



Town of Sturbridge Planning Board

Charles Blanchard
David Bourbeau
Brad Goodwin
Dane LaBonte
Wally Hersee
Taylor Stedman
Susan Waters

Jean M. Bubon, Town Planner

PLANNING BOARD NOTICE OF DECISION SITE PLAN APPROVAL

Date: March 27, 2024

Applicant: Rona Tsantinis-Roy
226 Roy Road
Fiskdale, MA 01518

Phone: (508)864-1100

Owner: Tsantinis, LLC
226 Roy Road
Fiskdale, MA 01518

Parcel Information: Assessor's Map 592-02435-005
Book 70187 Page 362

Zoning Designation: Commercial Tourist District

Property Location: 5 Snell Street

Description of Request: The applicant is requesting Site Plan Approval on the property located at 5 Snell Street to change the use of the existing structure to a mixed-use retail and residential use and to continue use of the pre-existing non-conforming parking lot. The existing residential unit upstairs will remain and the unit downstairs will be converted into a small retail shop containing 873 square feet. In accordance with the plans and application submitted, the only exterior changes will be the construction of a handicap ramp, new signage, and the relocation of the existing wooden planters to accommodate the full length of the parking spaces on site. No new pavement or grading is required or proposed. The existing parking lot contains five (5) pre-existing parking spaces and the applicant has a shared parking agreement with 428 Main Street for three (3) spaces for a total of eight spaces where 6 are required.

The following information was submitted as part of the Special Permit/Site Plan Approval application on February 14, 2024

- An application for Site Plan Review;
- Filing fee;
- A certified list of abutters;
- A plan entitled: "Proposed Plot Plan of Map 2435, Lot 5 – Prepared for Josh Roy & Rona Tsantinis-Roy – 5 Snell Street, Town of Sturbridge, Worcester County

Commonwealth of Massachusetts”, prepared by Levesque Geomatics, Inc. (43 Glendale Road, Sturbridge, MA 01566), dated 2/20/24 revised through 3/8/24 (sheets 1 of 1);

- A plan entitled “Existing Conditions Plot Plan of Map 2435, Lot 5 – prepared for Josh Roy & Rona Tsantinis-Roy – 5 Snell Street, Town of Sturbridge, Worcester County Commonwealth of Massachusetts”, prepared by Levesque Geomatics, Inc. (43 Glendale Road, Sturbridge, MA 01566), dated 2/20/24 revised through 3/8/24, (sheets 1 of 1);
- Three sheets – undated showing existing conditions, proposed wall changes and proposed shop floor layout;
- A document entitled “Parking Lot Use Agreement” which represents a by-right Shared Parking Agreement for three parking spaces with Village Primitives located at 428 Main Street.

Staff Comments Submitted and Reviewed:

- Town Planner Report dated March 21, 2024;
- Staff Comments were received from:
 - Heather Blakely, DPW Director dated February 21, 2024;
 - Earl Dessert, Chief of Police dated February 21, 2024;
 - Lt. Jen Ashe, Fire Inspector dated February 23, 2024;
 - Rebecca Gendreau, Conservation Agent dated February 29, 2024;
 - Nelson Burlingame, Building Inspector dated March 14, 2024.

Applicable Section of Zoning By-Law: Site Plan Approval – Article XIX

Date of Meetings: March 26, 2024

Members Present: Charles Blanchard, Dave Bourbeau, Taylor Stedman, Susan Waters and Wally Hersee (Virtual)

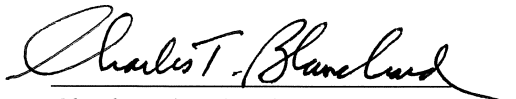
Vote:

At the Planning Board meeting of March 26, 2024, a motion was made by Susan Waters, seconded by Dave Bourbeau and voted 5-0, the Board voted to grant the Site Plan Approval to allow the change the use of the existing structure to a mixed-use pottery retail shop and residential use and to continue use of the pre-existing non-conforming parking lot at the property located at 5 Snell Street in accordance with the plans and materials submitted subject to the following conditions:

1. All construction and site improvements shall be in conformance with the plans and specifications submitted and approved by the Planning Board.
2. All State and Local Zoning Bylaws, Building Codes and other Regulations must be adhered to.
3. All other necessary permits and approvals must be obtained prior to the start construction.

4. The site shall be kept in a neat and orderly condition throughout the construction process.
5. Exterior construction shall only occur during the hours of 7:00 am to 7:00 pm Monday through Friday and 8:00 am to Noon on Saturday. No exterior construction shall occur on Sundays or the following holidays – New Year’s Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
6. An emergency contact phone list with at least two names and numbers on it be supplied to the Sturbridge Police Dept. and Planning Department to be used by the dispatchers, in case of an off hour emergency, prior to the start of the project. The list must be updated whenever necessary for the duration of the project.
7. The applicant shall notify the Planning Department office forty-eight hours prior to the start of construction.
8. In the event that a shared parking agreement is terminated, the applicant shall notify the Planning Board within 14 days and do one of the following:
 - a. Provide at least 50% of the required parking within 60 days and provide the remaining required parking within six months following termination of the shared use agreement; or
 - b. Demonstrate to the Planning Board, using a study deemed reliable by the Board, that the available parking is sufficient to accommodate the use’s peak parking demand.

Approval has been limited to matters of Site Plan Review only and not to construction details. Any persons aggrieved by a decision of the Planning Board may appeal to the Superior Court in accordance with the General Laws, Chapter 40A, Section 17.


Charles Blanchard, Chair

3/27/24
Date Filed

cc: Nelson Burlingame, Building Inspector