

REQUEST FOR DETERMINATION

PREPARED FOR:

JAMES HARABEDIAN

5 LOCKATONG ROAD

STOCKTON , NJ 08559

FOR PROPERTY LOCATED ON:

13 OLD HAMILTON ROAD

STURBRIDGE, MA 01566

PREPARED BY:

JALBERT ENGINEERING

54 MAIN STREET

STURBRIDGE, MA 01566

508-347-5136

JOB NO: 18182

RECEIVED
DEC 14 2018

ZONING BOARD
OF APPEALS

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NARRATIVE

REQUEST FOR DETERMINATION

USGS QUADRANGLE MAP

NATURAL HERITAGE MAP

FIRM MAP

DEED

CERTIFIED ABUTTERS LIST

ASSESSOR'S FIELD CARD

FORM STT.A1

CHECK COPIES

PROPOSED SITE PLAN 18182

NARRATIVE

THE PARCEL CONTAINS 1.88 AC WITH 158.18' OF FRONTAGE AND IS LOCATED WITHIN A SUBURBAN RESIDENTIAL DISTRICT. ALL OF THE IMPROVEMENTS WILL BE WITHIN THE EXISTING COVERAGE OF THE SINGLE FAMILY RESIDENTIAL HOME. DETAILS OF THE WORK IS DEPICTED ON THE PLANS BY STEPHEN FLESHMAN ARCHITECT , LLC. AND ARE ENCLOSED WITHIN THIS REPORT.

NEW SUPPORTS WILL BE ADDED TO THE SOUTHWESTERLY SIDE OF THE HOUSE. FOUR SUPPORTS WILL BE ADDED AS SHOWN IN PLAN NUMBER 18182 BY JALBERT ENGINEERING , INC. ALSO A 13'X26' PERVIOUS PAVER PATIO WILL BE INSTALLED IN THE VICINITY OF THE WOOD DECK AND THE DECK WILL BE REMOVED.

ALL EARTH MATERIAL FROM THE SONOTUBE PLACEMENT AND PATIO WILL BE PLACED DIRECTLY INTO A TRUCK AND REMOVED FROM THE SITE.

THE ROOF RUNOFF IS CONTAINED WITHIN THE STONE WALKWAY AND THE LAWN AREA. THE SITE HAS NO VISIBLE RUNOFF FROM THE BUILDING AND NO EROSION IS EVIDENT.

AND EROSION CONTROL BARRIER WILL BE THE EXTENT OF THE WORK LIMIT FOR THE PROJECT.

Please refer to the Jalbert Engineering, Inc. Design plan, Drawing No. 18182 for additional information.

REQUEST FOR DETERMINATION
NON-CONFORMING USE, LOT OR STRUCTURE
ONE AND TWO FAMILY DWELLINGS
(2013)

TOWN OF STURBRIDGE
ZONING BOARD OF APPEALS

Property Owner JAMES D. & TERRI E. HARABEDIAN
 Property Address 13 OLD HAMILTON ROAD
 Mailing Address 5 LOCKATONG RD STOCKTON , NJ 08559
 Telephone 508-347-5136 Email LSJALBERT@JALBERTENGINEERING.COM
 Deed Reference 57888/104 Purchase Date 10/16/17
 Assessor's Map # 16/13 \$25.00 Fee/Check # 31835

I. Complete the required, existing and proposed conditions:
 Zoning District SUBURBAN RES

	Zoning Requirements	Existing Conditions		Proposed Conditions	
Minimum Lot Area	3/4 AC	1.88 AC		1.88 AC	
Minimum Frontage	125'	158.18'		158.18'	
Maximum % Lot Coverage	15%	4.36%		4.36%	
Minimum Front Setback	30'	424.4'		424.4'	
Minimum Side Setbacks	15'	22.3'	11.8'	22.3'	11.8'
Minimum Rear Setback	15'	22.3'		22.3'	
Maximum Mean Height Allowed	35'	27'		27'	
Maximum # of Stories Allowed	2	2		2	

Services available to the subject property:	Existing	Proposed
Type of water services (i.e. municipal water or private well)	PRIVATE WELL	NO CHANGE
Type of sewage disposal (i.e. municipal sewage disposal or private septic system)	TOWN SEWER	NO CHANGE
Type of storm drainage (i.e. sewers, ditches, swales or other means)	SHEET FLOW	NO CHANGE

2. Is this property presently compliant with Title V?

Yes No

3. Attach the following and check off:

A Plot Plan Survey, prepared by a Massachusetts licensed land surveyor, including lot lines, a foundation survey of all existing structures and proposed new structures, with setbacks; and the location of wells, septic fields or septic systems.

A current abutter's list, available from the Town Assessor's Office.

A certificate of Taxes Paid from the Director of Taxes.

4. Describe the current usage of this lot:

TWO STORY SINGLE FAMILY RESIDENTIAL HOME WITH A DETACHED GARAGE.

5. Describe the character of the abutting properties, neighborhood and zoning district: THE PROPERTY CONFORMS WITH THE PRESENT SUBURBAN RESIDENTIAL AREA AND ALL THE HOMES IN THE AREA ARE SINGLE FAMILY..

6. Describe the proposed construction, identifying all items for which a building permit will be applied, including any demolition, reconstruction and new construction, the location and description of any footprint additions, additional

floors, accessory attached or unattached buildings, driveways, lot clearings and plantings. ALL WORK WILL BE ON THE SINGLE FAMILY RESIDENCE AND NO ADDED PROJECTION WILL TAKE PLACE. A NEW 13'X26' PERVIOUS PATIO WILL BE ADDED AND THE ROOF AND SIDING ON THE BUILDING WILL BE REPLACED. THE GARAGE AREA WILL BE MADE INTO A MASTER BEDROOM AND A SECOND FLOOR WILL BE ADDED TO THE GARAGE AREA.....

NOTE TO THE APPLICANT: This ZBA Determination is valid only for those construction activities identified on this application. Any additional building permit applications or activities relating to this property will nullify any determinations under this application. Any misstatement of facts in the application may be grounds for nullification and revocation of the determination. The applicant is responsible for the cost of Public Hearing Notices, to be paid at the Hearing.


Signature of Owner

12/14/18
Date

DETERMINATION

Based on the facts presented on this application and after a Site Inspection and Public Hearing, the Zoning Board of Appeals, by majority vote at its meeting on _____ find that this application:

Does not intensify the existing or create additional non-conformities and the owner may apply for a building permit for the described activities as shown on the attached survey forthwith.

The ZBA includes the following directives and clarifications to the Building Inspector

OR

Does increase the non-conforming nature and requires a

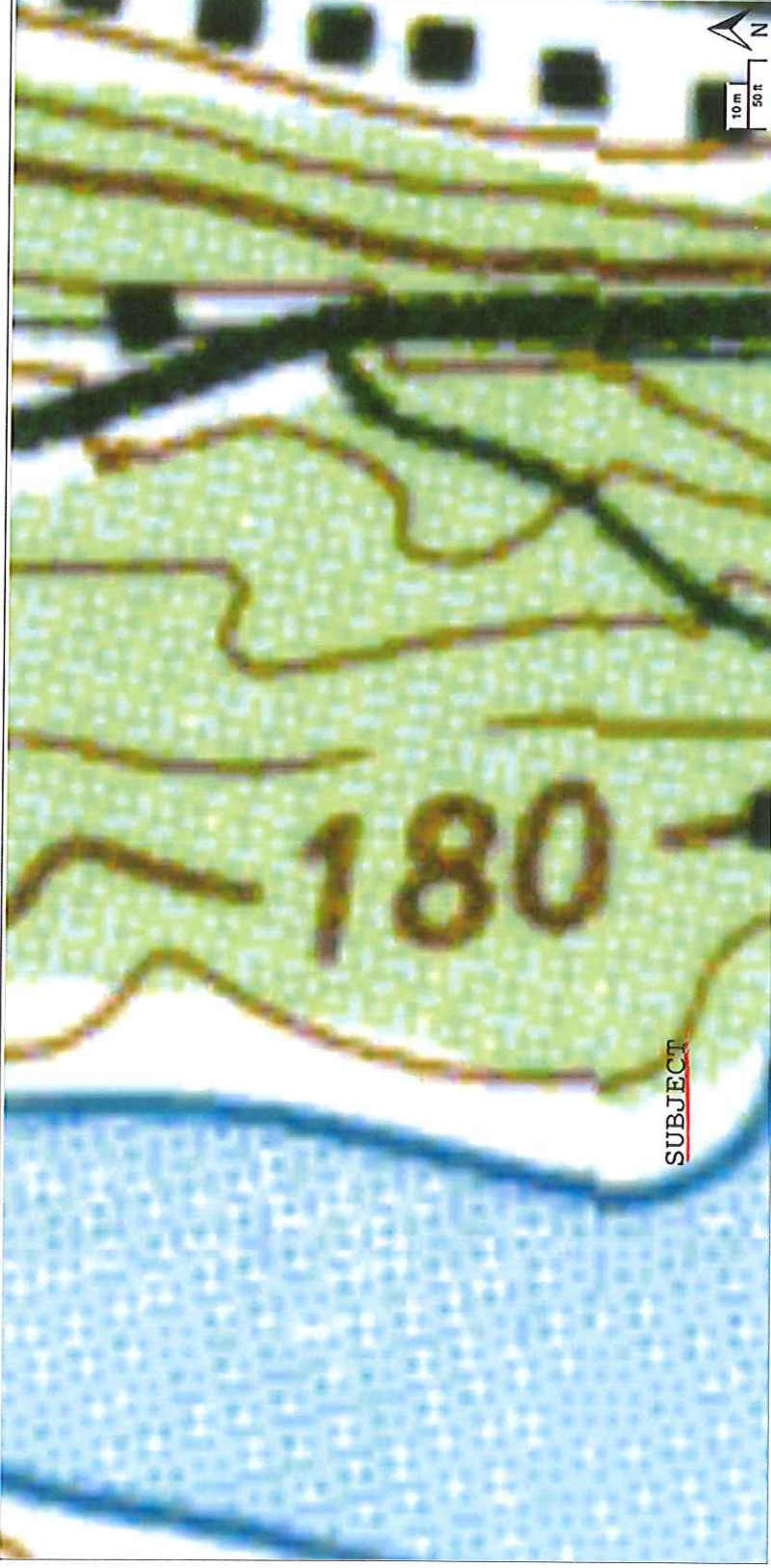
Special Permit and a

Variance from the Zoning Board of Appeals including but not limited to the following:

Zoning Board Chairman

Date

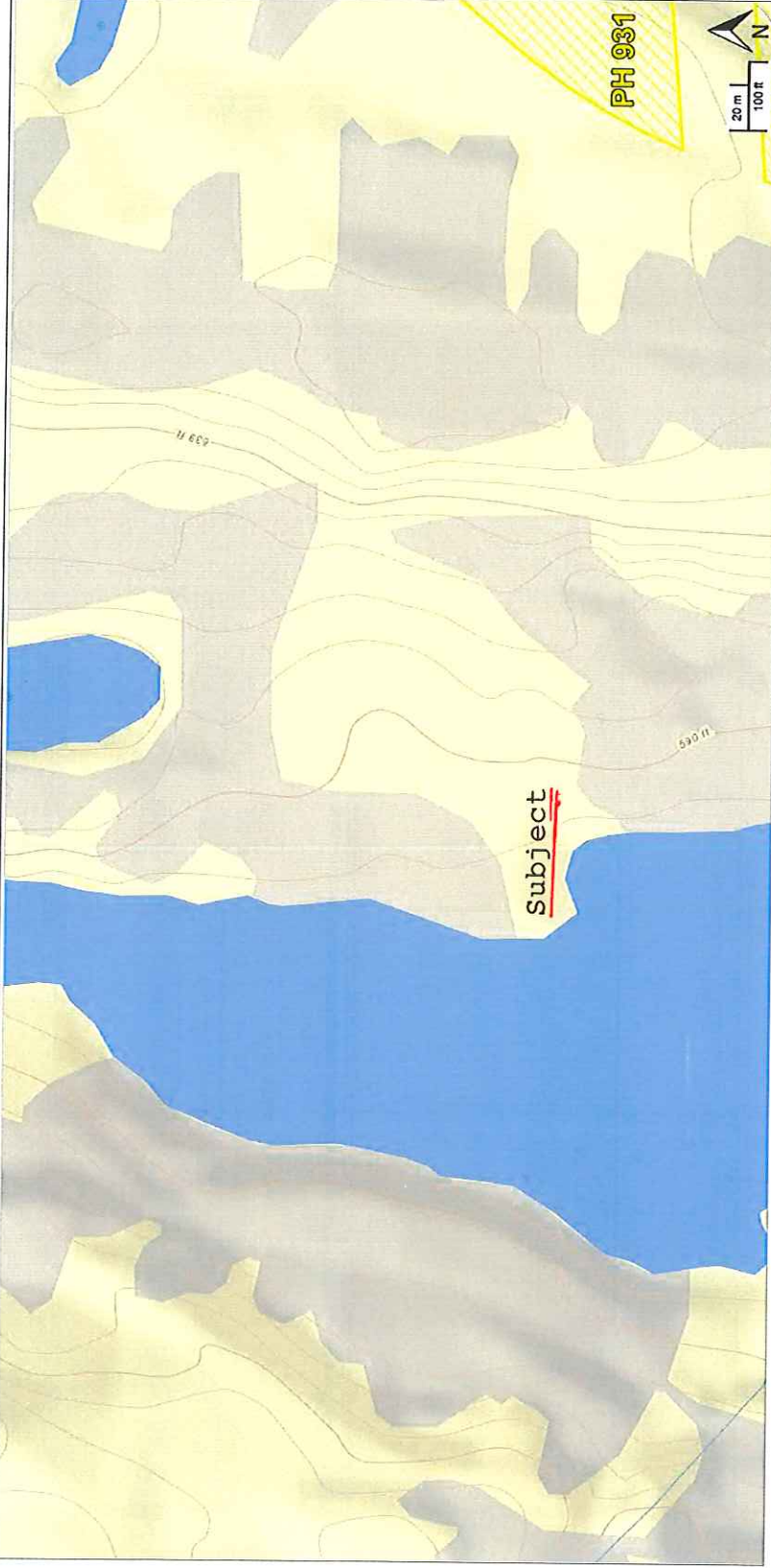
13 OLD HAMILTON ROAD



USGS Topographic Maps
MassGIS Statewide Basemap
MassGIS Topographic Features Base

13 OLD HAMILTON ROAD

- Potential Vernal Pools
- NHESP Priority Habitats of Rare Species
- NHESP Natural Communities
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Certified Vernal Pools
- NHESP Ecoregions
- MassGIS Statewide Basemap
- MassGIS Topographic Features Base



National Flood Hazard Layer FIRMette



42°8'13.09"N



USGS The National Map, Orthimagery. Data Refreshed October 2017.



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AP
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (Zone J)
- Future Conditions 1% Annual Chance Flood Hazard (Zone X)
- Area with Reduced Flood Risk due to Levee, See Notes. (Zone X)
- Area with Flood Risk due to Levee (Zone D)

OTHER AREAS

- Area of Minimal Flood Hazard (Zone X)
- Effective LOMRs
- Area of Undetermined Flood Hazard (Zone C)

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/13/2018 at 9:01:56 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Blk: 57888 Pg: 104
Page: 1 of 3 10/16/2017 01:48 PM WD

QUITCLAIM DEED

We, **GARY B. LINDGREN AND NANCY F. LINDGREN**, being married to each other, of Sturbridge, Worcester County, Massachusetts,

in consideration of **SIX HUNDRED EIGHTY-TWO THOUSAND AND 00/100THS (\$682,000.00) Dollars**

grant to **JAMES D. HARABEDIAN AND TERRI E. HARABEDIAN**, husband and wife, as tenants by the entirety

of 5 Lockatong Road
Stockton, NJ 08559

MASSACHUSETTS EXCISE TAX
Worcester District ROD #20 001
Date: 10/16/2017 01:48 PM
Cit# 174713 11314 Doc# 00114523
Fee: \$3,109.92 Cons: \$682,000.00

with *quitclaim covenants*

The land and buildings in Sturbridge, Worcester County, Massachusetts, bounded and described as follows:

BEGINNING at an iron pipe at the northeast corner of tract herein described on the westerly side of Old Hamilton Road, at the southeast corner of Lot #3;

THENCE S. 2° 02' 32" West along the westerly side of Old Hamilton Road, a distance of 26.66 feet to an iron pipe;

THENCE S. 65° 51' 13" West along the westerly side of an existing Camp Road a distance of 27.08 feet to an iron pipe;

THENCE S. 32° 51' 13" West along the westerly side of said Camp Road, a distance of 104.44 feet to an iron pipe;

THENCE ^{N.}75° 00' 47" West along Lot #1, conveyed to William Gebert, a distance of 423.87 feet to an iron pipe;

THENCE S. 56° 23' 23" West along Lot #1, a distance of 164.99 feet to an iron pipe and continuing on the same course for a distance of about 3 feet to the easterly shoreline of Cedar Lake;

THENCE running northerly along the easterly shoreline of said Lake, about 249.78 feet to a point;

THENCE N. 89° 31' 56" East from the easterly shoreline of said Lake and Lot #3, a distance of about 5 feet and continuing on the same course for a distance of 170.22 feet to an iron pipe;

13 OLD HAMILTON ROAD, STURBRIDGE, MASSACHUSETTS

3

THENCE S. 73° 00' 47" East along Lot 3, a distance of 360.00 feet to the point of beginning.

CONTAINING an area of 1.88 acres, more or less.

Subject to easement for a line of poles, northerly through the premises and westerly to Cedar Lake, as set forth in three deeds to New England Telephone & Telegraph Co. and Worcester County Electric Co. dated January 7 & 9, 1946 and recorded with the Worcester District Registry of Deeds, Book 2984, Page 563 and Book 2984, Page 564 and Book 3035, Page 437.

BEING Lot #2 recorded in Plan Book 487, Plan 78, dated August 16, 1980.

We, the Grantors herein, do hereby voluntarily release all of our rights of homestead in the within described property, if any, as set forth in M.G.L. Chapter 188, and state under the pains and penalties of perjury that no other person has or is entitled to claim a homestead in the premises hereby conveyed.

BEING the same premises conveyed to Gary B. Lindgren and Nancy F. Lindgren by deed of Jeanne R. Para dated July 23, 1982 and recorded in Worcester District Registry of Deeds in Book 7517, Page 38.

EXECUTED as a sealed instrument this 19th day of September, 2017.

Gary B. Lindgren
Gary B. Lindgren

Nancy F. Lindgren
Nancy F. Lindgren

COMMONWEALTH OF MASSACHUSETTS

Worcester, ss.

On this 19th day of September, 2017, before me, the undersigned notary public, personally appeared Gary B. Lindgren, proved to me through satisfactory evidence of identification, which was personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.



Kathleen M. Neal
Kathleen M. Neal NOTARY PUBLIC
My Commission Expires: June 8, 2023

COMMONWEALTH OF MASSACHUSETTS

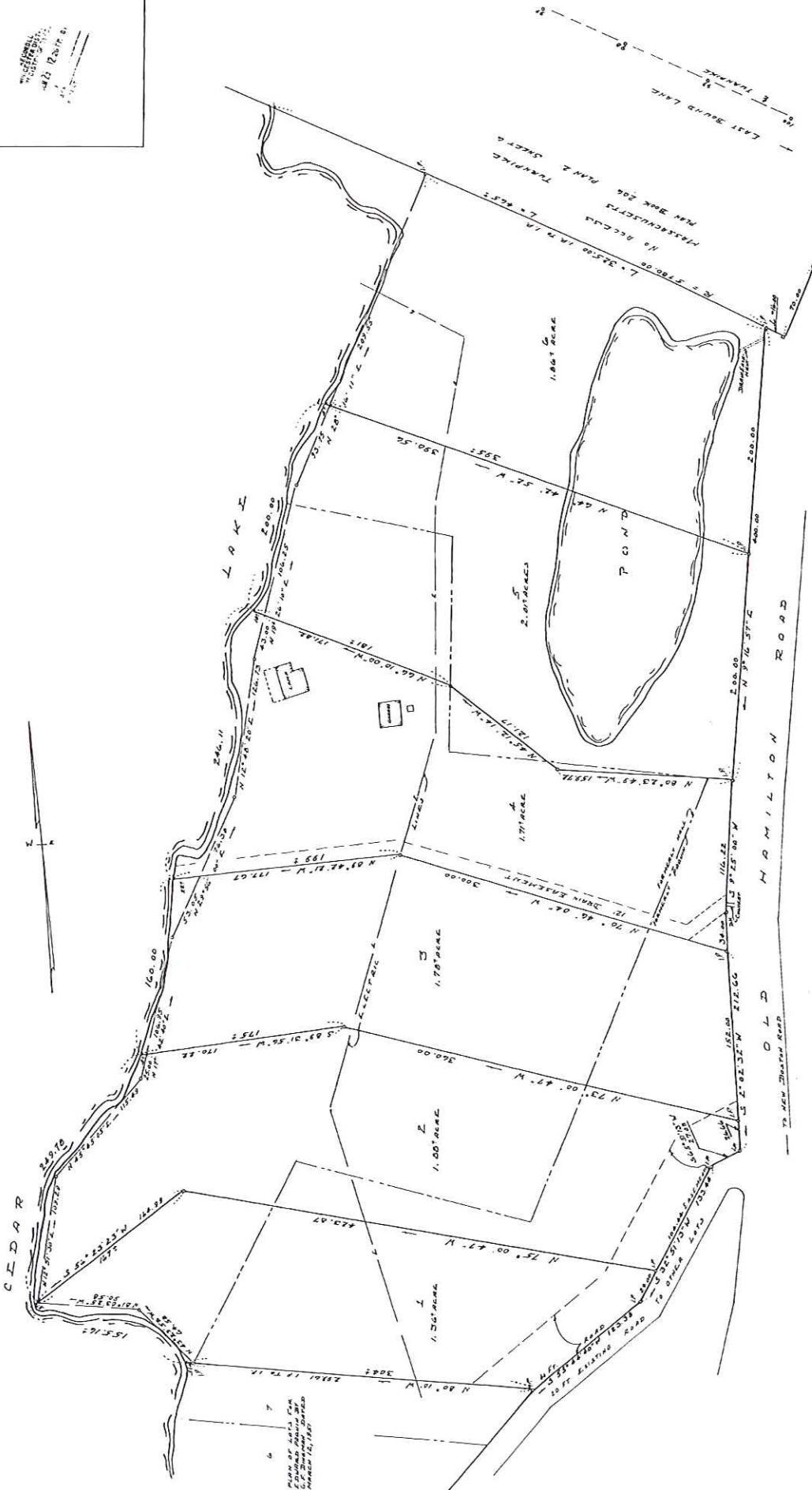
Worcester, ss.

On this 19th day of September, 2017, before me, the undersigned notary public, personally appeared Nancy F. Lindgren, proved to me through satisfactory evidence of identification, which was personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose.



Kathleen M. Neal
Kathleen M. Neal NOTARY PUBLIC
My Commission Expires: June 8, 2023

Worcester District Registry
443 South St.
Worcester, Mass.



PLAN OF LANDS FOR
CIVIL SERVICE
MARCH 12, 1957

APPROVAL UNDER JURISDICTION
OF THE DISTRICT REGISTRY
OF DEEDS-WORCESTER, MASS.
DATE: 9-8-57

Handwritten signatures:
Henry J. Donahue
George J. Pickett
Loring B. Bennett
John J. Conroy

WORCESTER DISTRICT REGISTRY
OF DEEDS-WORCESTER, MASS.
PLAN BOOK 187 PLAN 78
RECORDED 23 1957
DATE: 9-8-57

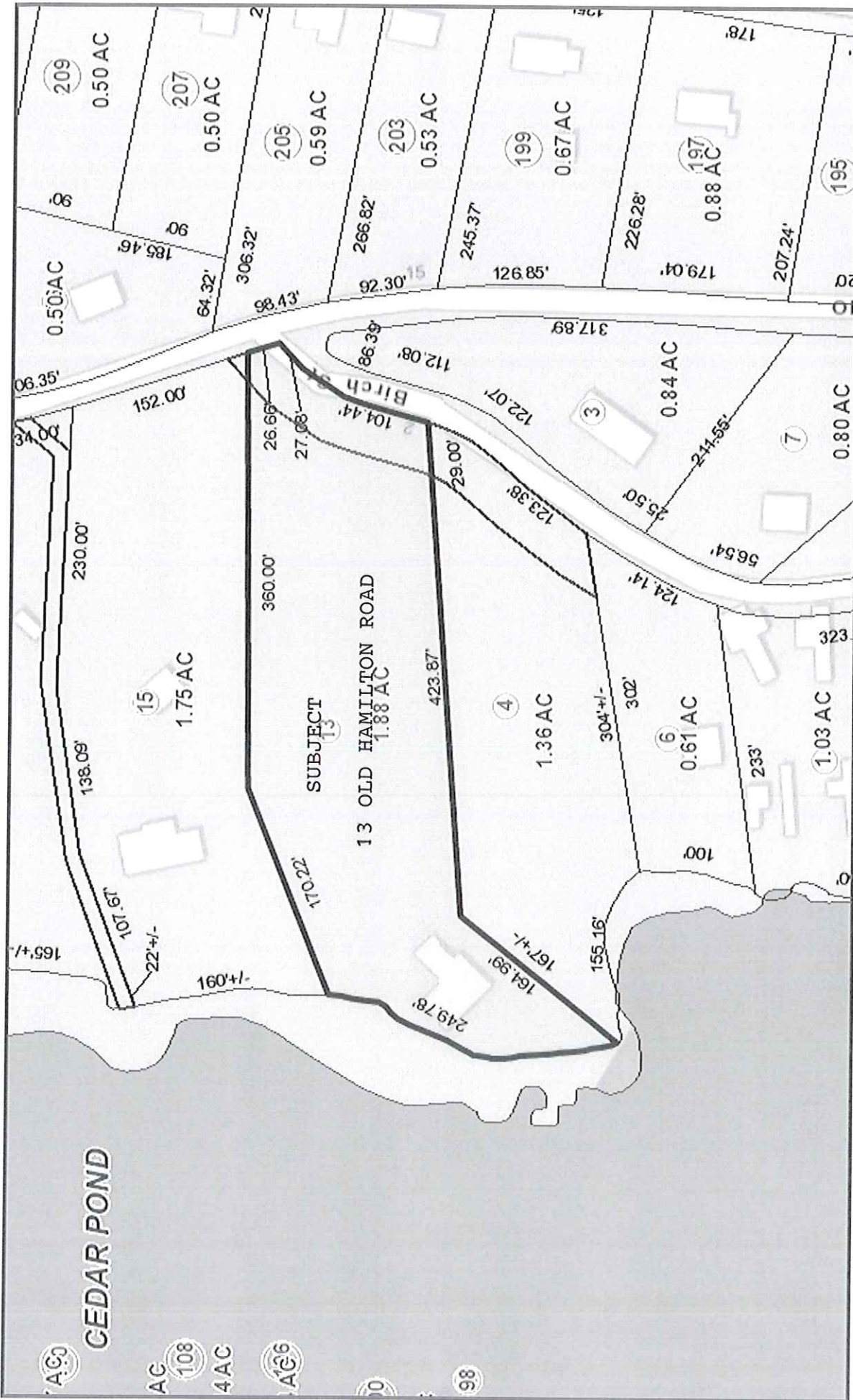
ATTEST: *Handwritten signature*

I, CLARENCE J. HAYES, REGISTERED THE ABOVE PLAN
AND IT CONFORMS TO THE RECORDS OF DEEDS
IN THE DISTRICT REGISTRY OF DEEDS
Worcester, Mass.

Handwritten signature: Clarence J. Hayes

PLAN OF LAND IN STURBRIDGE MASS.
BEING CONVEYED TO
JEANNE R. PARO
SCALE 1"=40' AUG. 16, 1946
ROBERT F. THOMPSON LAND SURVEYOR
STURBRIDGE MASS.





Property Map

1 inch = 158 feet



Data and scale shown on this map are provided for planning and informational purposes only. STURBRIDGE (MA) and Vision Government Solutions are not responsible for any use for other purposes or misuse or misrepresentation of this information.

CURRENT OWNER HARABEDIAN JAMES D & TERRIE 5 LOCKATONG ROAD STOCKTON, NJ 08559 Additional Owners:		TOPO. 4 Rolling 6 Waterfront		UTILITIES 5 Well 3 Public Sewer		STRT./ROAD 3 Unpaved		LOCATION 2 Suburban		CURRENT ASSESSMENT	
Other ID: 481-01623-013		SEPTIC PUBSEW FEATURES STD TOPO GENTLE WF CHAR STD USE YR RND		ASSOC PID#		SALE DATE 10/16/2017 Q 1		SALE PRICE V.C. 682,000 00		Assessed Value	
POND CEDAR GIS ID: 481-01623-013		57888/ 104 7517/ 38		10/16/2017 Q 1		07/29/1982		0		302,100 225,700 14,400	
RECORD OF OWNERSHIP		BK-VOL/PAGE		SALE DATE		Q		V.C.		Assessed Value	
HARABEDIAN JAMES D LINDGREN GARY B		57888/ 104 7517/ 38		10/16/2017 07/29/1982		Q 1		682,000 00 0		302,100 225,700 14,400	

EXEMPTIONS		OTHER ASSESSMENTS	
Year	Type	Amount	Comm. Int.
Total:		542,200	Total:

RECORD OF OWNERSHIP		PREVIOUS ASSESSMENTS (HISTORY)	
Yr.	Code	Assessed Value	Code
2019	1013	302,100	1013
2019	1013	225,700	1013
2019	1013	14,400	1013
Total:		542,200	Total:

ASSESSING NEIGHBORHOOD		APPRaised VALUE SUMMARY	
NBHD/ SUB	Street Index Name	Appraised Bldg. Value (Card)	299,700
7/A	Tracing	Appraised XF (B) Value (Bldg)	2,400
Total:		Appraised OB (L) Value (Bldg)	14,400
YELLOW IG EG		Appraised Land Value (Bldg)	225,700
THEY HAVE THEIR OWN PRIVATE BOAT RAMP		Special Land Value	0
FCP HAS GABLE ROOF WITH STORAGE AREA ABOVE		Total Appraised Parcel Value	542,200

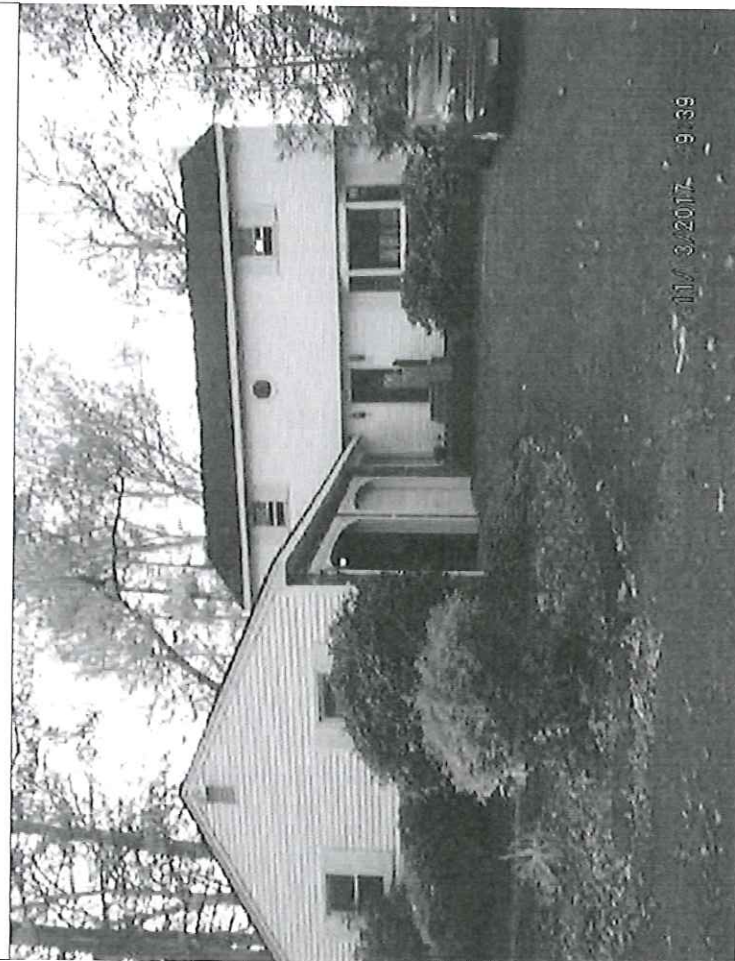
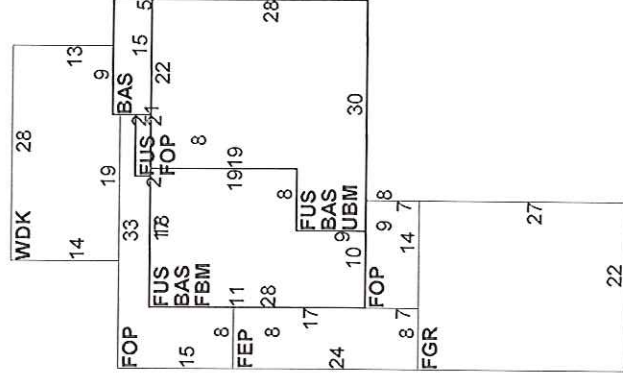
BUILDING PERMIT RECORD		VISIT/CHANGE HISTORY	
Permit ID	Issue Date	Type	Purpose/Result
		01	SALE REVIEW
		02	VISITED FOR CYC REV
		RF	Measur+2 Visit - Info Card
		CG	Measur+1 Visit
Total Appraised Parcel Value		542,200	

LAND LINE VALUATION SECTION		Special Pricing	
Zone D	Front Depth	Spec Use	Spec Calc
SR	250	1.00	1.00
SR		1.00	1.00
SR		.00	.00
Total Card Land Units: 1.88 AC		Total Land Value: 225,700	

LAND LINE VALUATION SECTION		Notes-Adj	
Unit Price	Factor S.A.	Disc	ST. Factor Tax Adj.
1.46	3.5000	2	1.0000
3,500.00	1.0000	0	1.00
0.00	1.0000	0	1.00
Total Card Land Units: 1.88 AC		Parcel Total Land Area: 1.88 AC	

VISION

CONSTRUCTION DETAIL		CONSTRUCTION DETAIL (CONTINUED)									
Element	Description	Element	Description								
03	Colonial										
01	Residential										
05	Average +20										
2	Stories										
1	Occupancy										
25	Exterior Wall 1										
20	Exterior Wall 2										
03	Roof Structure										
03	Roof Cover										
05	Interior Wall 1										
	Interior Wall 2										
14	Interior Flr 1										
12	Interior Flr 2										
02	Heat Fuel										
05	Heat Type										
01	AC Type										
04	Total Bedrooms										
2	Total Bthms										
0	Total Half Baths										
8	Total Xtra Fixtrs										
02	Total Rooms										
02	Bath Style										
02	Kitchen Style										
MIXED USE											
Code	Description	Percentage									
1013	SFR WATER R	100									
COST/MARKET VALUATION											
Adj. Base Rate:		119.60									
Replace Cost		370,054									
AYB		1983									
EYB		1997									
Dep Code		E									
Remodel Rating		19									
Year Remodeled											
Dep %		0									
Functional Obslnc		0									
External Obslnc		0									
Cost Trend Factor		1									
Condition											
% Complete		81									
Overall % Cond		299,700									
Apprais Val		0									
Dep % Ovr											
Dep Ovr Comment											
Misc Imp Ovr		0									
Misc Imp Ovr Comment											
Cost to Cure Ovr		0									
Cost to Cure Ovr Comment											
OB-OUTBUILDING & YARD ITEMS(L) / XF-BUILDING EXTRA FEATURES(B)											
Code	Description	Sub	Sub Description	L/B Units	Unit Price	Yr	Gde	Lp Rt	Cnd	%Cnd	Apr Value
FGR4	W/LOFT-AVG	L		875	22.00	1997	0			75	14,400
FPL3	2 STORY CHI	B		1	3,000.00	1997	1			100	2,400
BUILDING SUB-AREA SUMMARY SECTION											
Code	Description	Living Area	Gross Area	Eff. Area	Unit Cost	Undeprac. Value					
BAS	First Floor	1,195	1,195	151	119.60	142,926					
FBM	Basement, Finished	0	432	151	41.81	18,060					
FEP	Porch, Enclosed, Finished	0	192	134	83.47	16,027					
FGR	Frame Garage	0	594	258	47.92	28,466					
FOP	Frame Porch	0	318	64	24.07	7,655					
FUS	Upper Story, Finished	1,136	1,136	1,136	119.60	135,870					
UBM	Basement, Unfinished	0	688	138	23.99	16,505					
WDK	Deck, Wood	0	383	38	11.87	4,545					
Ttl. Gross Liv/Lease Area:		2,331	4,938	3,094		370,054					



09/21/2018 9:39



Town of Sturbridge

Barbara A. Barry, Finance Director

Department/Board/Committee: ZONING BOARD

Please verify outstanding tax/fee status for the following property owner:

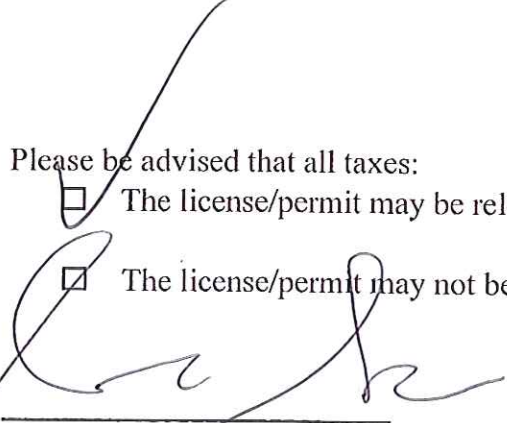
Property Owner: JAMES HARABEDIAN

Property Location: 13 OLD HAMILTON ROAD

Please be advised that all taxes:

The license/permit may be released.

The license/permit may not be released.



Finance Director

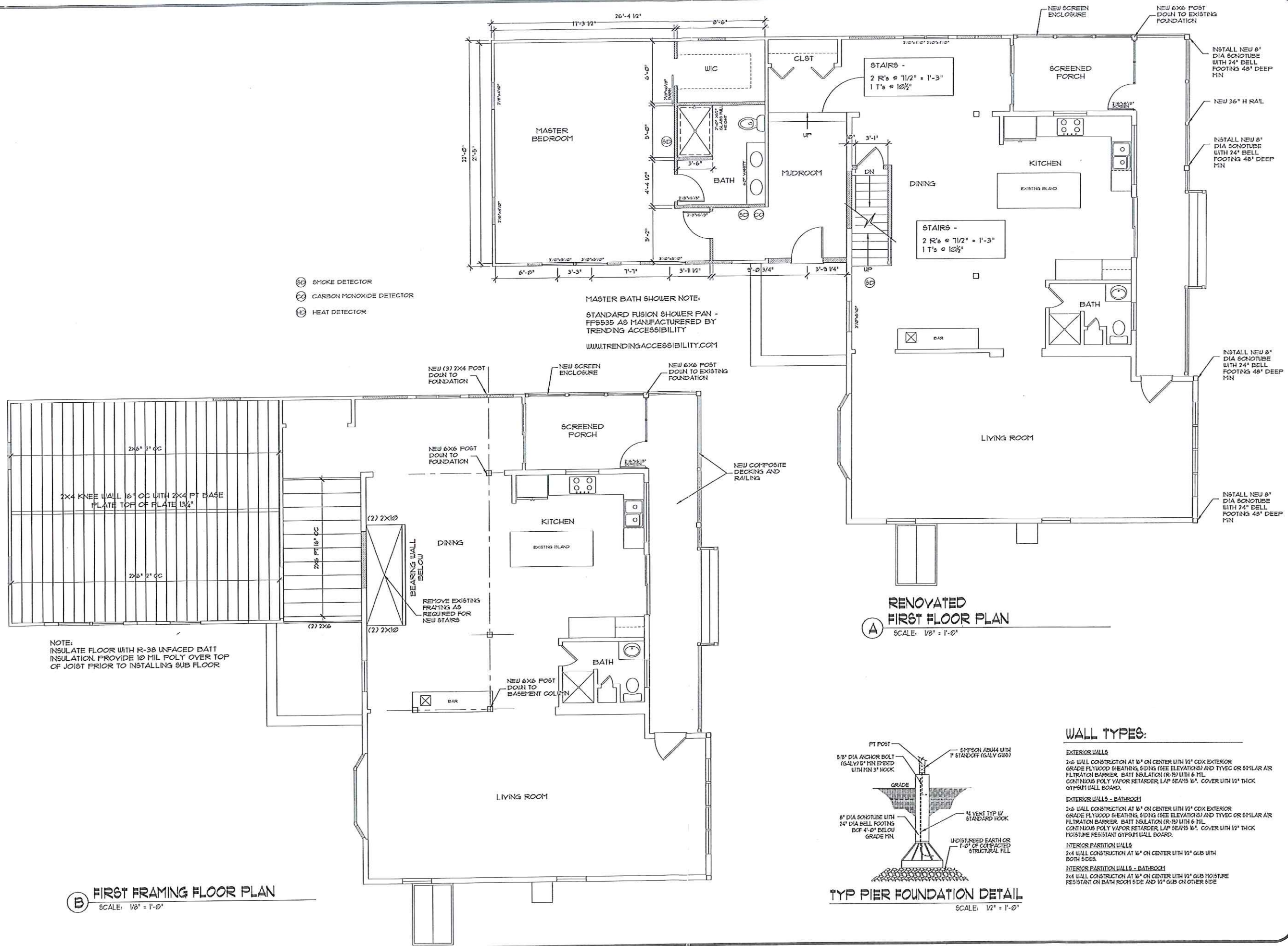
12-13-18

Date



STEPHEN FLESHMAN
ARCHITECT, LLC
99 APPLE ROAD
BRIMFIELD, MA 01010
T: 508.347.7188 F: 508.347.8939
Fleshman@SF-Arch.com

HARABEDIAN RESIDENCE
13 OLD HAMILTON ROAD
STURBRIDGE, MASSACHUSETTS
FIRST FLOOR PLANS
NOTES / DETAILS



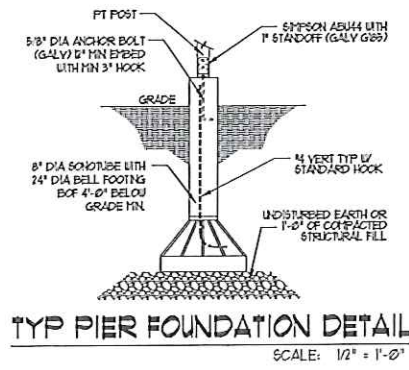
- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- Ⓢ HEAT DETECTOR

MASTER BATH SHOWER NOTE:
STANDARD FUSION SHOWER PAN -
FFB535 AS MANUFACTURED BY
TRENDING ACCESSIBILITY
WWW.TRENDINGACCESSIBILITY.COM

NOTE:
INSULATE FLOOR WITH R-38 UNFACED BATT
INSULATION PROVIDE 10 MIL POLY OVER TOP
OF JOIST PRIOR TO INSTALLING SUB FLOOR

**RENOVATED
FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

FIRST FRAMING FLOOR PLAN
SCALE: 1/8" = 1'-0"



WALL TYPES:

EXTERIOR WALLS
2x6 WALL CONSTRUCTION AT 16" ON CENTER WITH 1/2" CDX EXTERIOR GRADE PLYWOOD SHEATHING, 60# G (SEE ELEVATIONS) AND TYVEC OR 6 MIL AIR FILTRATION BARRIER. BATT INSULATION (R-19) WITH 6 MIL CONTINUOUS POLY VAPOR RETARDER, LAP SEAMS 16". COVER WITH 1/2" THICK GYPSUM WALL BOARD.

EXTERIOR WALLS - BATHROOM
2x6 WALL CONSTRUCTION AT 16" ON CENTER WITH 1/2" CDX EXTERIOR GRADE PLYWOOD SHEATHING, 60# G (SEE ELEVATIONS) AND TYVEC OR 6 MIL AIR FILTRATION BARRIER. BATT INSULATION (R-19) WITH 6 MIL CONTINUOUS POLY VAPOR RETARDER, LAP SEAMS 16". COVER WITH 1/2" THICK MOISTURE RESISTANT GYPSUM WALL BOARD.

INTERIOR PARTITION WALLS
2x4 WALL CONSTRUCTION AT 16" ON CENTER WITH 1/2" G&B WITH BOTH SIDES.

INTERIOR PARTITION WALLS - BATHROOM
2x4 WALL CONSTRUCTION AT 16" ON CENTER WITH 1/2" G&B MOISTURE RESISTANT ON BATH ROOM SIDE AND 1/2" G&B ON OTHER SIDE.

U	07/20/15	SRF	STAIRS RELOCATION
B	04/21/15	SRF	PERMIT
A	03/26/15	SRF	PROGRESS REVIEW
ACTION	DATE	BY	DESCRIPTION

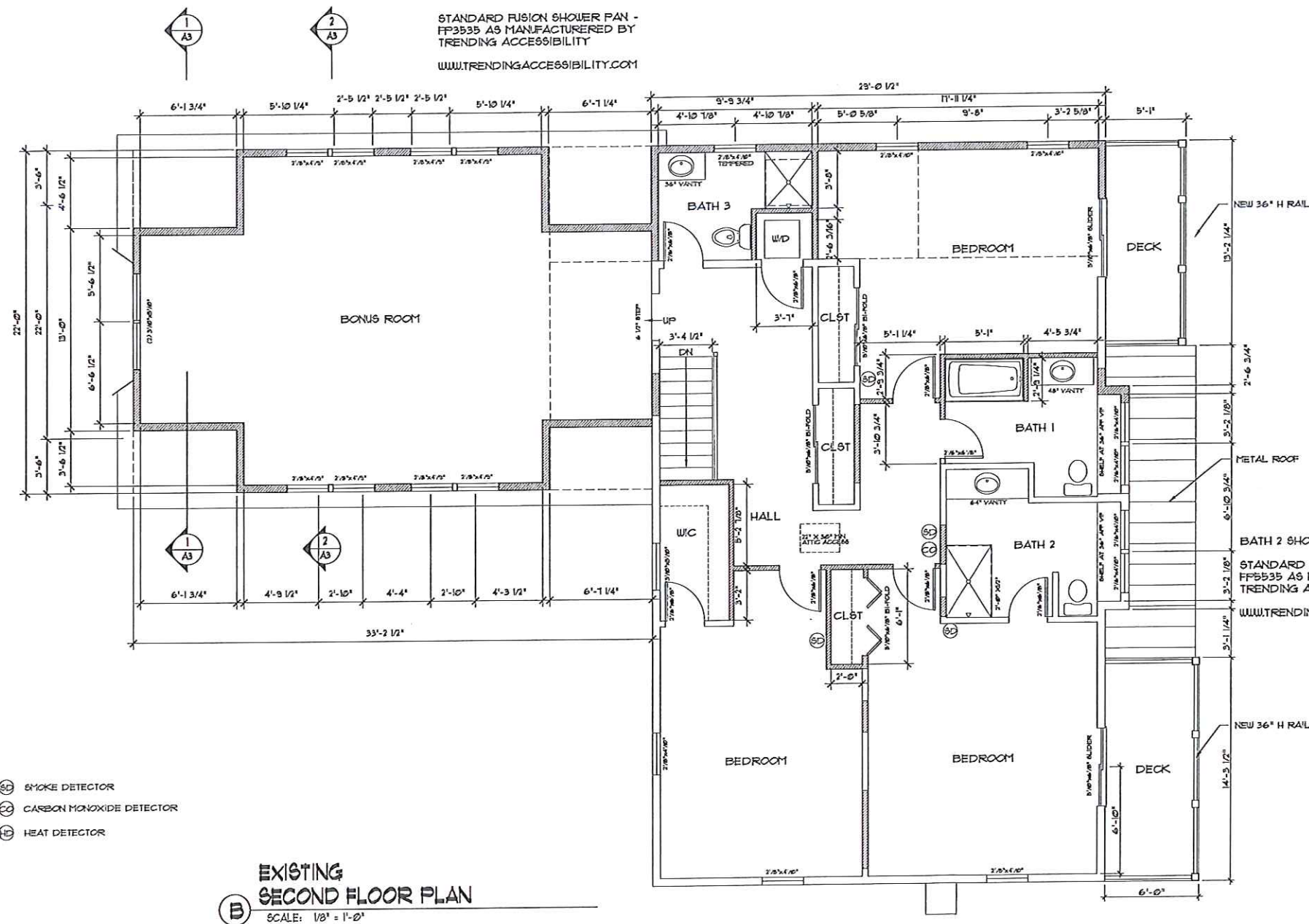
17-059
SCALE: DRAWN BY:
AS NOTED SRF
DRAWING NO.
A1

STRUCTURAL NOTES:

- ARCHITECT SHALL BE NOTIFIED IF DETAILS NEED TO BE ADJUSTED DUE TO FIELD CONDITIONS.
- THE FOLLOWING MINIMUM LOADS WERE USED IN THE DESIGN OF THE STRUCTURE ACCORDING TO THE MASSACHUSETTS STATE BUILDING CODE (R.C. 705 WITH MA AMENDMENTS):
 ROOF SNOW LOAD - 50 PSF
 FLOOR LIVE LOADS:
 - FIRST FLOOR LOAD - 40 PSF
 - SECOND FLOOR LOAD - 30 PSF
 - ATTIC LOAD - 20 PSF
 - DECK FLOOR LOAD - 40 PSF
 WALL BRACING - CONTINUOUS SHEATHING
- REINFORCED CONCRETE SHALL CONFORM TO THE ACI SPECIFICATION 318-CURRENT EDITION
- MINIMUM CONCRETE STRENGTH AT 28 DAYS - FC = 3500 PSI
- REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM SPECIFICATION A 63 GRADE 60.
- REINFORCING STEEL FABRICATION SHALL BE IN ACCORDANCE WITH THE CRSI CODE OF STANDARD PRACTICE.
- REINFORCING STEEL SHALL HAVE THE FOLLOWING CLEAR CONCRETE COVER UNLESS OTHERWISE NOTED:
 CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3 IN.
 FORMED CONCRETE SURFACES IN CONTACT WITH SOIL, WATER - 2 IN.
- SPLICED BARS SHALL HAVE A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- ALL MATERIALS SHOWN SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY BRACING AND SUPPORT DURING CONSTRUCTION. ALL WOOD NAILERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
- ALL GROUT USED SHALL BE FIVE STAR EPOXY GROUT BY U.S. GROUT CORP. OR EQUAL.
- DRILLED-IN ANCHORS SHALL BE HILTI HIT COUPLING ANCHORS INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- PROVIDE 6" MINIMUM COMPACTED STRUCTURAL FILL BELOW ALL FOOTINGS AND SLABS.
- ALL WOOD MEMBERS TO BE SPRUCE PINE FIR WITH THE FOLLOWING MINIMUM ALLOWABLE STRESSES (UNLESS NOTED OTHERWISE)
 Fb = 2000 PSI
 Fv = 100 PSI
 E = 1,200,000 PSI
 LVL MEMBERS:
 Fb = 2800 PSI
 Fv = 200 PSI
 E = 2,000,000 PSI
- WALL SHEATHING TO BE 1/2" APA STRUCTURAL I RATED FLYWOOD SHEATHING EXP. I OR EXT. 8d NAILS SPACED @ 6" O.C. (ALL DIRECTIONS) (BLOCKED) MIN. NAIL PENETRATION 1-5/8" (UNLESS OTHERWISE NOTED IN SHEAR WALL DETAILS).
- ROOF SHEATHING TO BE 1/2" APA STRUCTURAL I RATED FLYWOOD SHEATHING EXP. I W/CLIPS @ ALL JOINTS.
- SOIL BEARING CAPACITY = 3,000 PSF (ASSUMED)
- FOUNDATION WALLS SHALL BE AS NOTED W/ KEYWAY ON MINIMUM 1'-0" STRUCTURAL FILL & FILTER FABRIC OR SUITABLE UNDISTURBED SOIL.
- PROVIDE 2-#6 P.T. BELL PLATE ANCHORED TO FOUNDATION W/ 1/4" TRIPLE GALVANIZED BOLTS @ 6'-0" O.C. AND 1'-0" FROM EACH CORNER. EXTEND BOLTS MIN. 8" INTO CONCRETE.
- EXTERIOR CONCRETE WALLS SHALL BE DAMPROOFED W/ MIN. 1/4" PORTLAND CEMENT PATCHED TO THE EXTERIOR WALL & COVERED W/ BITUMINOUS COATING.
- PROVIDE (1) 1/4" ANCHOR BOLTS TOP & BOTTOM @ 2'-0" O.C. FOR CONNECTION OF ALL LVL BEAMS GREATER THAN (1) MEMBERS.
- ALL HEADERS IN BEARING WALL TO BE 2 - 2X2 UNO. ALL HEADERS IN NON LOAD BEARING WALLS TO BE 2 - 2X8 UNO. POST TO SUPPORT LNTL6 TO BE 3 - 2X (WALL THICKNESS)
- CONTRACTOR SHALL PROVIDE OWNER AND BUILDING DEPARTMENT WITH ENGINEERED LUMBER AND TRUSS SHOP DRAWINGS STAMPED BY A LICENSED ENGINEER IN THE COMMONWEALTH OF MASSACHUSETTS. THE ENGINEERED DRAWINGS SHALL CONFIRM THAT ALL ENGINEERED LUMBER SIZES AND TRUSSES ARE ADEQUATE FOR THE CONDITIONS SHOWN.

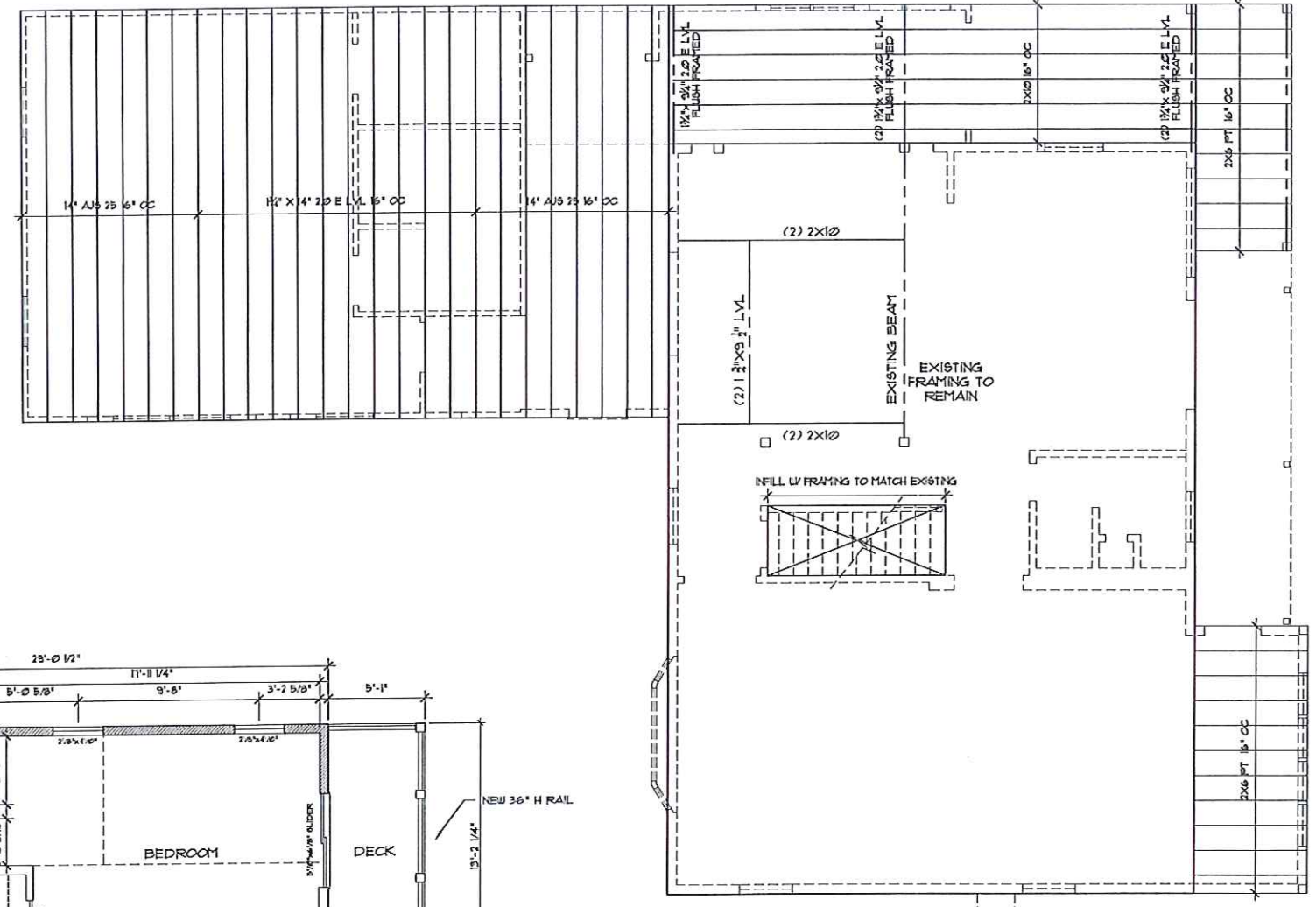
BATH 3 SHOWER NOTE:
 STANDARD FUSION SHOWER PAN - FP3535 AS MANUFACTURED BY TRENDING ACCESSIBILITY
 WWW.TRENDINGACCESSIBILITY.COM

BATH 2 SHOWER NOTE:
 STANDARD FUSION SHOWER PAN - FP3535 AS MANUFACTURED BY TRENDING ACCESSIBILITY
 WWW.TRENDINGACCESSIBILITY.COM



B EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

C SECOND FRAMING FLOOR PLAN
 SCALE: 1/8" = 1'-0"



- ☉ SMOKE DETECTOR
- ☉ CARBON MONOXIDE DETECTOR
- ☉ HEAT DETECTOR



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HARABEDIAN RESIDENCE
 13 OLD HAMILTON ROAD
 STURBRIDGE, MASSACHUSETTS
 SECOND FLOOR & FRAMING PLANS
 NOTES / DETAILS

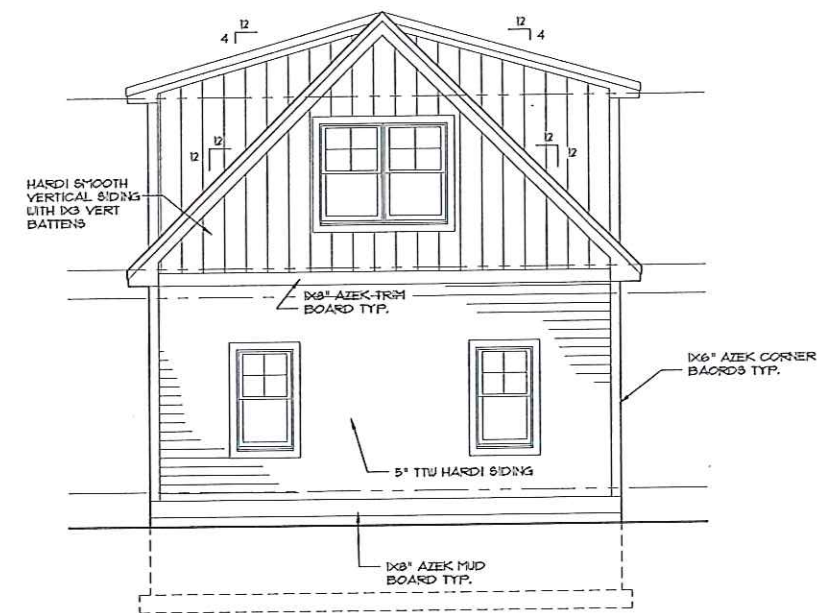
NO.	DATE	BY	DESCRIPTION
C	07.26.18	SRF	STAIR RELOCATION
B	04.21.18	SRF	PERMIT
A	03.26.18	SRF	PROGRESS REVIEW

17-059
 SCALE: DRAWN BY:
 AS NOTED SRF
 DRAWING NO.
A2

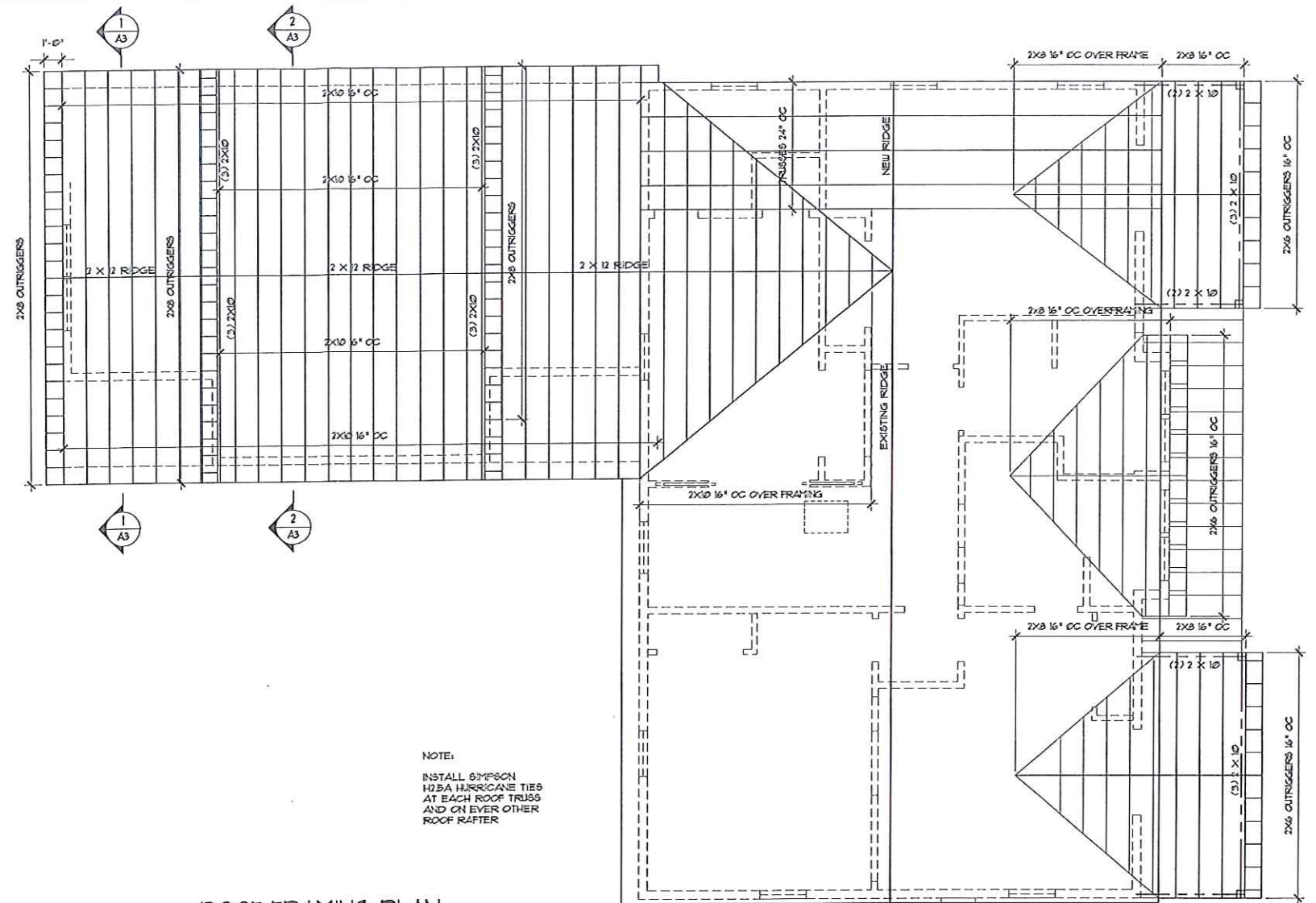


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HARABEDIAN RESIDENCE
13 OLD HAMILTON ROAD
STURBRIDGE, MASSACHUSETTS
ROOF FRAMING PLAN
SECTIONS AND ELEVATIONS

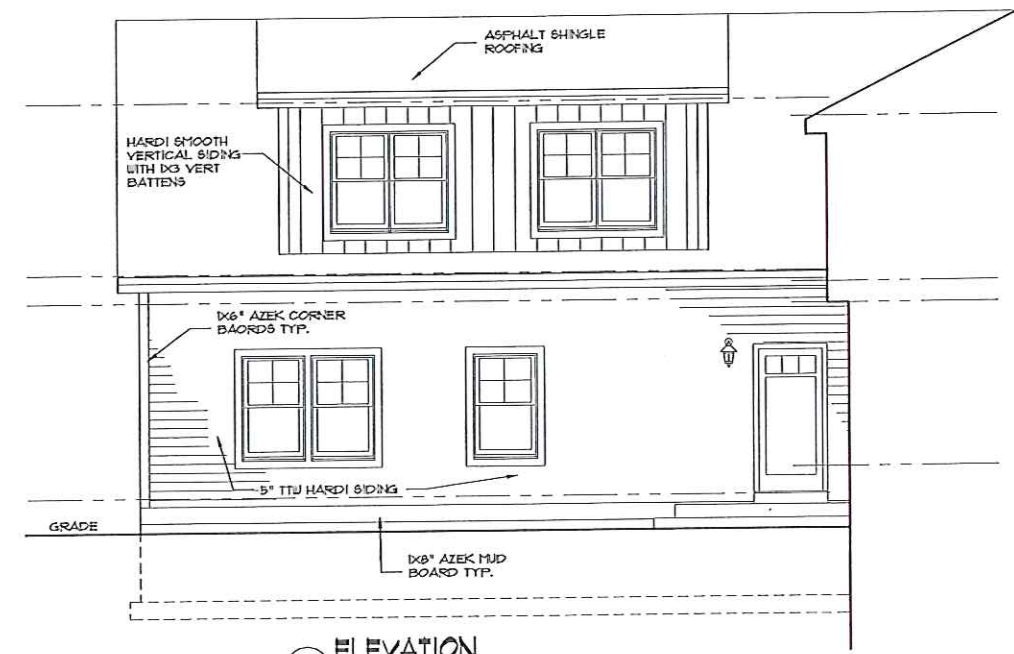


C ELEVATION
SCALE: 1/4" = 1'-0"

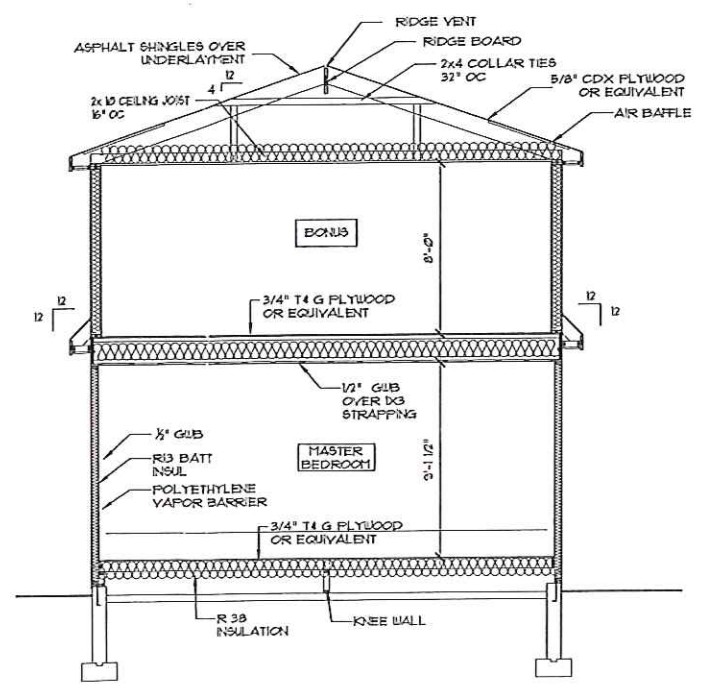


NOTE:
INSTALL SIMPSON
H2BA HURRICANE TIES
AT EACH ROOF TRUSS
AND ON EVERY OTHER
ROOF RAFTER

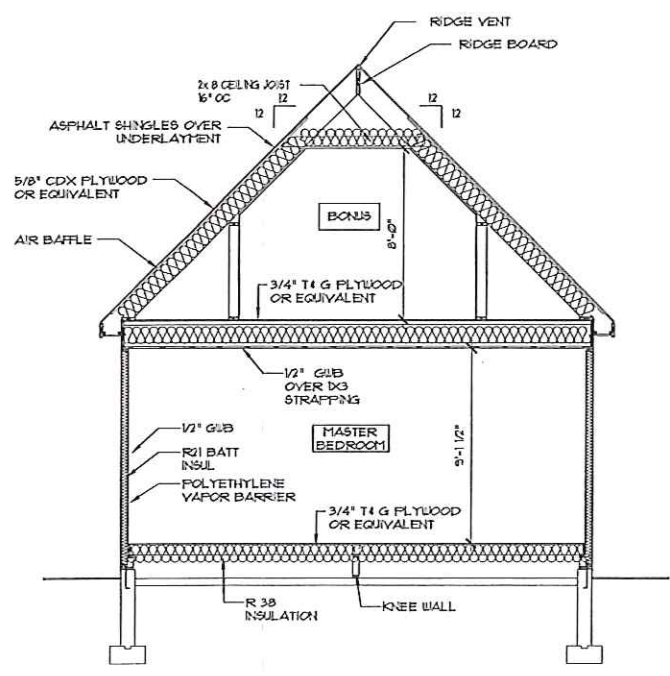
A ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



B ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

ID	DATE	BY	DESCRIPTION
1	02/26/18	SRF	PROGRESS REVIEW
2	04/25/18	SRF	PERMIT

17-059
SCALE: AS NOTED
DRAWN BY: SRF

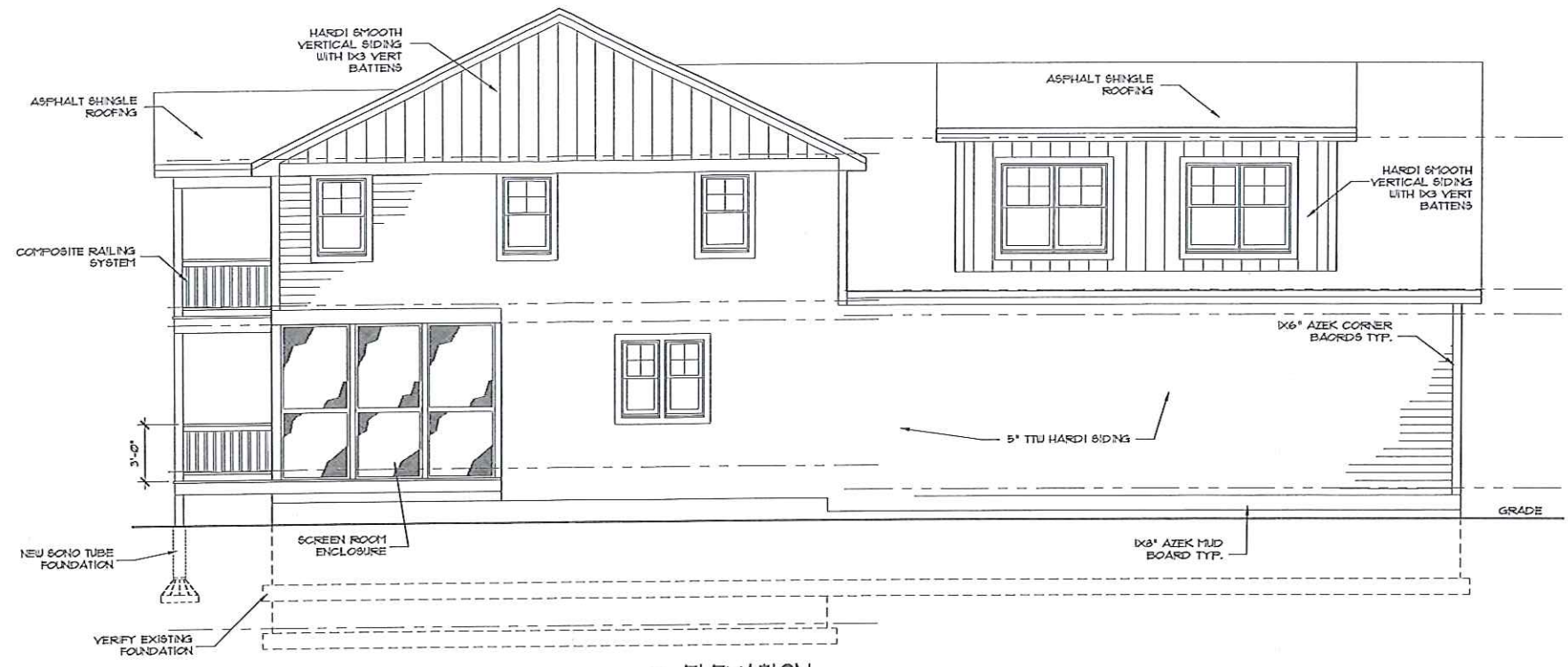
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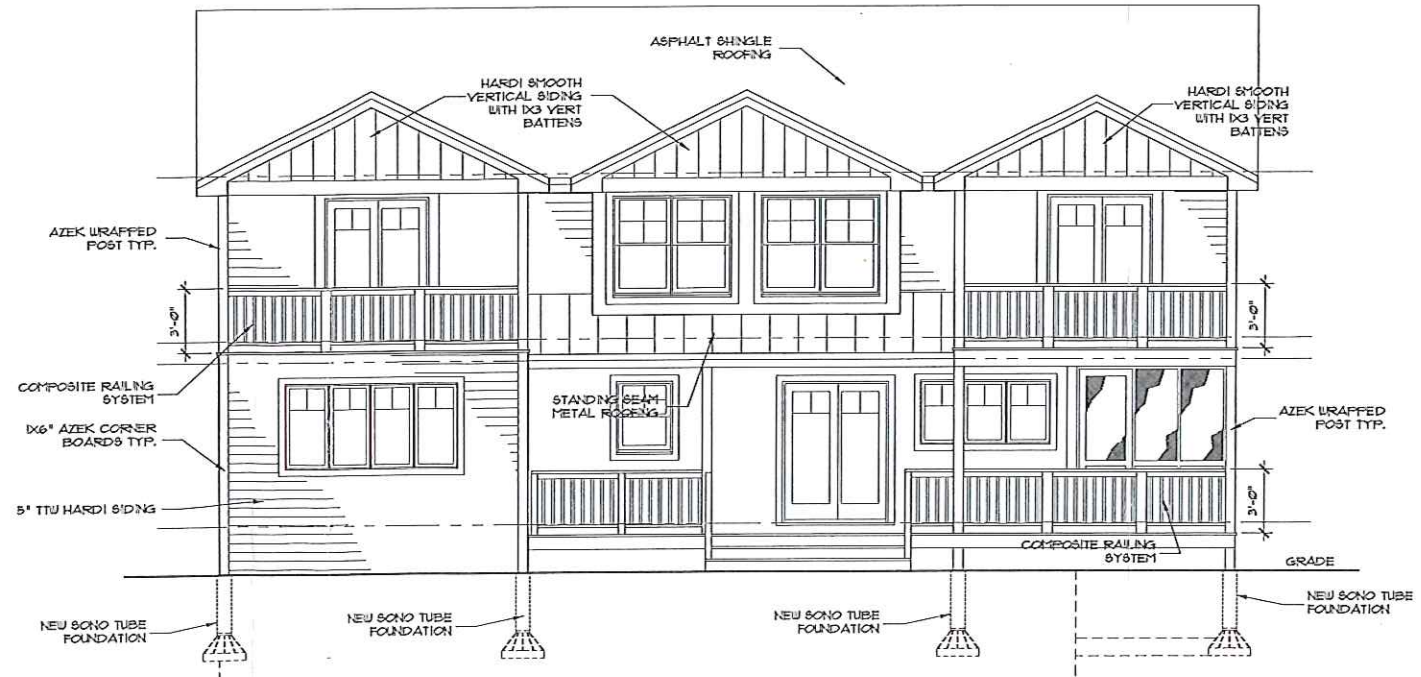
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HARABEDIAN RESIDENCE
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STURBRIDGE, MASSACHUSETTS

ELEVATIONS



A ELEVATION



B ELEVATION

ID	DATE	BY	DESCRIPTION
D	04/21/16	SFF	PERMIT
A	09/26/16	SFF	PROCESS REVIEW

17-059
SCALE: AS NOTED
DRAWN BY: SFF
DRAWING NO. **A4**