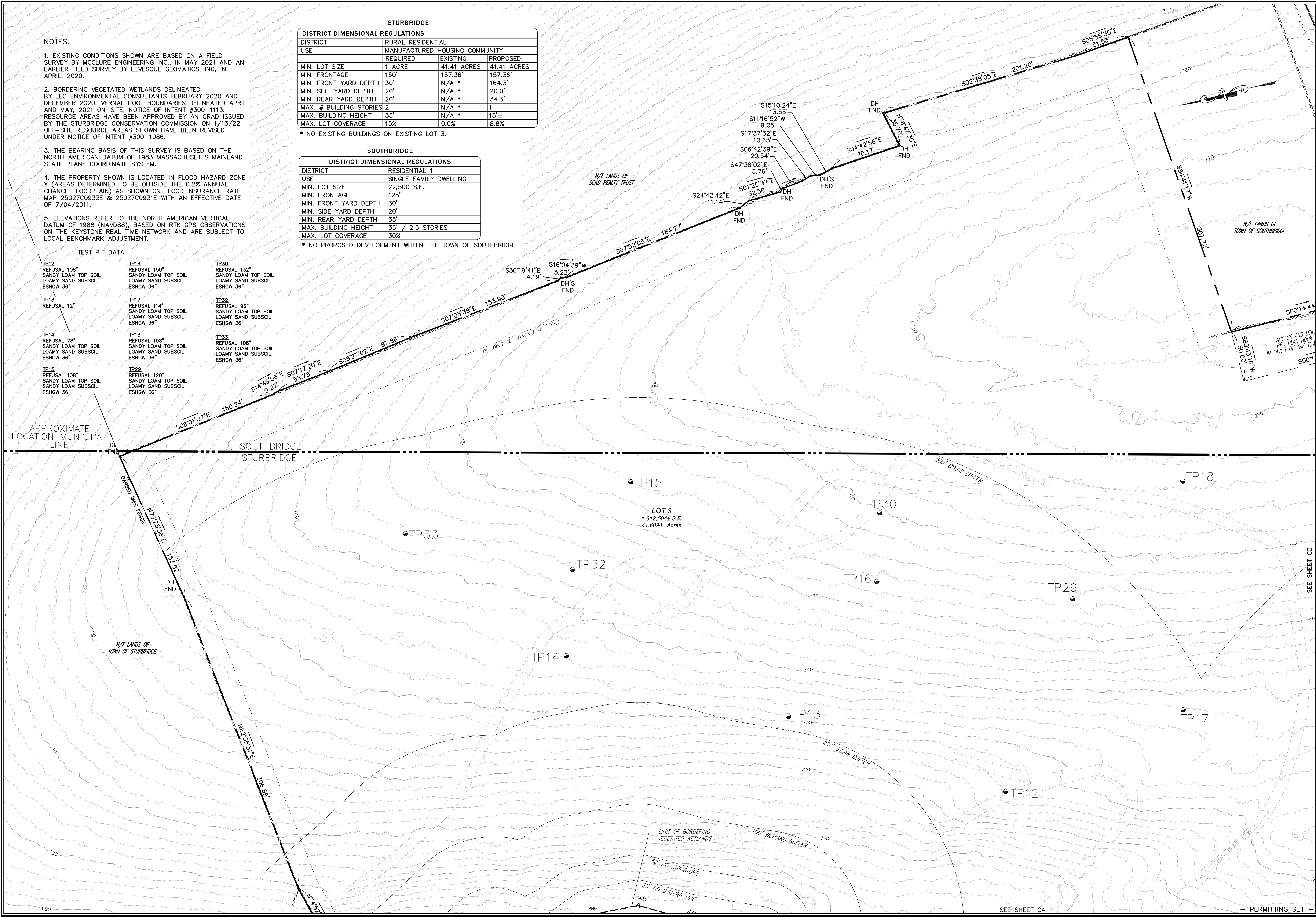
- | | | |
|--|---|--|
| <p>TP12
REFUSAL 108"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP13
REFUSAL 12"</p> <p>TP14
REFUSAL 78"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP15
REFUSAL 108"
SANDY LOAM TOP SOIL
SANDY LOAM SUBSOIL
ESHGW 36"</p> | <p>TP16
REFUSAL 150"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP17
REFUSAL 114"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP18
REFUSAL 108"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP28
REFUSAL 120"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> | <p>TP30
REFUSAL 132"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP32
REFUSAL 96"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> <p>TP33
REFUSAL 108"
SANDY LOAM TOP SOIL
LOAMY SAND SUBSOIL
ESHGW 36"</p> |
|--|---|--|

STURBRIDGE			
DISTRICT DIMENSIONAL REGULATIONS			
DISTRICT	RURAL RESIDENTIAL		
USE	MANUFACTURED	EXISTING HOUSING	PROPOSED COMMUNITY
MIN. LOT SIZE	1 ACRE	41.41 ACRES	41.41 ACRES
MIN. FRONTAGE	150'	157.36'	157.36'
MIN. FRONT YARD DEPTH	30'	N/A *	164.3'
MIN. SIDE YARD DEPTH	20'	N/A *	20.0'
MIN. REAR YARD DEPTH	20'	N/A *	34.3'
MAX. # BUILDING STORIES	2	N/A *	1
MAX. BUILDING HEIGHT	35'	N/A *	15'±
MAX. LOT COVERAGE	15%	0.0%	8.8%

SOUTHBRIDGE	
DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	RESIDENTIAL 1
USE	SINGLE FAMILY DWELLING
MIN. LOT SIZE	22,500 S.F.
MIN. FRONTAGE	125'
MIN. FRONT YARD DEPTH	30'
MIN. SIDE YARD DEPTH	20'
MIN. REAR YARD DEPTH	35'
MAX. BUILDING HEIGHT	35' / 2.5 STORIES
MAX. LOT COVERAGE	30%

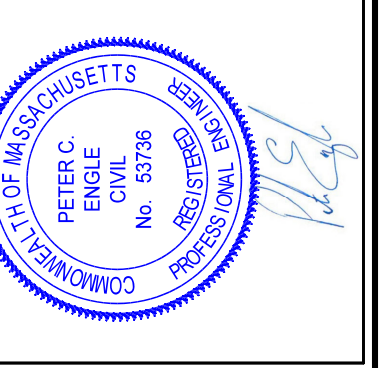
* NO EXISTING BUILDINGS ON EXISTING LOT 3.

* NO PROPOSED DEVELOPMENT WITHIN THE TOWN OF SOUTHBRIDGE



HOR. SCALE IN FEET: 1"=40'	
REV	DATE
1	11.10.22
DESCRIPTION	TOWN, DEP. PEER ENG. COMMENTS
REVISIONS	MADE (APVD)
PE	PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



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Charlton, MA 01507
Tel: (508) 248-2005
Fax: (508) 248-4887
Email: pengle@mcclureengineers.com

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LOT 3 BERRY FARMS ROAD
STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
WORCESTER, MA 01607

DRAWN BY:	WCH
DATE:	4/12/22
CHK BY:	PE
SCALE:	1"=40'
PROJ. NO.	287-2118-K

EXISTING
CONDITIONS

SEE SHEET C4

PERMITTING SET

STURBRIDGE			
DISTRICT DIMENSIONAL REGULATIONS			
DISTRICT	RURAL RESIDENTIAL		
USE	MANUFACTURED HOUSING COMMUNITY		
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	1 ACRE	41.41 ACRES	41.41 ACRES
MIN. FRONTAGE	150'	157.36'	157.36'
MIN. FRONT YARD DEPTH	30'	N/A *	164.3'
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MIN. REAR YARD DEPTH	20'	N/A *	34.3'
MAX. # BUILDING STORIES	2	N/A *	1
MAX. BUILDING HEIGHT	35'	N/A *	15'±
MAX. LOT COVERAGE	15%	0.0%	8.8%

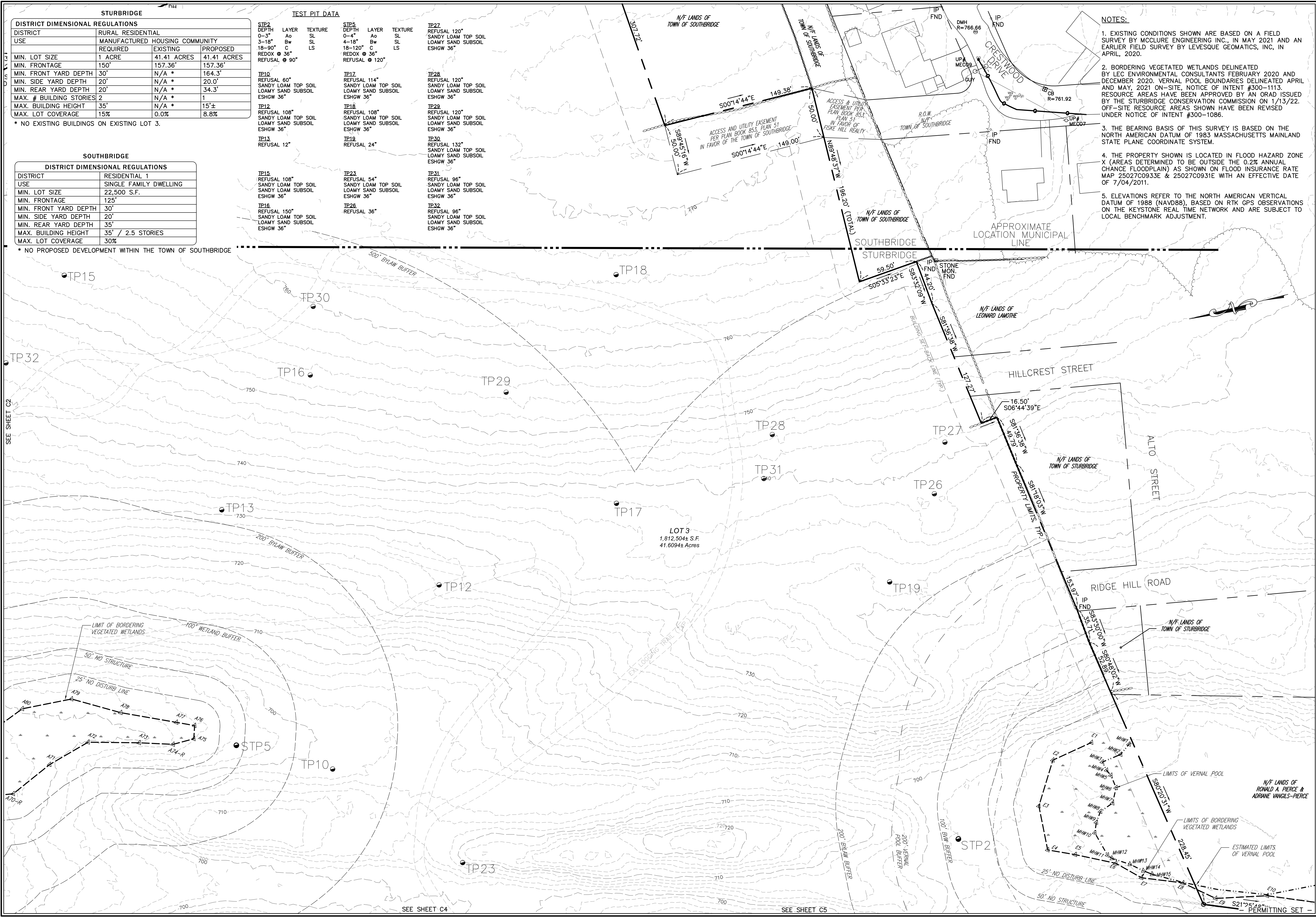
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SOUTHBRIDGE	
DISTRICT DIMENSIONAL REGULATIONS	
DISTRICT	RESIDENTIAL 1
USE	SINGLE FAMILY DWELLING
MIN. LOT SIZE	22,500 S.F.
MIN. FRONTAGE	125'
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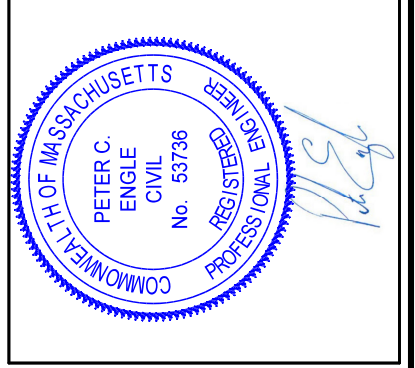
TEST PIT DATA							
TEST PIT	DEPTH	LAYER	TEXTURE	TEST PIT	DEPTH	LAYER	TEXTURE
TP2	0-3"	Ao	SL	TP27	REFUSAL 120"		
	3-18"	Bw	SL				SANDY LOAM TOP SOIL
	18-90"	C	LS				LOAMY SAND SUBSOIL
	REDOX @ 36"						ESHGW 36"
	REFUSAL @ 90"						
TP10	REFUSAL 60"			TP17	REFUSAL 114"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP12	REFUSAL 108"			TP18	REFUSAL 108"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP13	REFUSAL 12"			TP19	REFUSAL 24"		
TP15	REFUSAL 108"			TP23	REFUSAL 54"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP16	REFUSAL 150"			TP26	REFUSAL 36"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP22	REFUSAL 120"			TP28	REFUSAL 120"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP29	REFUSAL 120"			TP30	REFUSAL 132"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"
TP31	REFUSAL 96"			TP32	REFUSAL 96"		
	SANDY LOAM TOP SOIL						SANDY LOAM TOP SOIL
	LOAMY SAND SUBSOIL						LOAMY SAND SUBSOIL
	ESHGW 36"						ESHGW 36"

- NOTES:**
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REV	DATE	DESCRIPTION	MADE (APVD)
1	11.10.22	TOWN DEP. PEER ENG. COMMENTS	PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736

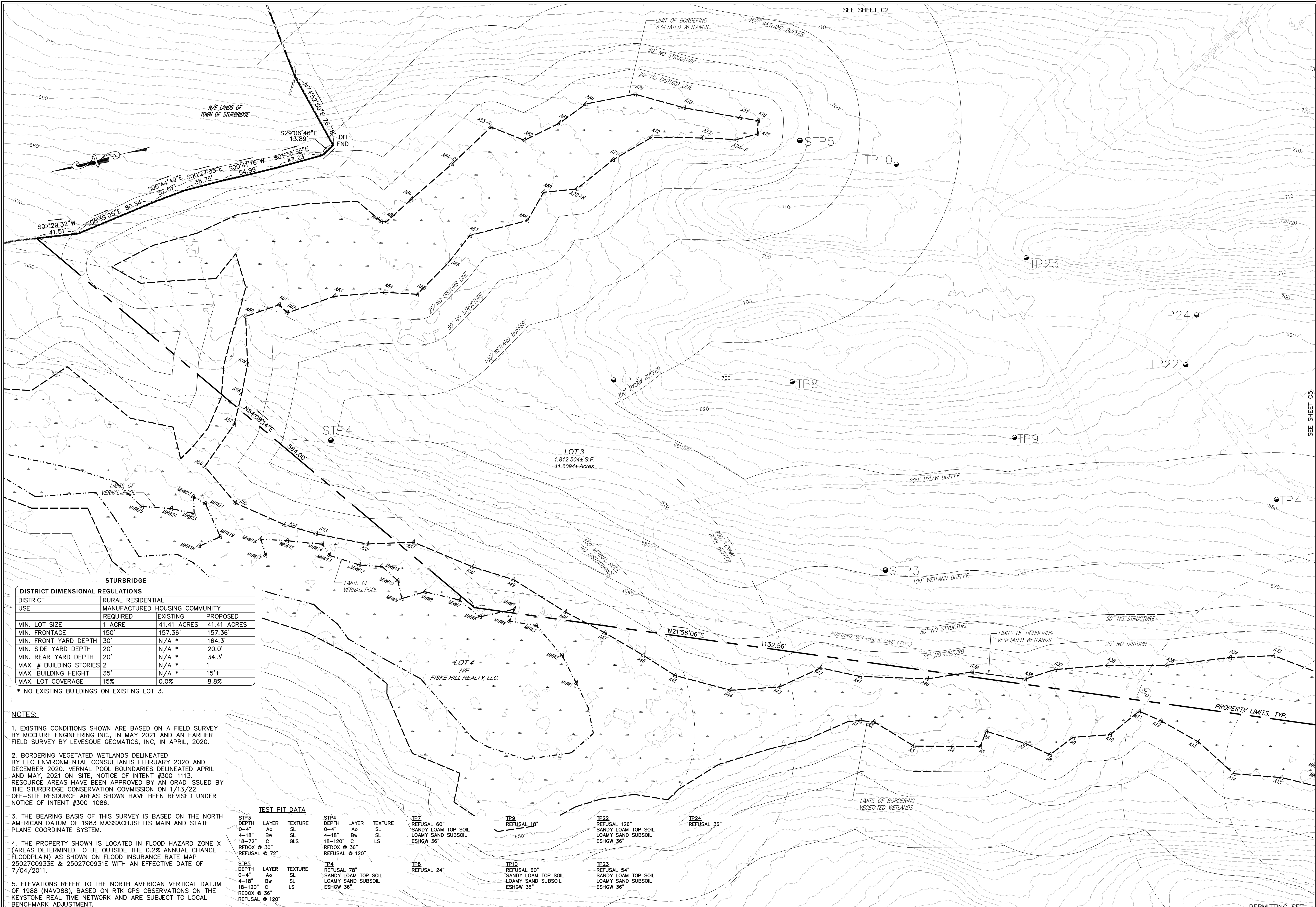


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STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
557 SOUTHWEST CUTOFF
WORCESTER, MA 01607

DRAWN BY:	WCN
DATE:	4/1/22
CHEK BY:	PE
SCALE:	1"=40'
PROJ. NO.:	287-2118-K

EXISTING CONDITIONS
SHEET **C3** OF **31**

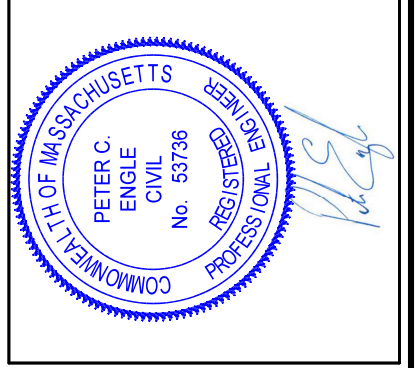


SEE SHEET C2

HOR. SCALE IN FEET: 1"=40'

REV	DATE	TOWN, DEP. PEER ENG. COMMENTS	MADE (APVD)
1	11.10.22		PE

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PREPARED FOR
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WORCESTER, MA 01607

DRAWN BY:	WCN
DATE:	4/12/22
CHK BY:	PE
SCALE:	1"=40'
PROJ. NO.:	287-2118-K

EXISTING CONDITIONS

SHEET **C4** OF **31**

DISTRICT DIMENSIONAL REGULATIONS

DISTRICT	RURAL RESIDENTIAL			
USE	MANUFACTURED HOUSING COMMUNITY	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	1 ACRE	41.41 ACRES	41.41 ACRES	41.41 ACRES
MIN. FRONTAGE	150'	157.36'	157.36'	164.3'
MIN. FRONT YARD DEPTH	30'	N/A *	N/A *	164.3'
MIN. SIDE YARD DEPTH	20'	N/A *	N/A *	20.0'
MIN. REAR YARD DEPTH	20'	N/A *	N/A *	34.3'
MAX. # BUILDING STORIES	2	N/A *	N/A *	1
MAX. BUILDING HEIGHT	35'	N/A *	N/A *	15'±
MAX. LOT COVERAGE	15%	0.0%	0.0%	8.8%

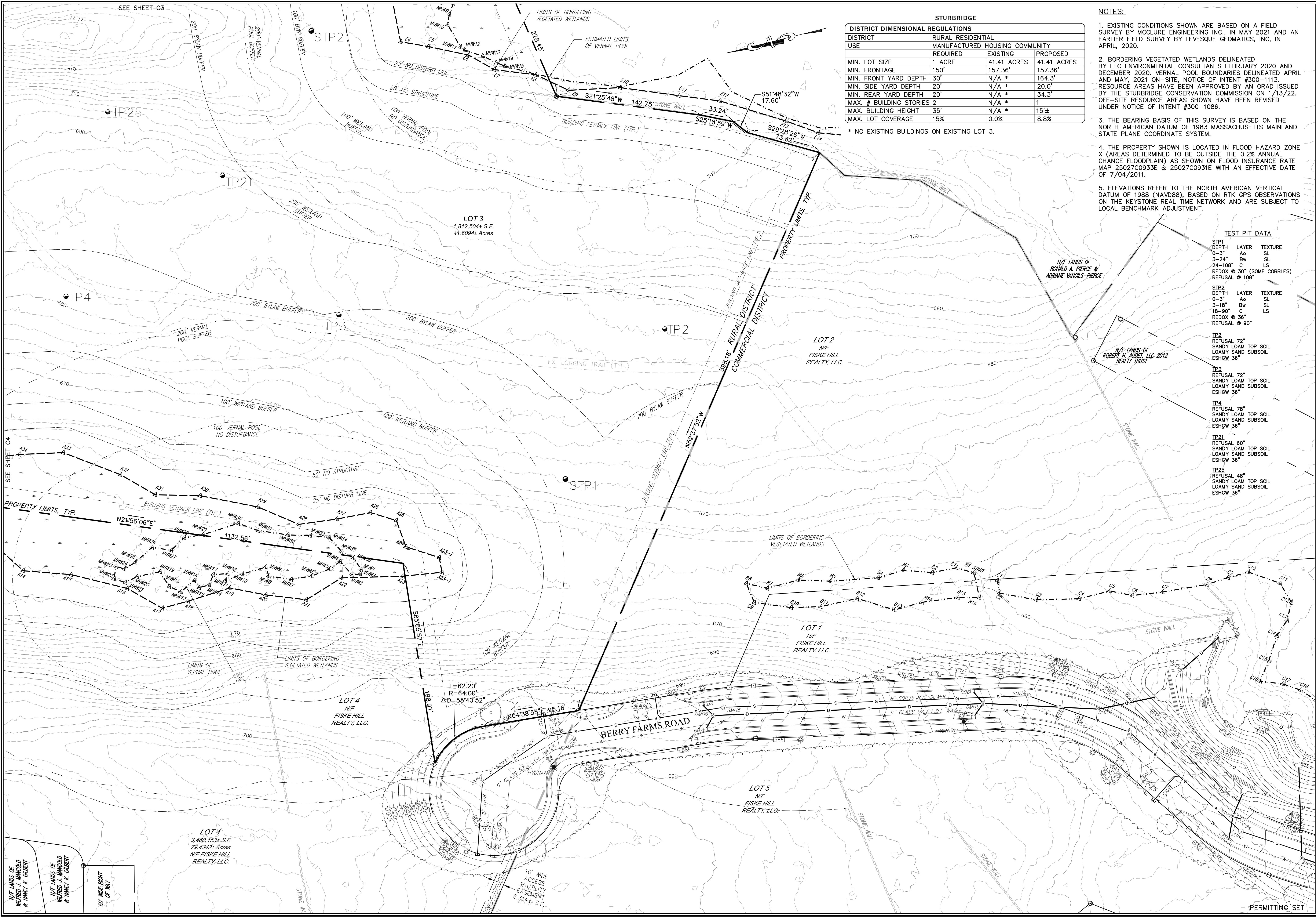
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TEST PIT DATA

TEST PIT	DEPTH	LAYER	TEXTURE	TEST PIT	DEPTH	LAYER	TEXTURE
STP3	0-4"	Ao	SL	STP4	0-4"	Ao	SL
	4-18"	Bw	SL		4-18"	Bw	SL
	18-72"	C	GLS		18-120"	C	LS
	REDOX @ 30"				REDOX @ 36"		
	REFUSAL @ 72"				REFUSAL @ 120"		
IP7	REFUSAL 60"			IP8	REFUSAL 18"		
	SANDY LOAM TOP SOIL						
	LOAMY SAND SUBSOIL						
	ESHGW 36"						
IP22	REFUSAL 126"			IP23	REFUSAL 54"		
	SANDY LOAM TOP SOIL				SANDY LOAM TOP SOIL		
	LOAMY SAND SUBSOIL				LOAMY SAND SUBSOIL		
	ESHGW 36"				ESHGW 36"		
IP24	REFUSAL 36"			IP8	REFUSAL 24"		

PERMITTING SET



- NOTES:**
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SCALE IN FEET: 1"=40'

REV. DATE 1 11.10.22

MADE (APVD) PE

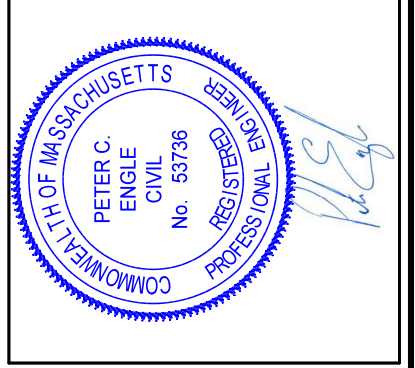
REVISIONS

DESCRIPTION

TOWN, DEP. PEER ENG. COMMENTS

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PROFESSIONAL ENGINEER

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"BLUEBERRY HILL ESTATES"
LOT 3 BERRY FARMS ROAD
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PREPARED FOR
JUSTIN STELMOK
WORCESTER, MA 01607

DRAWN BY: WCN
DATE: 4/1/22
CHK BY: PE
SCALE: 1"=40'
PROJ. NO. 287-2118-K

EXISTING CONDITIONS

SHEET C5 OF 31

- PERMITTING SET -

SHEETS C7,
C11 & C15

SHEETS C8,
C12 & C16

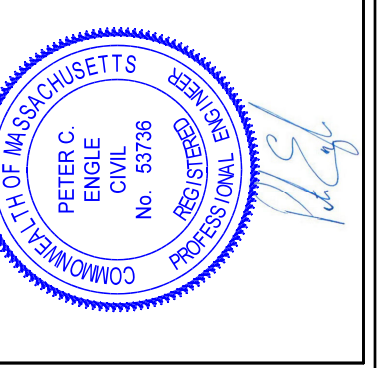
SHEETS C10,
C14 & C18

SHEETS C9,
C13 & C17

AREA CALCS:
TOTAL LOT: 41.6 ACRES±
TOTAL DISTURBED: 17.3 ACRES±
TOTAL UNDISTURBED: 24.3 ACRES±
TOTAL IMPERVIOUS: 7.5 ACRES±
TOTAL STRUCTURES/ LOT COVERAGE: 3.7 ACRES±
TOTAL PASSIVE OPEN SPACE: 22.5 ACRES±
TOTAL ACTIVE OPEN SPACE: 0.2 ACRES±

HOR. SCALE IN FEET: 1"=80'		240	
80		160	
0		80	
REV.	DATE	DESCRIPTION	MADE (APVD)
1	11.10.22	TOWN, DEP., PEER ENG. COMMENTS	PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



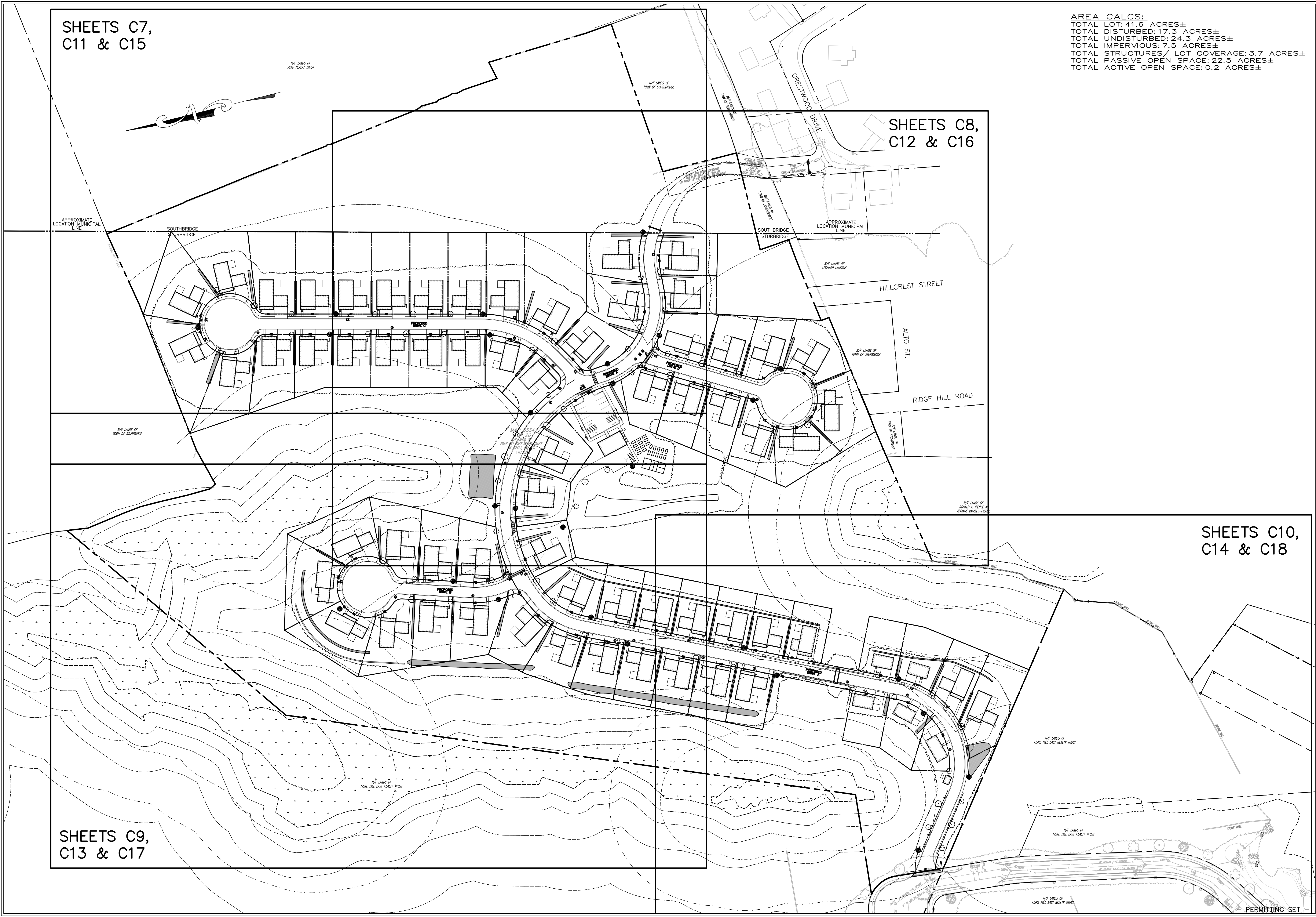
McCLURE
ENGINEERING, INC.
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax (508) 248-4887
Email: pengle@mcclureengineers.com

SPECIAL PERMIT AND SITE PLAN
"BLUEBERRY HILL ESTATES"
LOT 3 BERRY FARMS ROAD
STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
557 SOUTHWEST CUTOFF
WORCESTER, MA 01607

DRAWN BY: WCN
DATE: 4/1/22
CHK BY: OPM
SCALE: 1"=80'
PROJ. NO. 287-2118K

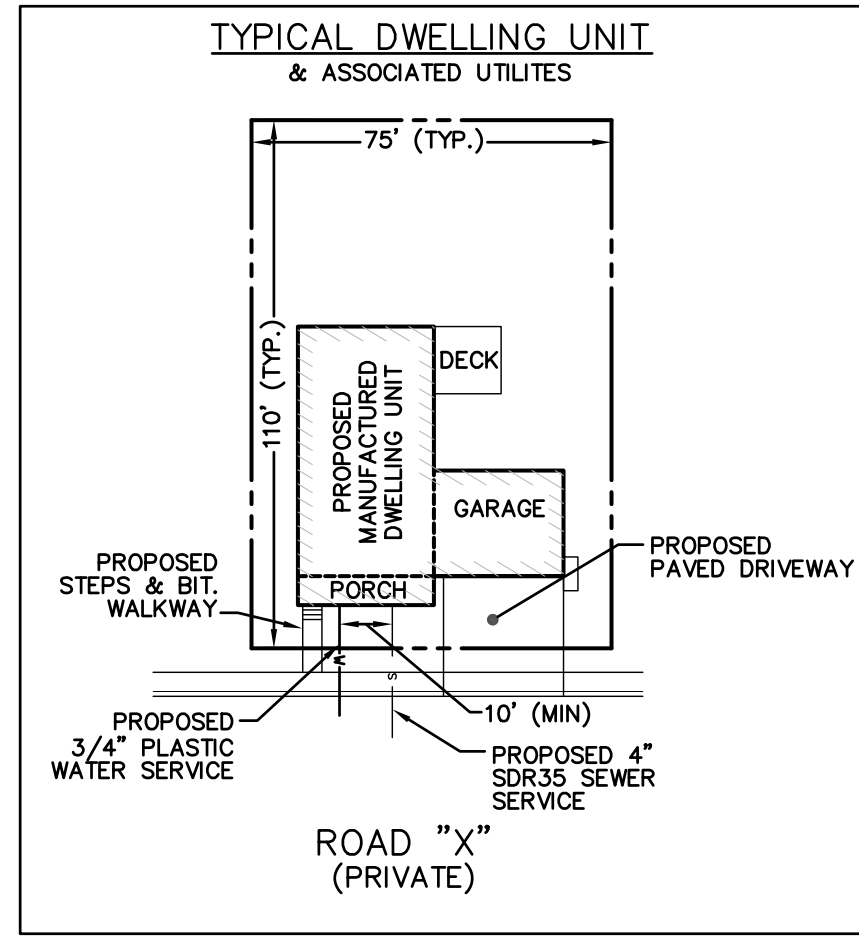
OVERALL LAYOUT /
KEY PLAN

SHEET C6 OF 31

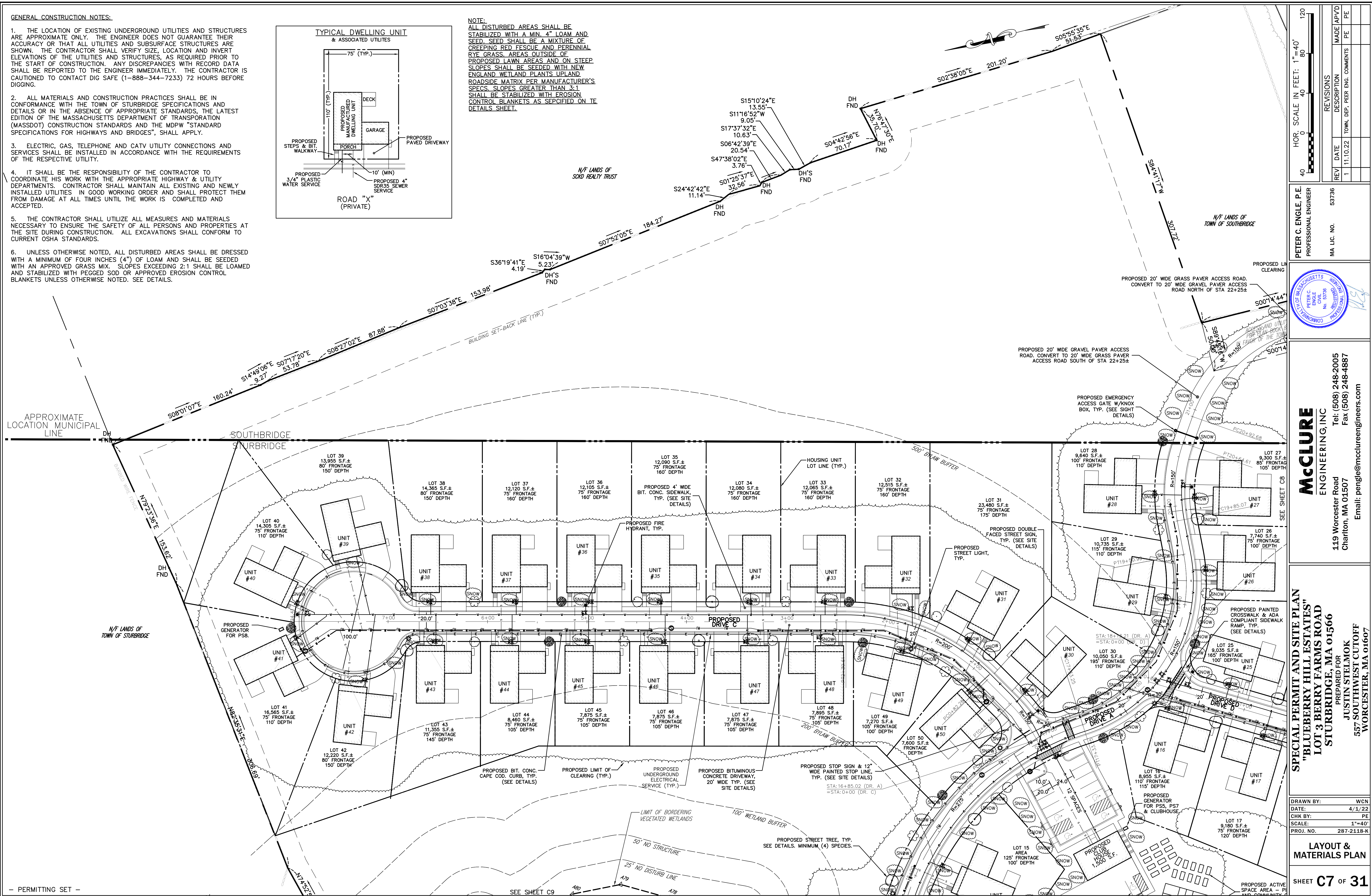


GENERAL CONSTRUCTION NOTES:

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- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE TOWN OF STURBRIDGE SPECIFICATIONS AND DETAILS OR IN THE ABSENCE OF APPROPRIATE STANDARDS, THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", SHALL APPLY.
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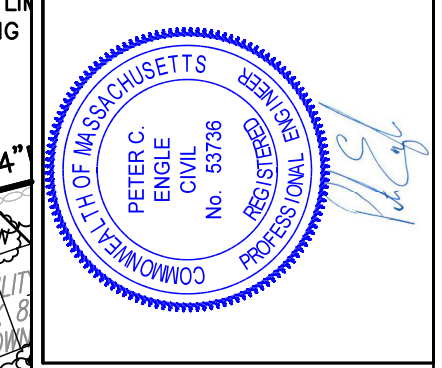
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Scale: 1" = 40'
HORIZONTAL SCALE
VERTICAL SCALE

REV	DATE	TOWN, DEP. PEER ENG. COMMENTS	MADE (APVD)
1	11/10/22		PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
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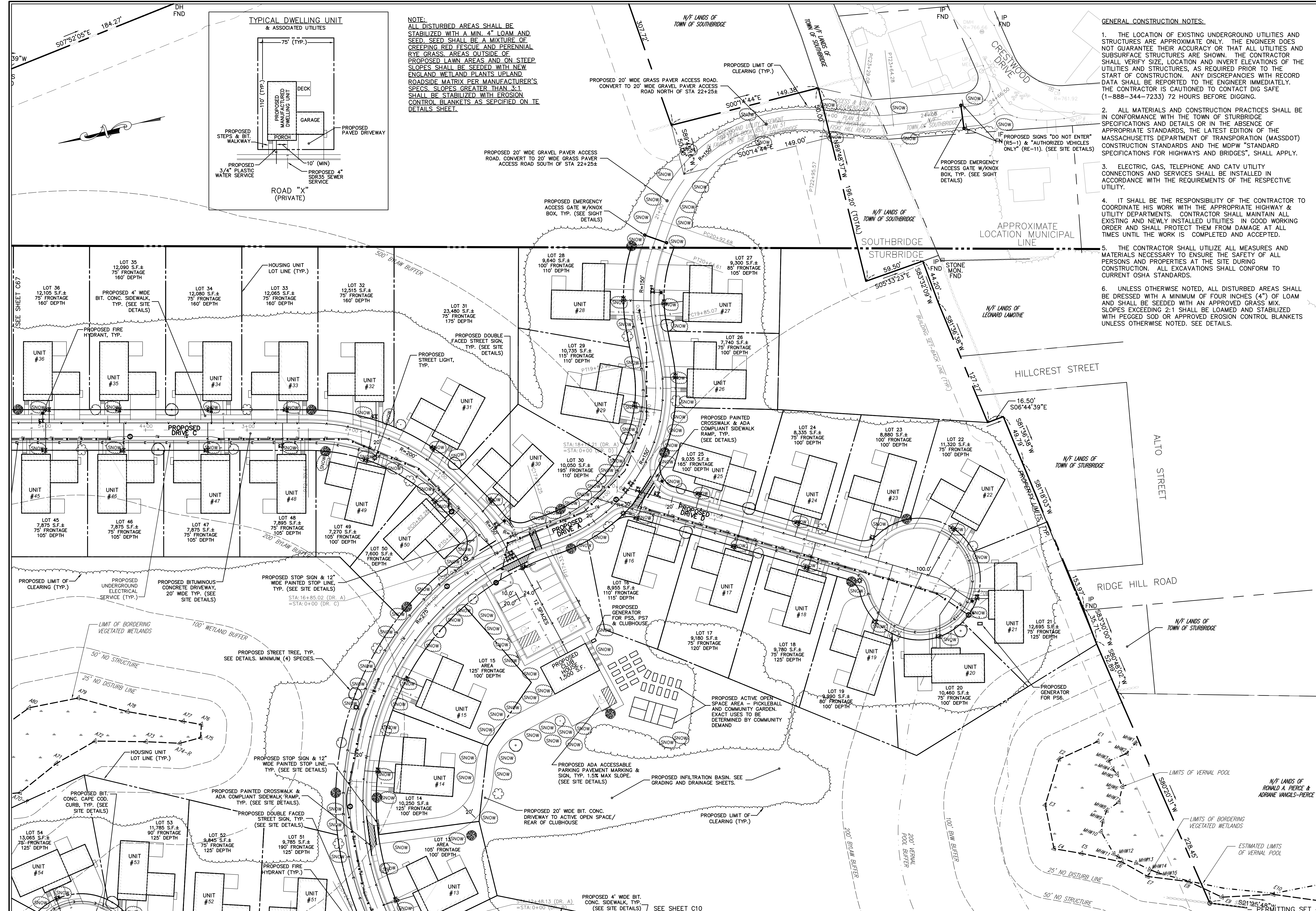


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"BLUEBERRY HILL ESTATES"
LOT 3 BERRY FARMS ROAD
STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
WORCESTER, MA 01607

DRAWN BY:	WCN
DATE:	4/1/22
CHK BY:	PE
SCALE:	1"=40'
PROJ. NO.:	287-2118-K

LAYOUT & MATERIALS PLAN
SHEET C7 OF 31



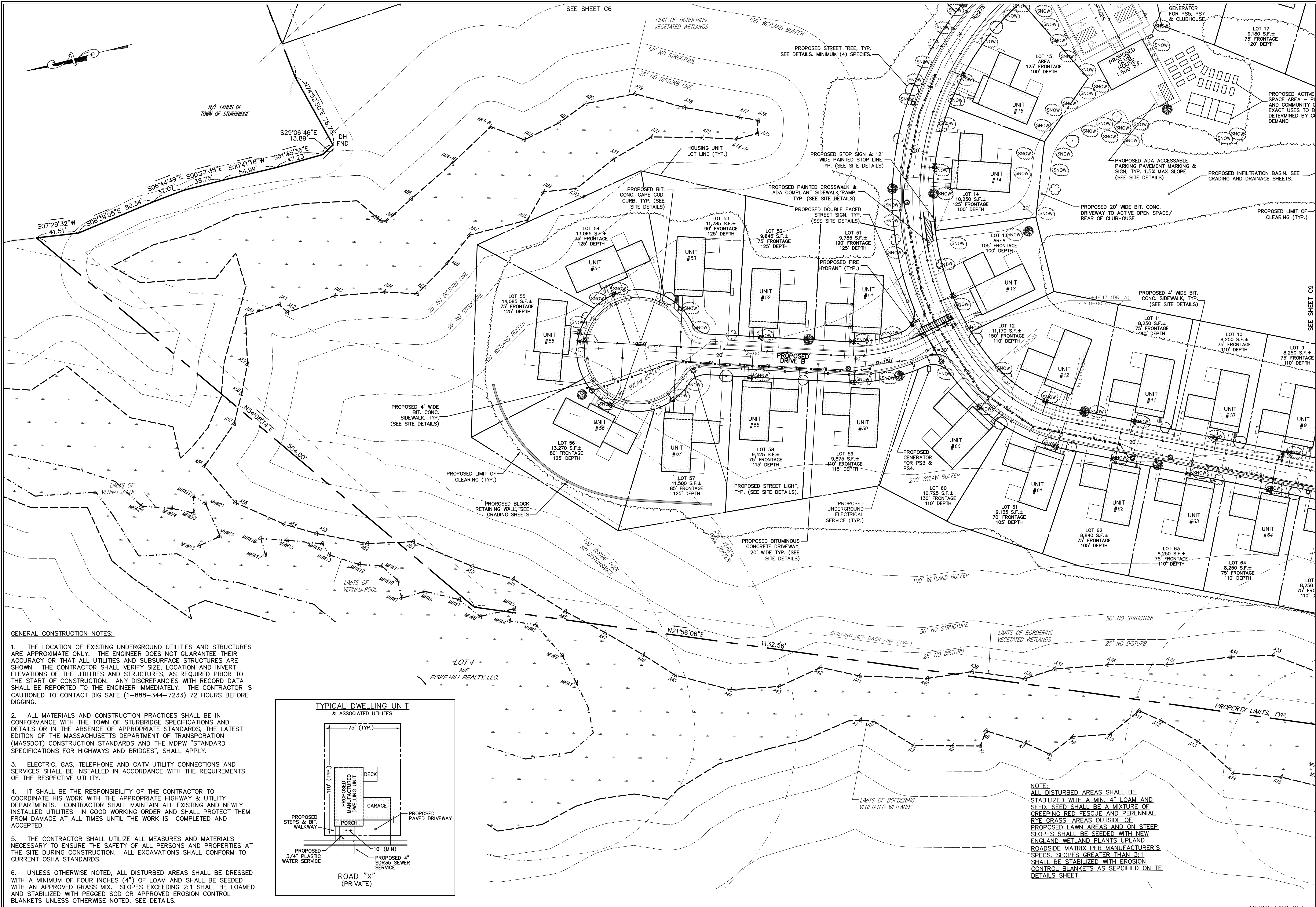
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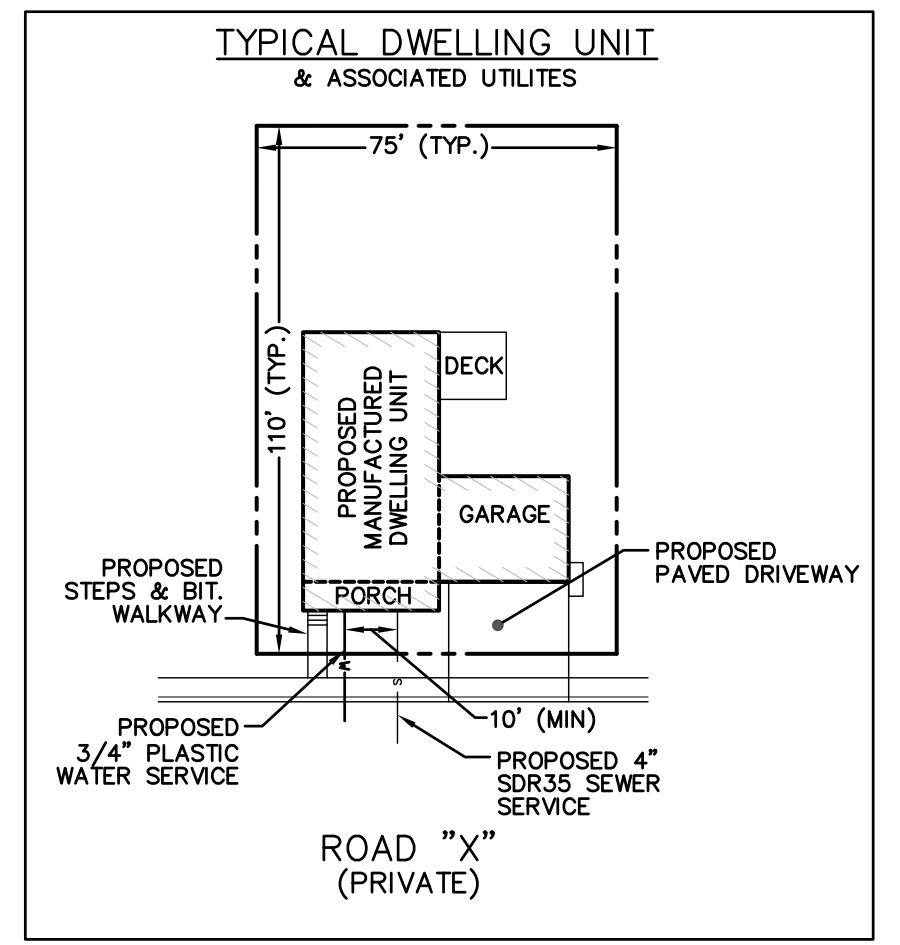
LAYOUT & MATERIALS PLAN
 SHEET **C8** OF **31**

DRAWN BY: WCN
DATE: 4/11/22
CHK BY: PE
SCALE: 1"=40'
PROJ. NO.: 287-2118-K



GENERAL CONSTRUCTION NOTES:

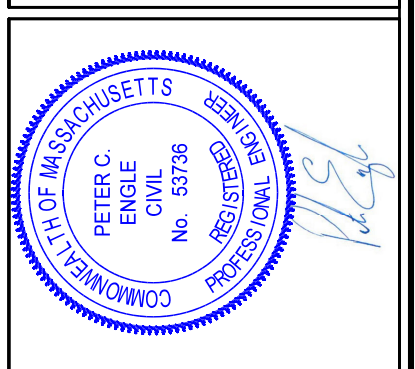
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1	11.10.22		DESCRIPTION	PE

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PREPARED FOR
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DRAWN BY: WCN
DATE: 4/1/22
CHK BY: PE
SCALE: 1"=40'
PROJ. NO. 287-2118-K

LAYOUT & MATERIALS PLAN

SHEET **C9** OF **31**

— PERMITTING SET —

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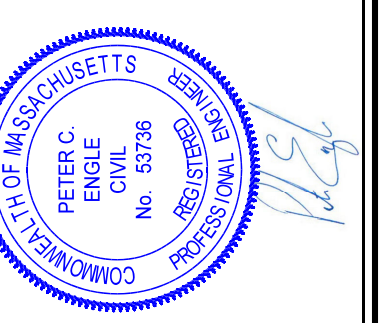
SEE SHEET C8

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PROJ. NO. 287-2118-K

LAYOUT & MATERIALS PLAN

SHEET **C10** OF **31**



N/F LANDS OF WILFRED J. MANCOLD & WENDY K. GILBERT
N/F LANDS OF WILFRED J. MANCOLD & WENDY K. GILBERT
50' WIDE FRONT OF WAY

LOT 4
3,480 S.F. ±
78.40x24 Acres
N/F FISKE HILL REALTY, LLC.

- PERMITTING SET -

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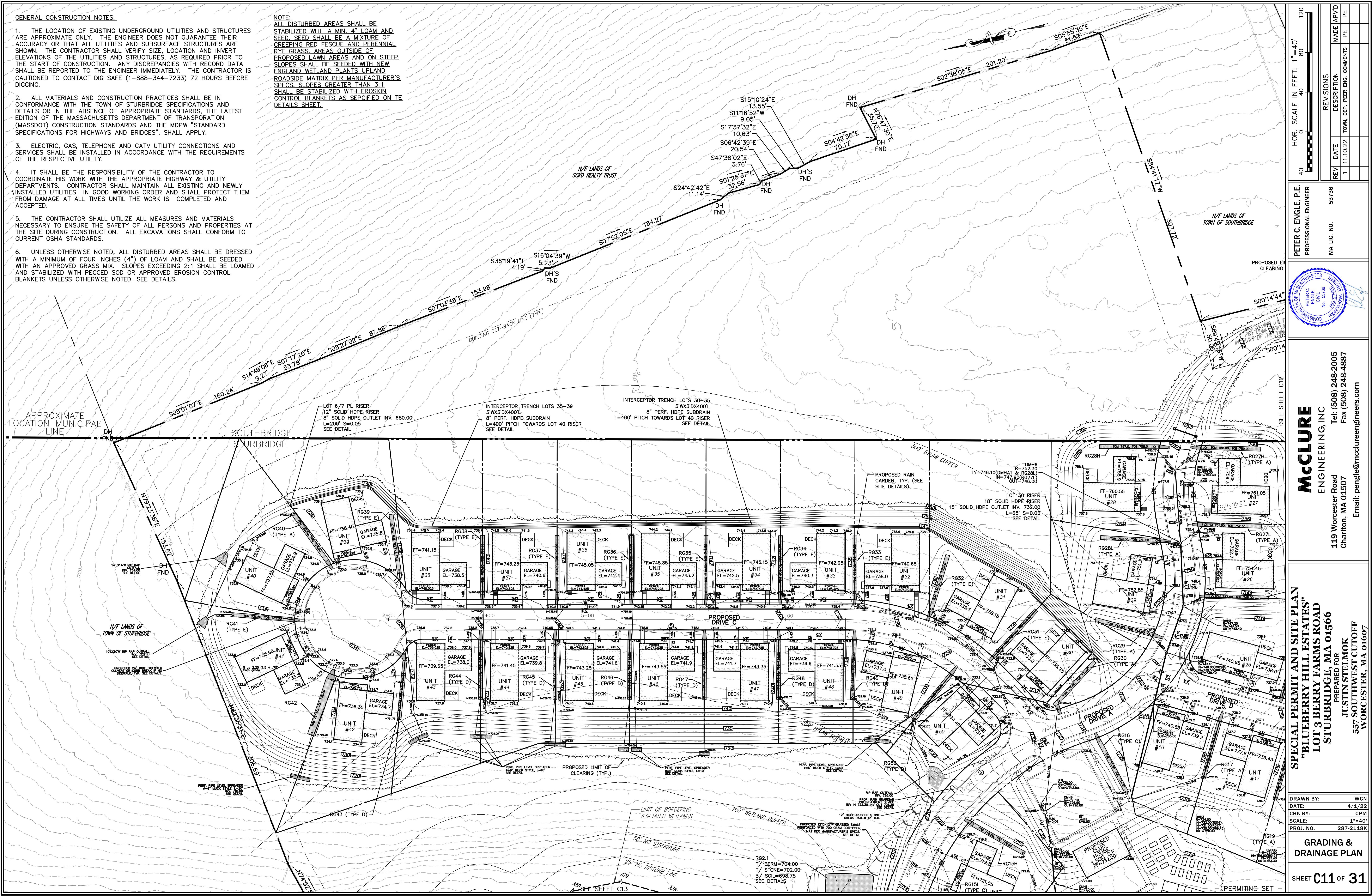
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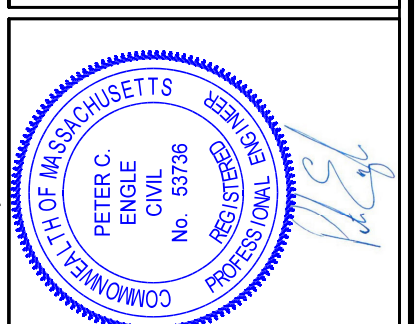
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HORIZ. SCALE IN FEET: 1"=40'		MADE (APVD)	
REV	DATE	TOWN, DEP. PEER ENG. COMMENTS	PE
1	11.10.22		PE
REVISIONS		DESCRIPTION	
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DRAWN BY: WCN
DATE: 4/1/22
CHK BY: JPM
SCALE: 1"=40'
PROJ. NO. 287-2118K
GRADING & DRAINAGE PLAN
SHEET **C11** OF **31**

NOTE:
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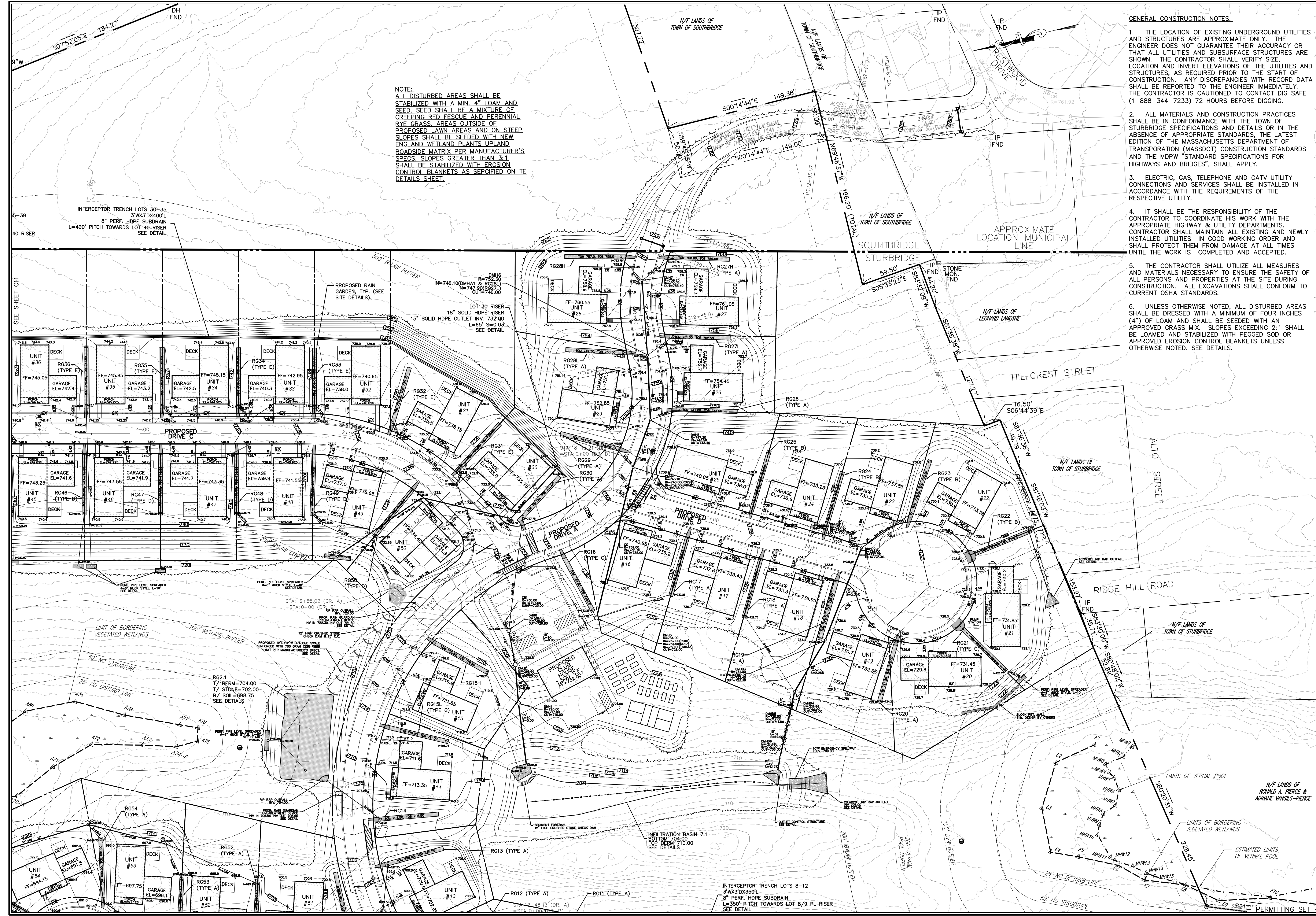


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DRAWN BY: WCN
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GRADING & DRAINAGE PLAN
 SHEET C12 OF 31



INTERCEPTOR TRENCH LOTS 30-35
 3"X30"X400'L
 8" PERF. HDPE SUBDRAIN
 L=400' PITCH TOWARDS LOT 40 RISER
 SEE DETAIL

PROPOSED RAIN GARDEN, TYP. (SEE SITE DETAILS).

LOT 30 RISER
 18" SOLID HDPE RISER
 15" SOLID HDPE OUTLET INV. 732.00
 L=65' S=0.03
 SEE DETAIL

SEE SHEET C11

UNIT #54
 FF=694.15
 GARAGE EL=691.5

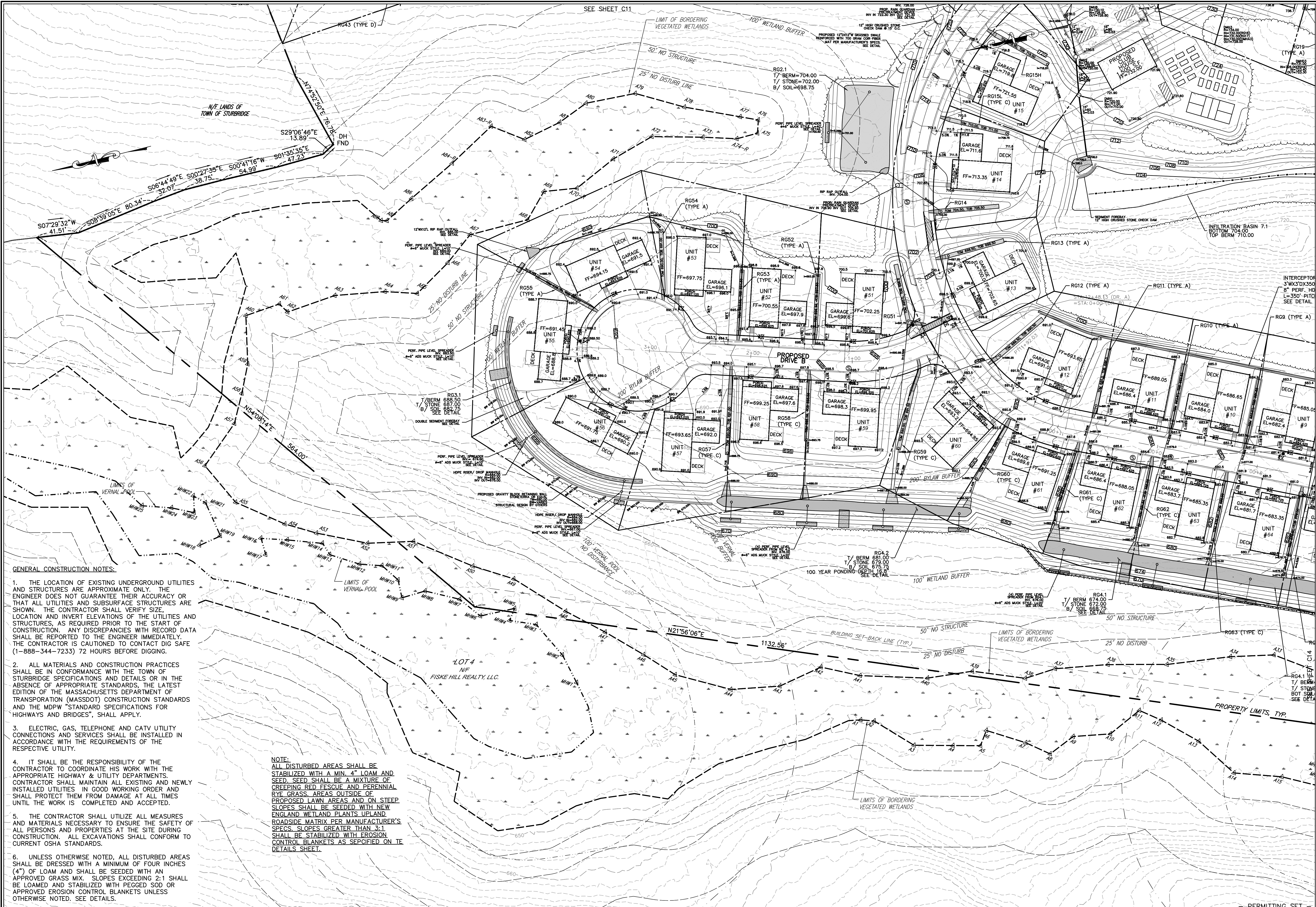
RG2.1
 T/ BERM=704.00
 T/ STONE=702.00
 B/ SOIL=698.75
 SEE DETAILS

UNIT #53
 FF=697.75
 GARAGE EL=696.1

UNIT #52
 FF=696.1
 GARAGE EL=693.5

INTERCEPTOR TRENCH LOTS 8-12
 3"X30"X350'L
 8" PERF. HDPE SUBDRAIN
 L=350' PITCH TOWARDS LOT 8/9 PL RISER
 SEE DETAIL

PERMITTING SET

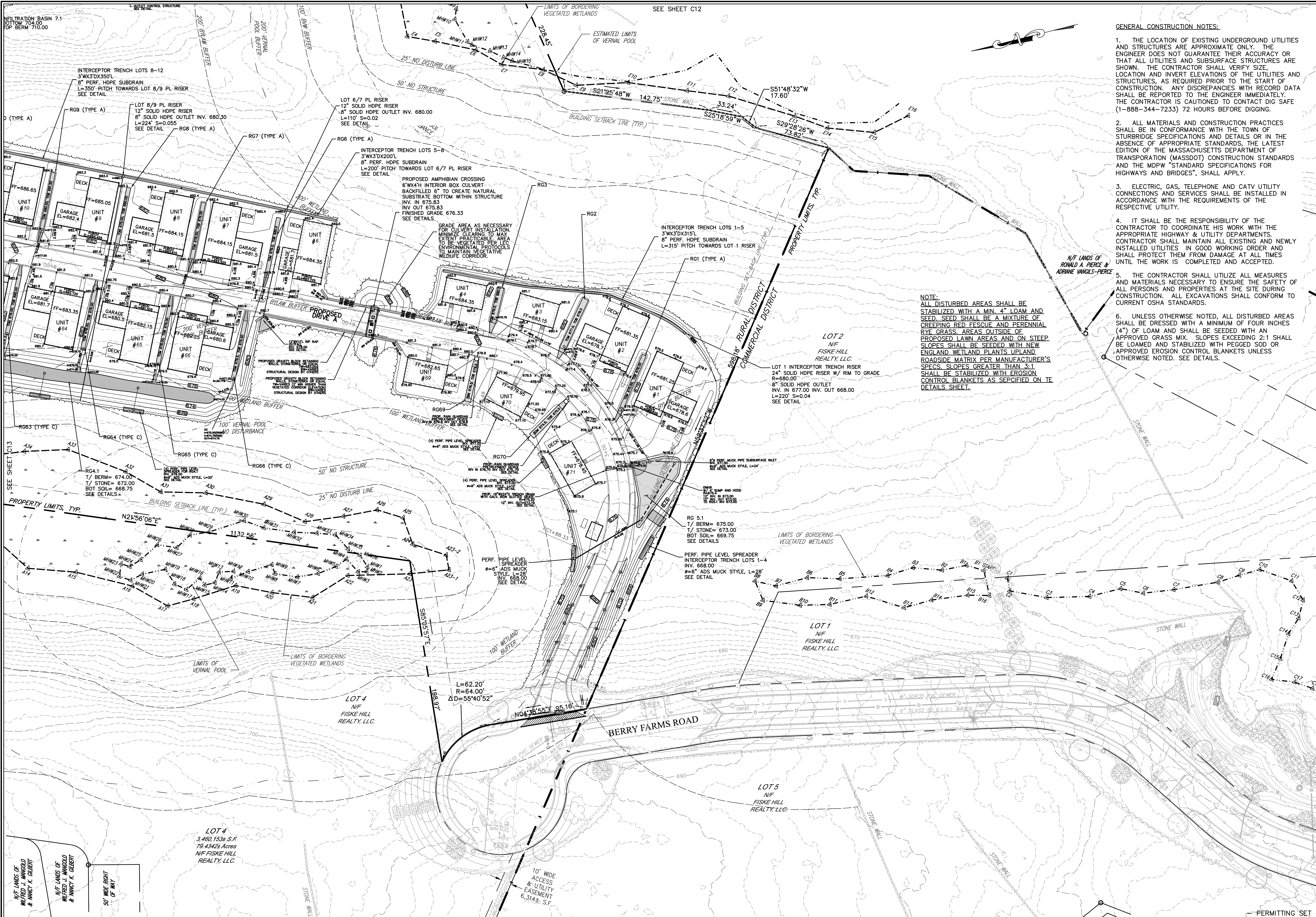


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4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
5. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
6. UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOIL OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED. SEE DETAILS.

NOTE:
 ALL DISTURBED AREAS SHALL BE STABILIZED WITH A MIN. 4" LOAM AND SEED. SEED SHALL BE A MIXTURE OF CREEPING RED FESCUE AND PERENNIAL RYE GRASS. AREAS OUTSIDE OF PROPOSED LAWN AREAS AND ON STEEP SLOPES SHALL BE SEEDED WITH NEW ENGLAND WETLAND PLANTS UPLAND ROADSIDE MATRIX PER MANUFACTURER'S SPECS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH FROSION CONTROL BLANKETS AS SPECIFIED ON THE DETAILS SHEET.

<p>PETER C. ENGLE, P.E. PROFESSIONAL ENGINEER MA LIC. NO. 53736</p>		<p>REV. DATE TOWN, DEP. PEER ENG. COMMENTS</p> <p>1 11.10.22 PE</p>
<p>McCLURE ENGINEERING, INC 119 Worcester Road Charlton, MA 01507 Tel: (508) 248-2005 Fax: (508) 248-4887 Email: pengle@mcclureengineers.com</p>		<p>MADE (APVD) PE</p>
<p>SPECIAL PERMIT AND SITE PLAN "BLUEBERRY HILL ESTATES" LOT 3 BERRY FARMS ROAD STURBRIDGE, MA 01566 PREPARED FOR JUSTIN STELMOK WORCESTER, MA 01607</p>		
<p>DRAWN BY: WCN DATE: 4/1/22 CHK BY: GPH SCALE: 1"=40' PROJ. NO. 287-2118K</p>		<p>GRADING & DRAINAGE PLAN</p>
<p>SHEET C13 OF 31</p>		



RESPONSIBILITIES OF OWNER/PERMITEE

- THE OWNER/PERMITEE SHALL:
- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT THE OWNER HAS ACQUIRED.
 - INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

THE CONTRACTOR SHALL:

- INSTALL, MONITOR, AND MAINTAIN ALL OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- COMPLY WITH ALL PERMIT REQUIREMENTS.

PRE-CONSTRUCTION CONFERENCE

PRIOR TO CONSTRUCTION, FOLLOWING INSTALLATION OF EROSION CONTROL. THE PERMITEE, OWNER-OF-RECORD, CONTRACTOR, ENGINEER, AND TOWN REPRESENTATIVE (CONSERVATION COMMISSION) SHALL HOLD A "PRE-CONSTRUCTION" CONFERENCE AT THE SITE TO REVIEW THE INSTALLATION OF THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES.

GENERAL CONTROLS

- CLEANING OF STORMWATER STRUCTURES:** CLEAN ALL STORMWATER STRUCTURES INCLUDING, BUT NOT LIMITED TO, PIPES, SWALES, SUBSURFACE RETENTION BASINS, SEDIMENT TRAPS, AND RIPRAP APRONS OF SEDIMENT UPON COMPLETION OF THE PROJECT.
- PAVEMENT MAINTENANCE:** THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR TOWN, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.
- WASTE DISPOSAL:** THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTAINERS SHALL BE PROMPTLY EMPTIED WHEN FULL.

MAINTENANCE:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCES.
 - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO A PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

EROSION CONTROL BARRIERS: INSTALL EROSION CONTROL BARRIERS AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE EROSION CONTROL BARRIER INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE HEIGHT. REPAIR AND/OR REPLACE THE SILT FENCE/HAYBALES IMMEDIATELY IF DAMAGED OR DETERIORATED.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS: COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH STRAW WATTLES TO PREVENT TRANSPORTATION OF SEDIMENT. NO STOCKPILES SHALL BE KEPT WITHIN 100' WETLAND BUFFER ZONES.

DUST CONTROL: TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJACENT PROPERTY OWNERS. BROOM OFF PAVEMENT AREAS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE AS NEEDED AND/OR AS DIRECTED BY THE ENGINEER. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

DEWATERING: IF DEWATERING IS REQUIRED, WATER SHOULD BE DISCHARGED TO DEWATERING BAGS OR OTHER SEDIMENT REMOVAL DEVICES PRIOR TO DISCHARGE TO RESOURCE AREAS. WATER MAY ALSO BE USED FOR DUST CONTROL AND/OR VEGETATION WATERING.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

GENERAL CONDITIONS

- IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
- IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE TOWN MAY REQUIRE ADDITIONAL CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO; ADDITIONAL STRAW WATTLES, HAYBALES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
- NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, OR OTHER SUCH CONTAMINATED MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER, APPROVED BY THE OWNER AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIAL IN A WATERWAY.
- ALL TEMPORARY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OF OTHER PARTICULATE MATTER FROM REENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREA EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
- DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE TOWN AND STATE AGENCIES.
- ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF THE 200-FOOT BUFFER ZONE. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE 200-FOOT BUFFER ZONE.
- INSPECTIONS:** EROSION CONTROLS SHALL BE INSPECTED DAILY OR AFTER A 0.25" STORM EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH THE TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE CONSERVATION AGENT OR COMMISSIONER.
- FILL MATERIAL TESTING:** CONSERVATION COMMISSION MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES. THE RESULTS OF SUCH TESTING MAY BE REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY OF SAID MATERIAL TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.
- DEP SIGN:** A SIGN SHALL BE DISPLAYED AT THE SITE NOT LESS THAN TWO (2) SQUARE FEET (S.F.) OR MORE THAN THREE (3) S.F. IN SIZE, BEARING THE WORDS "MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION" OR "MA DEP", FOLLOWED BY THE DEP FILE NUMBER AS DEPICTED ON THE ISSUED ORDER OF CONDITIONS.

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENTATION CONTROL CHECKLIST

WORK DESCRIPTION

SEQUENCE OF CONSTRUCTION
THE FOLLOWING NARRATIVE DESCRIBES THE PLANNED CONSTRUCTION SEQUENCE WITH AN EMPHASIS ON THE TIMING AND SEQUENCE OF EROSION/SEDIMENTATION CONTROL MEASURES:

THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION/SEDIMENT CONTROL MEASURES IS OPTIMIZED.

- INSTALL STABILIZED CONSTRUCTION EXIT(S), SWPPP ENTRANCE SIGN, AND DEP SIGN.
- INSTALL EROSION CONTROL BARRIERS ON THE ENTIRE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE AND HAYBALES.)
- CONSERVATION INSPECTION WILL BE CONDUCTED AFTER INSTALLATION OF EROSION CONTROL BARRIERS ARE INSTALLED.
- PREPARE TEMPORARY PARKING AND STORAGE AREA UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: PARKING, LAY DOWN, PORTA POTTY, MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CLEAR AND GRUB AREA FOR SEDIMENT BASINS. CONSTRUCT AND STABILIZE SEDIMENT BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING THE SITE.
- INSTALL TEMPORARY DIVERSION DITCHES AND CHECK DAMS.
- BEGIN GRADING THE SITE AS NEEDED.
- START INSTALLATION OF DRAINAGE AND SITE WORK.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 15 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE COMPLETED.

FINAL PHASE

- PERMANENTLY STABILIZE ANY REMAINING EXPOSED AREAS.
- TEMPORARY DRAINAGE DITCHES TO BE REMOVED AND STABILIZED.
- SEDIMENT FROM BASINS TO BE REMOVED AND SEDIMENT DISPOSED OF OFFSITE. BASINS ARE TO BE CONVERTED TO FINAL STORMWATER BASINS AS SHOWN ON GRADING PLAN.
- ONCE ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION FROM SITE MONITOR.

NOTES:

- ONCE CONSTRUCTION IS COMPLETED, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE SUBMITTED TO THE CONSERVATION COMMISSION WITHIN SEVEN DAYS OF THE INSPECTION.
- EXTRA EROSION CONTROL MATERIALS (HAYBALES, SILT FENCE) EQUAL TO 100 LF SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS. THESE MATERIALS SHALL BE KEPT COVERED.

NOTE: APPLICANT AND/OR LANDOWNER SHALL NOTIFY THE TOWN OF STURBRIDGE IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK.

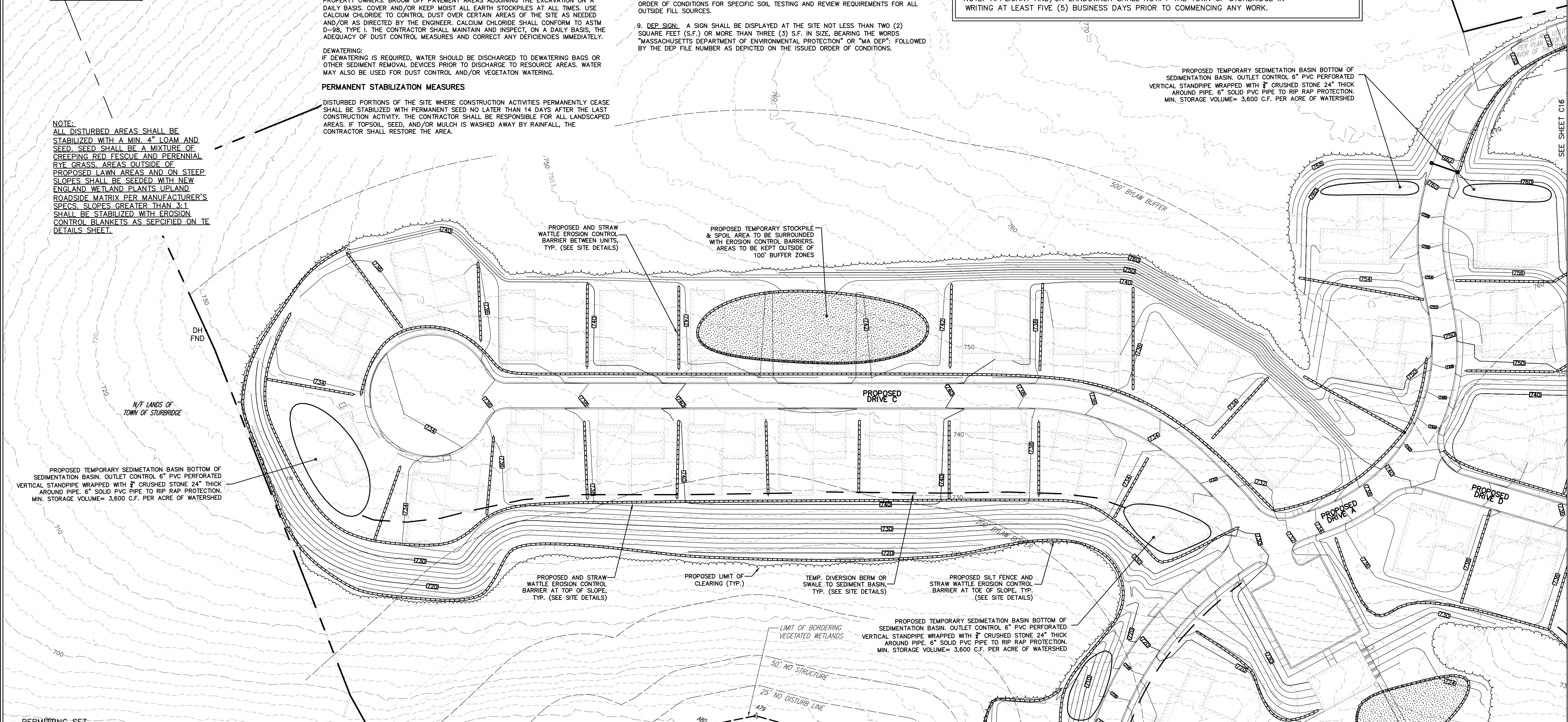
ACREAGE SUMMARY IN ACRES

SEEDED AREA	10.0 AC±
TOTAL DISTURBED	17.3 AC±

LEGEND

- SILT FENCE AND STRAW WATTLES
- TEMPORARY SWALE / BERM

NOTE: ALL DISTURBED AREAS SHALL BE STABILIZED WITH A MIN. 4" LOAM AND SEED. SEED SHALL BE A MIXTURE OF CREEPING RED FESCUE AND PERENNIAL RYE GRASS. AREAS OUTSIDE OF PROPOSED LAWN AREAS AND ON STEEP SLOPES SHALL BE SEEDED WITH NEW ENGLAND WETLAND PLANTS UPLAND ROADSIDE MATRIX PER MANUFACTURER'S SPECS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS AS SPECIFIED ON THE DETAILS SHEET.



Scale: 1" = 40'

Scale: 1" = 80'

Scale: 1" = 160'

REV	DATE	TOWN, DEP., PEER ENG. COMMENTS	DESCRIPTION	MADE (APVD)
1	11.10.22			PE

PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736



McCLURE ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax: (508) 248-4887
Email: peng@mcclureengineers.com

SPECIAL PERMIT AND SITE PLAN
"BLUEBERRY HILL ESTATES"
LOT 3 BERRY FARMS ROAD
STURBRIDGE, MA 01566
PREPARED FOR
JUSTIN STELMOK
557 SOUTHWEST CUTOFF
WORCESTER, MA 01607

DRAWN BY: WCN
DATE: 4/1/22
CHK BY: CPB
SCALE: 1"=40'
PROJ. NO. 287-2118K

EROSION & SEDIMENT CONTROL PLAN

LEGEND
 - - - - - SILT FENCE AND STRAW WATTLES
 - - - - - TEMPORARY SWALE / BERM

NOTE:
 ALL DISTURBED AREAS SHALL BE STABILIZED WITH A MIN. 4" LOAM AND SEED. SEED SHALL BE A MIXTURE OF CREEPING RED FESCUE AND PERENNIAL RYE GRASS. AREAS OUTSIDE OF PROPOSED LAWN AREAS AND ON STEEP SLOPES SHALL BE SEEDED WITH NEW ENGLAND WETLAND PLANTS. UPLAND ROADSIDE MATRIX PER MANUFACTURER'S SPECS. SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS AS SPECIFIED ON THE DETAILS SHEET.

PROPOSED TEMPORARY SEDIMENTATION BASIN BOTTOM OF SEDIMENTATION BASIN. OUTLET CONTROL 6" PVC PERFORATED VERTICAL STANDPIPE WRAPPED WITH 3" CRUSHED STONE 24" THICK AROUND PIPE. 6" SOLID PVC PIPE TO RIP RAP PROTECTION. MIN. STORAGE VOLUME= 3,600 C.F. PER ACRE OF WATERSHED

PROPOSED TEMPORARY STOCKPILE & SPOIL AREA TO BE SURROUNDED WITH EROSION CONTROL BARRIERS. AREAS TO BE KEPT OUTSIDE OF 100' BUFFER ZONES

PROPOSED AND STRAW WATTLE EROSION CONTROL BARRIER BETWEEN UNITS. TYP. (SEE SITE DETAILS)

PROPOSED TEMPORARY STOCKPILE & SPOIL AREA TO BE SURROUNDED WITH EROSION CONTROL BARRIERS. AREAS TO BE KEPT OUTSIDE OF 100' BUFFER ZONES

PROPOSED LIMIT OF CLEARING (TYP.)

TEMP. DIVERSION BERM OR SWALE TO SEDIMENT BASIN. TYP. (SEE SITE DETAILS)

PROPOSED SILT FENCE AND STRAW WATTLE EROSION CONTROL BARRIER AT TOE OF SLOPE. TYP. (SEE SITE DETAILS)

PROPOSED TEMPORARY SEDIMENTATION BASIN BOTTOM OF SEDIMENTATION BASIN. OUTLET CONTROL 6" PVC PERFORATED VERTICAL STANDPIPE WRAPPED WITH 3" CRUSHED STONE 24" THICK AROUND PIPE. 6" SOLID PVC PIPE TO RIP RAP PROTECTION. MIN. STORAGE VOLUME= 3,600 C.F. PER ACRE OF WATERSHED

LIMIT OF BORDERING VEGETATED WETLANDS

50' NO STRUCTURE

25' NO DISTURB LINE

PROPOSED TEMPORARY SEDIMENTATION BASIN BOTTOM OF SEDIMENTATION BASIN. OUTLET CONTROL 6" PVC PERFORATED VERTICAL STANDPIPE WRAPPED WITH 3" CRUSHED STONE 24" THICK AROUND PIPE. 6" SOLID PVC PIPE TO RIP RAP PROTECTION. MIN. STORAGE VOLUME= 3,600 C.F. PER ACRE OF WATERSHED

PROPOSED TEMPORARY STOCKPILE & SPOIL AREA TO BE SURROUNDED WITH EROSION CONTROL BARRIERS. AREAS TO BE KEPT OUTSIDE OF 100' BUFFER ZONES

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TEMP. DIVERSION BERM OR SWALE TO SEDIMENT BASIN. TYP. (SEE SITE DETAILS)

PROPOSED STRAW WATTLE EROSION CONTROL BARRIER AT TOP OF SLOPE. TYP. (SEE SITE DETAILS)

PROPOSED SILT FENCE AND STRAW WATTLE EROSION CONTROL BARRIER AT TOE OF SLOPE. TYP. (SEE SITE DETAILS)

PROPOSED TEMPORARY SEDIMENTATION BASIN BOTTOM OF SEDIMENTATION BASIN. OUTLET CONTROL 6" PVC PERFORATED VERTICAL STANDPIPE WRAPPED WITH 3" CRUSHED STONE 24" THICK AROUND PIPE. 6" SOLID PVC PIPE TO RIP RAP PROTECTION. MIN. STORAGE VOLUME= 3,600 C.F. PER ACRE OF WATERSHED

LIMITS OF VERNAL POOL

LIMITS OF BORDERING VEGETATED WETLANDS

N/F LANDS OF RONALD A. PIERCE & ADRIANE WAGNLS-PIERCE

ESTIMATED LIMITS OF VERNAL POOL

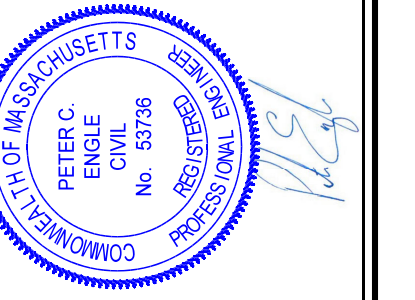
25' NO DISTURB LINE

50' NO STRUCTURE

PERMITTING SET

HOR. SCALE IN FEET: 1"=40'	120
80	
40	
0	
REVISIONS	MADE (APVD)
DESCRIPTION	PE
TOWN, DEP. PEER ENG. COMMENTS	PE
REV. DATE	11/10/22
1	

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EROSION & SEDIMENT CONTROL PLAN

SHEET **C16** OF **31**

SEE SHEET C15

SEE SHEET C18