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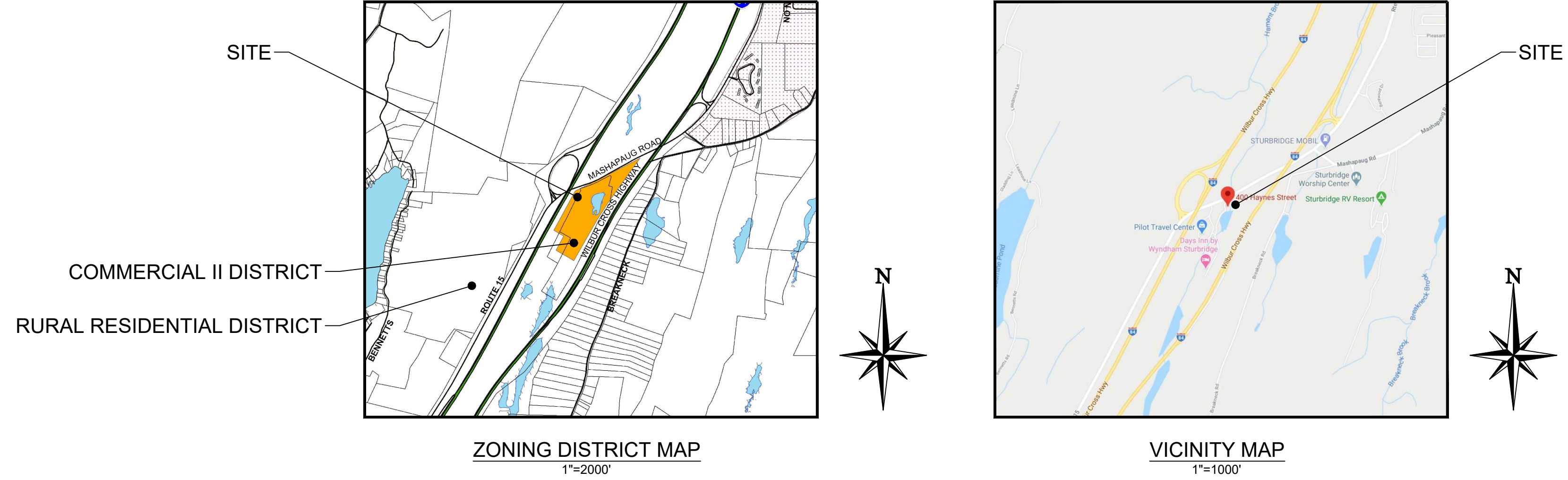
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SITE PLAN FOR PILOT TRAVEL CENTERS

400 HAYNES STREET BOOK 35851, PAGE 0275 TOWN OF STURBRIDGE WORCESTER COUNTY, MASSACHUSETTS



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NOTE

THE PURPOSE OF THESE DRAWINGS IS TO REVIEW AND EVALUATE IMPACTS OF THE PROPOSED RENOVATIONS TO THIS SITE AS IT RELATES TO THE MASSACHUSETTS WETLANDS PROTECTION ACT AND THE STURBRIDGE WETLAND PROTECTION BY-LAW.

CORE STATES GROUP

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DOCUMENTS PREPARED BY CORE STATES, INC., INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

PILOT TRAVEL CENTERS LLC.

5508 LONAS ROAD
 KNOXVILLE, TN 37909

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY CONSTRUCTION. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION AND DEPTH OF UTILITIES. THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR (811) PRIOR TO ANY CONSTRUCTION. ANY DAMAGE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT

SITE LOCATION

400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL

INTERIM REVIEW DOCUMENT

Not intended for bidding, permitting or construction purposes

Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE

COVER SHEET

JOB #: PIL-XXXXX
 DATE: 02/10/20
 SCALE: NTS
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.

C-1

GENERAL SITE NOTES

- 1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
12. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE.
13. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION.
14. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN.
15. PROVIDE TEMPORARY CHAIN LINK FENCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE AREA OF CONSTRUCTION.
16. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC.
21. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC.
25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK.
27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER FDEP GENERIC PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE.
30. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION.
31. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE TOWN/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS (IF APPLICABLE) AT THE AREA ADJACENT TO THE PROPOSED BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN OF ALL UTILITIES.
13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
14. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
15. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
16. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
17. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS.
18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
19. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS.
20. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
21. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT.
22. AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWN/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
24. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE.

- 25. TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
26. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
27. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH HOSE CONNECTIONS FACING THE BUILDING.
28. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE TOWN/COUNTY AND/OR FIRE DEPARTMENT.
29. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
30. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
31. CONNECTION INTO A EXISTING TOWN/COUNTY OWNED SYSTEM SHALL BE VIA A WET TAP. WET TAPS SHALL BE PERFORMED BY THE UTILITY SERVICE COMPANY AT THE CONTRACTOR'S EXPENSE.
32. THE UTILITIES SERVICE COMPANY SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ONSITE.
33. ALL SANITARY SEWER WORK SHALL BE COORDINATED WITH THE VILLAGE OF NEW PALTZ SEWER INSPECTOR.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER.
8. TO CREATE A SECURE BARRIER AROUND THE PERIMETER OF THE SITE DURING THE CONSTRUCTION PHASE, CONTRACTOR IS TO INSTALL A TEMPORARY CHAIN LINK FENCE IN COMPLIANCE WITH ASTM A-392-06.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC.
11. CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE TOWNSHIP UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE BUILDING AND SITE.
12. DAMAGE TO ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
13. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE AND FEDERAL AIR QUALITY STANDARDS.
14. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE OTHER SITE PLANS AND GEOTECHNICAL DOCUMENTS NECESSARY TO COMPLETE THE DEMOLITION AND SITE IMPROVEMENTS.
15. ALL EXPOSED SOILS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY, UNTIL NEXT PHASE OF CONSTRUCTION.
16. THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGED UTILITY LINES CROSSING THE SITE UPON IMPACT.
17. ALL EXPOSED SOILS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY, UNTIL NEXT PHASE OF CONSTRUCTION.
18. THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGED UTILITY LINES CROSSING THE SITE UPON IMPACT.

GENERAL EROSION NOTES

- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP.
D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REGULATIONS OR MANUAL OF PRACTICE, AS APPLICABLE.
E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
J. DUST ON THE SITE SHALL BE CONTROLLED.
K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS.
L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SODDED.
O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD.
P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION, AND POLLUTANT DISCHARGE.
U. SOIL TYPES LISTED ARE BASED ON HISTORICAL DATA. GENERAL CONTRACTOR IS TO REFER TO GEOTECHNICAL REPORT FOR CURRENT SUBSURFACE CONDITIONS.

MAINTENANCE

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE.
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY.



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CLIENT
PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909

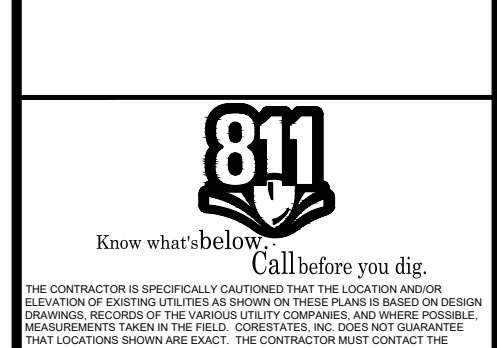


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DOCUMENT

SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
Name: ALAN D ROSCOE, P.E.
State: MASSACHUSETTS
PE No.: 40163
Date: 02/27/2020

SHEET TITLE
GENERAL NOTES
JOB #: PIL-XXXXX
DATE: 02/10/20
SCALE: NTS
DRAWN BY: MP
CHECKED BY: KGF

SHEET NO.
C-2

ZONING DATA COMMERCIAL II ZONING DISTRICT				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
LOT SIZE (AC.)	1	30.71	30.71	COMPLIANT
LOT FRONTAGE (FT.)	150	319.64	319.64	COMPLIANT
STREET SETBACK (FT.)	25 ⁽¹⁾	124.165	142.86	COMPLIANT
OTHER SETBACK (FT.)	10	113.69	81.03	COMPLIANT
MAXIMUM LOT COVERAGE	30	-	-	-
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	3/35	1.75/X	1/26	COMPLIANT
MAXIMUM IMPERVIOUS SURFACE (%)	70	-	-	-
MINIMUM HABITABLE FLOOR AREA (S.F.)	750	-	-	-

(1) STREET LINE SETBACKS APPLY TO ALL STREETS FORMING CORNER LOTS.

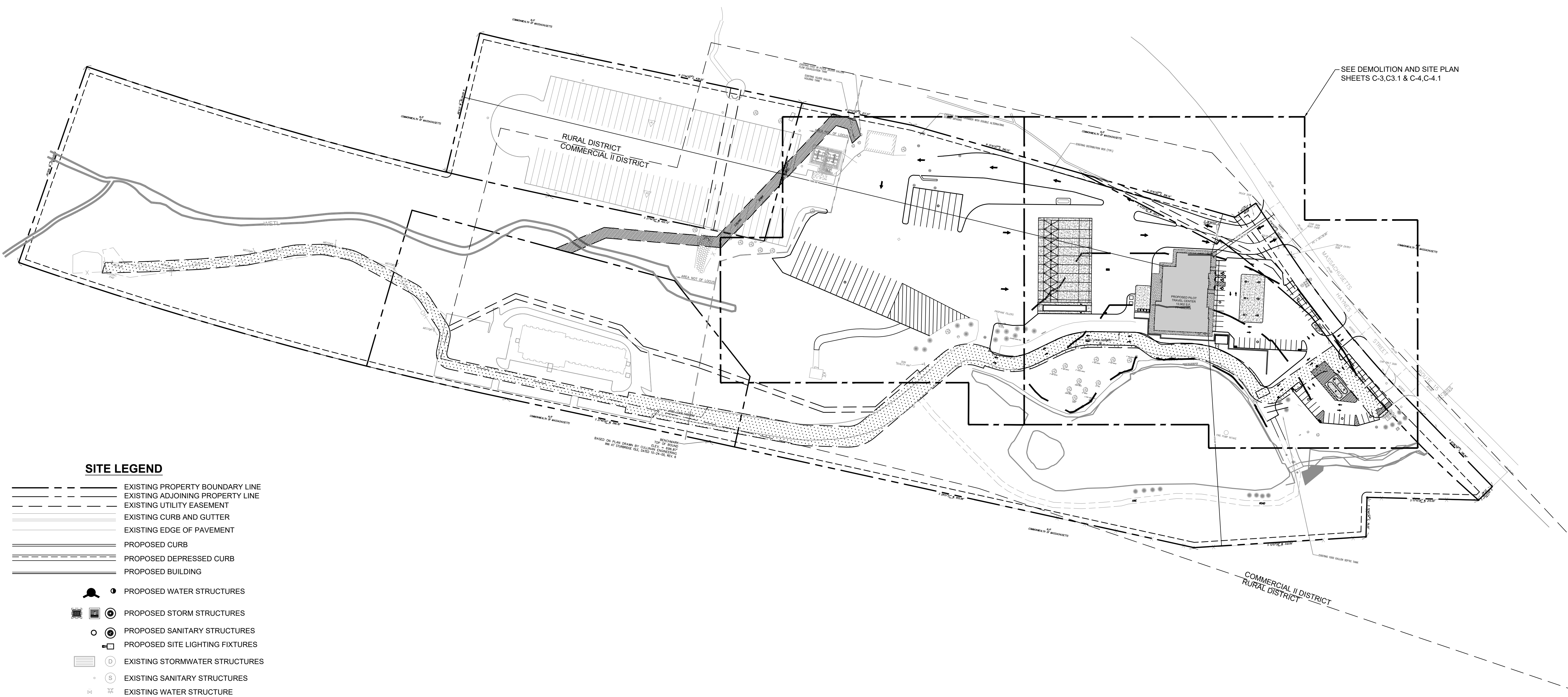
IMPERVIOUS CALCULATION:

EXISTING CONDITIONS:
 IMPERVIOUS AREA = 333,722 SF

PROPOSED CONDITIONS:
 IMPERVIOUS AREA = 289,677 SF

REDUCTION OF IMPERVIOUS AREA = 44,045 SF

** CALCULATION BASED ON LIMITS OF DISTURBANCE



SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING

- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- ▭ EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- ⊗ EXISTING WATER STRUCTURE
- ⊗ PROPOSED PARKING COUNT

CORE STATES GROUP

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 PHONE (617) 576-0007
 ARSCOE@CORE-STATES.COM

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CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

811
 Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE RECORD PLANS OF THE PROJECT. CONTRACTOR IS ADVISED THAT FIELD MEASUREMENTS TAKEN IN THE FIELD BY CONTRACTOR ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY CONSTRUCTION.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT

Not intended for bidding, permitting or construction purposes

Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

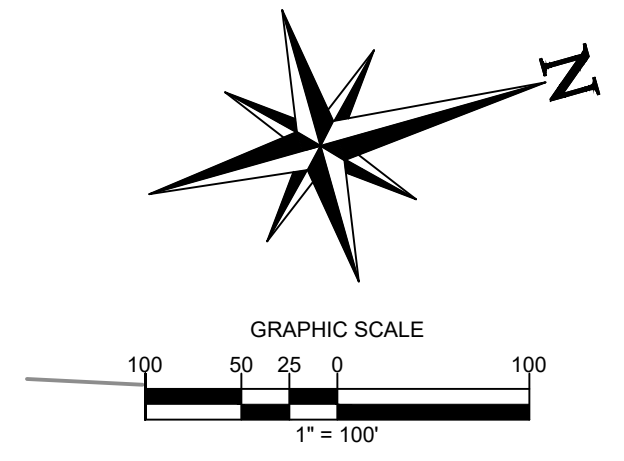
SHEET TITLE
OVERALL SITE PLAN

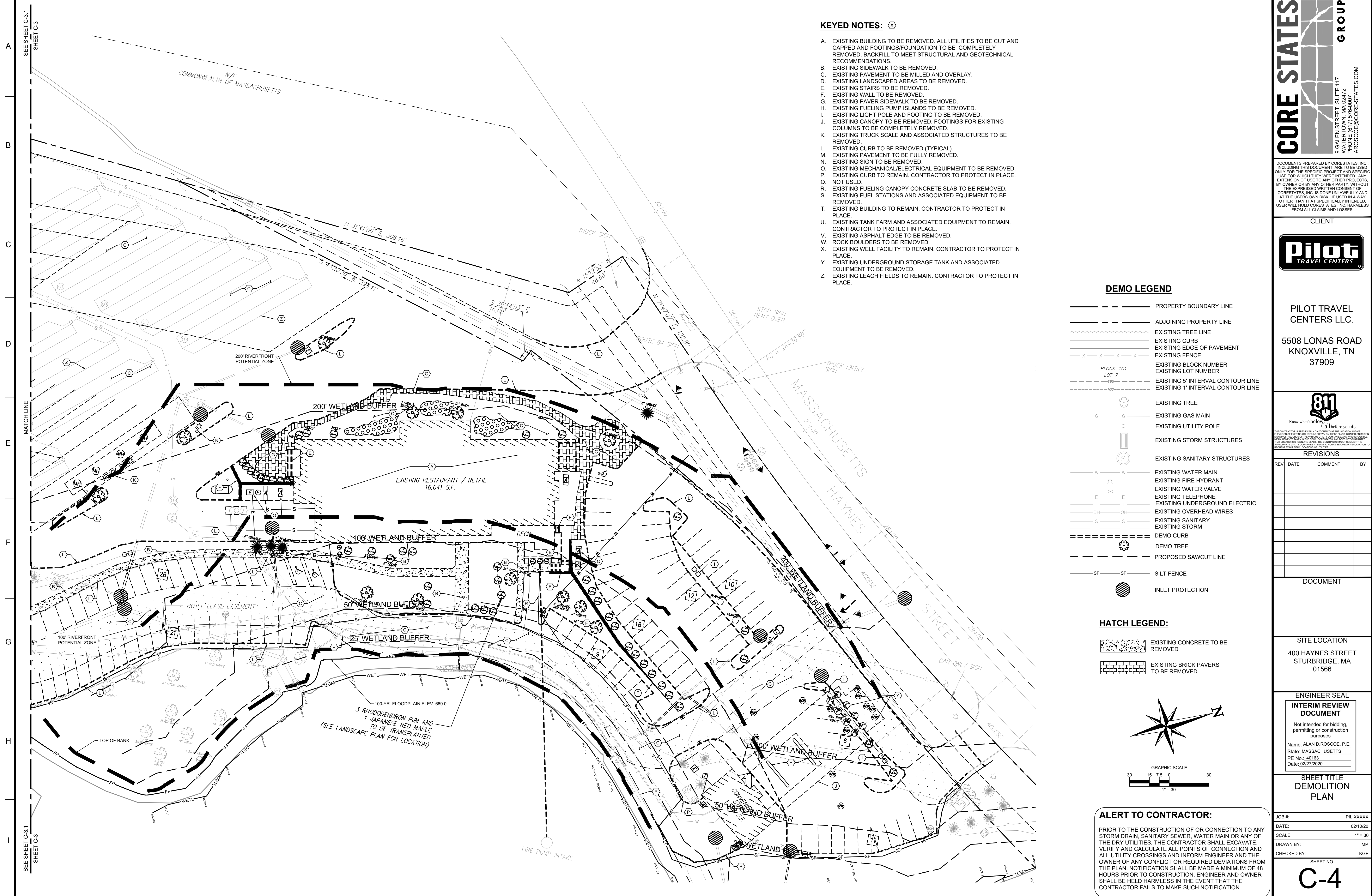
JOB #: P1L-XXXXX
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
C-3

ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.





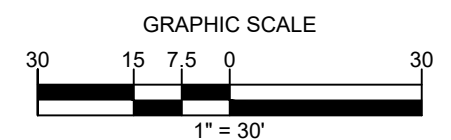
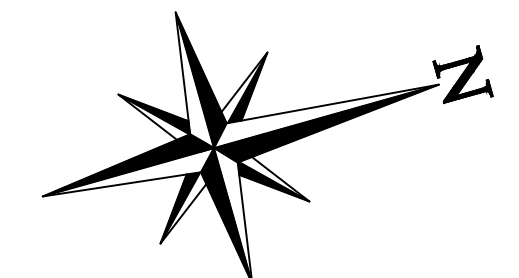
- KEYED NOTES:** (X)
- A. EXISTING BUILDING TO BE REMOVED. ALL UTILITIES TO BE CUT AND CAPPED AND FOOTINGS/FOUNDATION TO BE COMPLETELY REMOVED. BACKFILL TO MEET STRUCTURAL AND GEOTECHNICAL RECOMMENDATIONS.
 - B. EXISTING SIDEWALK TO BE REMOVED.
 - C. EXISTING PAVEMENT TO BE MILLED AND OVERLAY.
 - D. EXISTING LANDSCAPED AREAS TO BE REMOVED.
 - E. EXISTING STAIRS TO BE REMOVED.
 - F. EXISTING WALL TO BE REMOVED.
 - G. EXISTING PAVER SIDEWALK TO BE REMOVED.
 - H. EXISTING FUELING PUMP ISLANDS TO BE REMOVED.
 - I. EXISTING LIGHT POLE AND FOOTING TO BE REMOVED.
 - J. EXISTING CANOPY TO BE REMOVED. FOOTINGS FOR EXISTING COLUMNS TO BE COMPLETELY REMOVED.
 - K. EXISTING TRUCK SCALE AND ASSOCIATED STRUCTURES TO BE REMOVED.
 - L. EXISTING CURB TO BE REMOVED (TYPICAL).
 - M. EXISTING PAVEMENT TO BE FULLY REMOVED.
 - N. EXISTING SIGN TO BE REMOVED.
 - O. EXISTING MECHANICAL/ELECTRICAL EQUIPMENT TO BE REMOVED.
 - P. EXISTING CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - Q. NOT USED.
 - R. EXISTING FUELING CANOPY CONCRETE SLAB TO BE REMOVED.
 - S. EXISTING FUEL STATIONS AND ASSOCIATED EQUIPMENT TO BE REMOVED.
 - T. EXISTING BUILDING TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - U. EXISTING TANK FARM AND ASSOCIATED EQUIPMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - V. EXISTING ASPHALT EDGE TO BE REMOVED.
 - W. ROCK BOULDERS TO BE REMOVED.
 - X. EXISTING WELL FACILITY TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - Y. EXISTING UNDERGROUND STORAGE TANK AND ASSOCIATED EQUIPMENT TO BE REMOVED.
 - Z. EXISTING LEACH FIELDS TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

DEMO LEGEND

- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO TREE
- PROPOSED SAWCUT LINE
- SF --- SILT FENCE
- INLET PROTECTION

HATCH LEGEND:

- [Hatch] EXISTING CONCRETE TO BE REMOVED
- [Hatch] EXISTING BRICK PAVERS TO BE REMOVED



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 ARCSOC@CORE-STATES.COM

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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

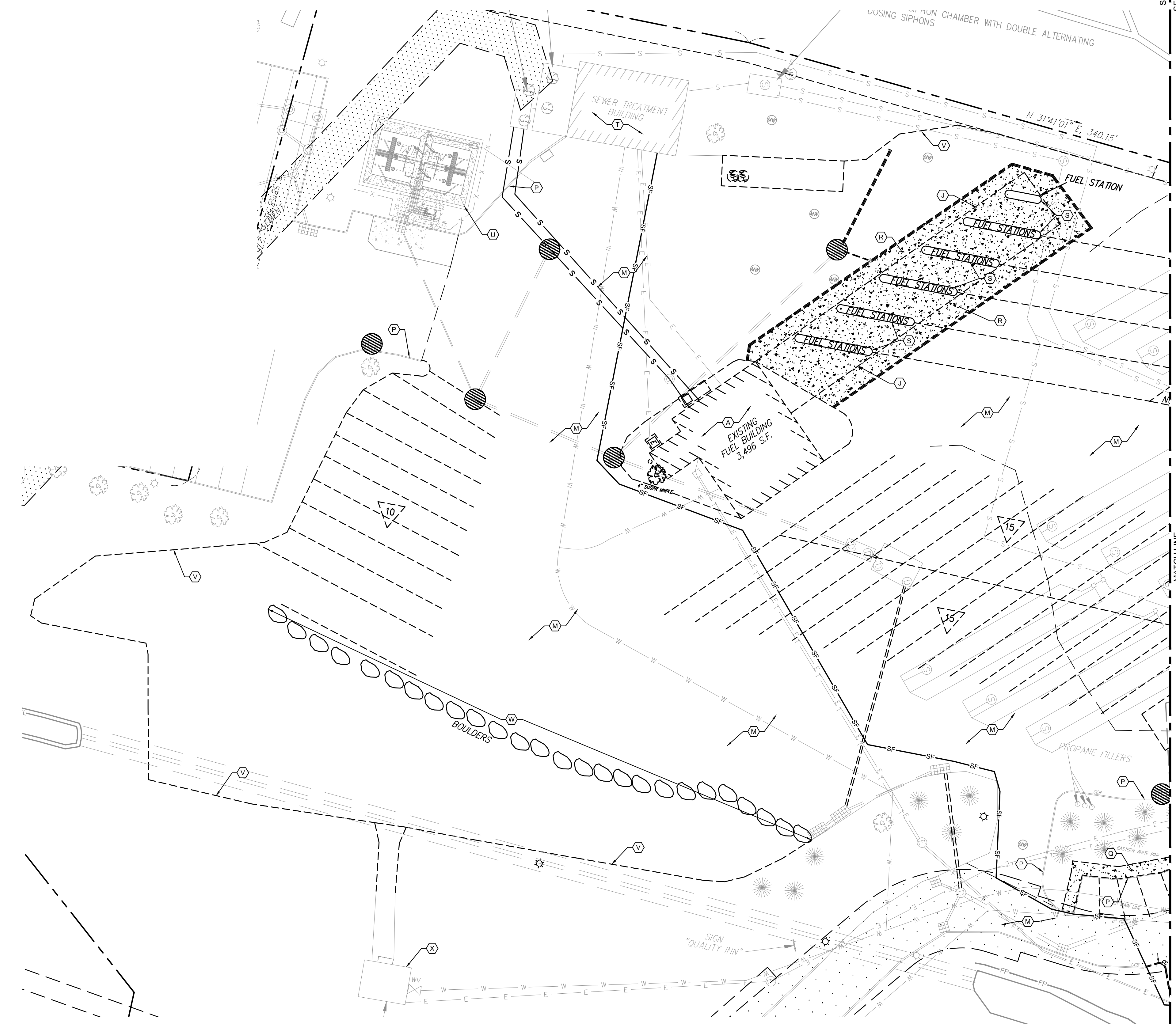
SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
 Not intended for bidding, permitting or construction purposes
 Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
 DEMOLITION PLAN

JOB #:	PIL-XXXXX
DATE:	02/10/20
SCALE:	1" = 30'
DRAWN BY:	MP
CHECKED BY:	KGF

SHEET NO.
C-4



KEYED NOTES: (X)

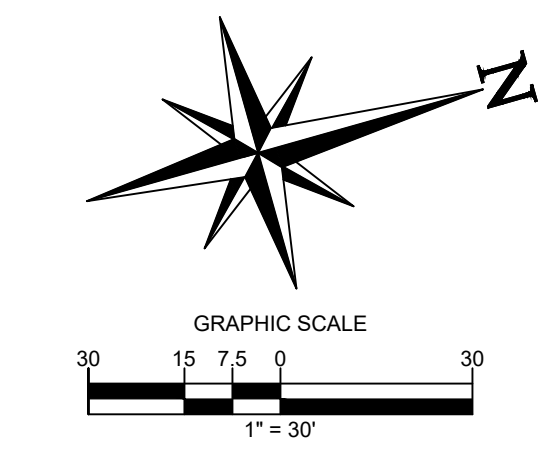
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- N. EXISTING SIGN TO BE REMOVED.
- O. EXISTING MECHANICAL/ELECTRICAL EQUIPMENT TO BE REMOVED.
- P. EXISTING CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Q. NOT USED.
- R. EXISTING FUELING CANOPY CONCRETE SLAB TO BE REMOVED.
- S. EXISTING FUEL STATIONS AND ASSOCIATED EQUIPMENT TO BE REMOVED.
- T. EXISTING BUILDING TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
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- Z. EXISTING LEACH FIELDS TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

DEMO LEGEND

- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- X-X-X-X EXISTING FENCE
- BLOCK 101 LOT 7 EXISTING BLOCK NUMBER EXISTING LOT NUMBER
- EXISTING 5' INTERVAL CONTOUR LINE EXISTING 1' INTERVAL CONTOUR LINE
- (T) EXISTING TREE
- (G) EXISTING GAS MAIN
- (U) EXISTING UTILITY POLE
- (S) EXISTING STORM STRUCTURES
- (S) EXISTING SANITARY STRUCTURES
- (W) EXISTING WATER MAIN EXISTING FIRE HYDRANT EXISTING WATER VALVE
- (E) EXISTING TELEPHONE EXISTING UNDERGROUND ELECTRIC
- (OH) EXISTING OVERHEAD WIRES
- (S) EXISTING SANITARY EXISTING STORM
- DEMO CURB
- (T) DEMO TREE
- PROPOSED SAWCUT LINE
- SF-SF SILT FENCE
- (S) INLET PROTECTION

HATCH LEGEND:

- [Hatched] EXISTING CONCRETE TO BE REMOVED
- [Hatched] EXISTING BRICK PAVERS TO BE REMOVED



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PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909

811
Know what's below. Call before you dig.
The contractor is specifically cautioned that the location and/or depth of existing utilities shown on these plans are based on utility records. Records of the records (111) numbers are shown for reference. MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION, DEPTH OR DATE OF THE UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

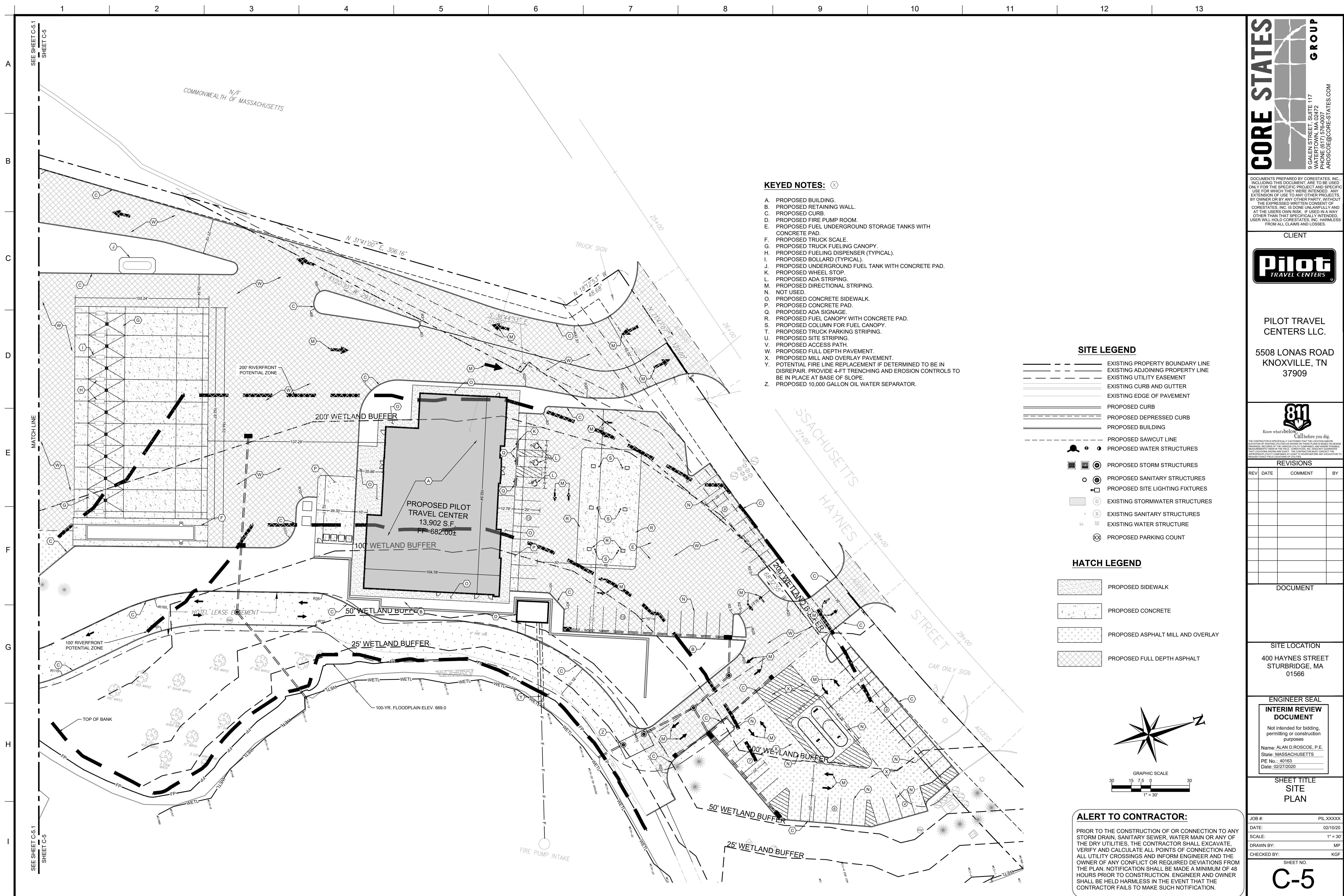
REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
Not intended for bidding, permitting or construction purposes
Name: ALAN D. ROSCOE, P.E.
State: MASSACHUSETTS
PE No.: 40163
Date: 02/27/2020

SHEET TITLE
DEMOLITION PLAN
JOB #: PIL-XXXXX
DATE: 02/10/20
SCALE: 1" = 30'
DRAWN BY: MP
CHECKED BY: KGF
SHEET NO.
C-4.1



KEYED NOTES:

- A. PROPOSED BUILDING.
- B. PROPOSED RETAINING WALL.
- C. PROPOSED CURB.
- D. PROPOSED FIRE PUMP ROOM.
- E. PROPOSED FUEL UNDERGROUND STORAGE TANKS WITH CONCRETE PAD.
- F. PROPOSED TRUCK SCALE.
- G. PROPOSED TRUCK FUELING CANOPY.
- H. PROPOSED FUELING DISPENSER (TYPICAL).
- I. PROPOSED BOLLARD (TYPICAL).
- J. PROPOSED UNDERGROUND FUEL TANK WITH CONCRETE PAD.
- K. PROPOSED WHEEL STOP.
- L. PROPOSED ADA STRIPING.
- M. PROPOSED DIRECTIONAL STRIPING.
- N. NOT USED.
- O. PROPOSED CONCRETE SIDEWALK.
- P. PROPOSED CONCRETE PAD.
- Q. PROPOSED ADA SIGNAGE.
- R. PROPOSED FUEL CANOPY WITH CONCRETE PAD.
- S. PROPOSED COLUMN FOR FUEL CANOPY.
- T. PROPOSED TRUCK PARKING STRIPING.
- U. PROPOSED SITE STRIPING.
- V. PROPOSED ACCESS PATH.
- W. PROPOSED FULL DEPTH PAVEMENT.
- X. PROPOSED MILL AND OVERLAY PAVEMENT.
- Y. POTENTIAL FIRE LINE REPLACEMENT IF DETERMINED TO BE IN DISREPAIR, PROVIDE 4-FT TRENCHING AND EROSION CONTROLS TO BE IN PLACE AT BASE OF SLOPE.
- Z. PROPOSED 10,000 GALLON OIL WATER SEPARATOR.

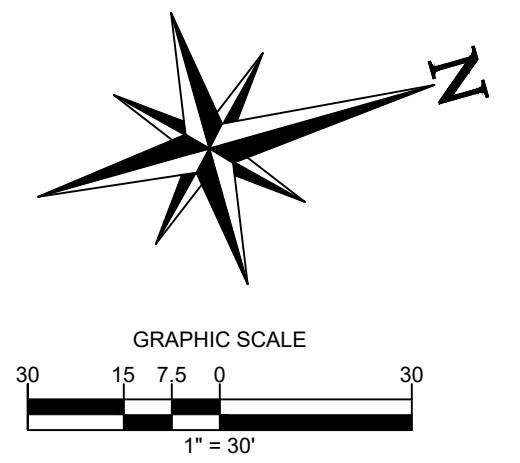
SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED SAWCUT LINE
- PROPOSED WATER STRUCTURES

- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- ⊗ PROPOSED PARKING COUNT

HATCH LEGEND

- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT MILL AND OVERLAY
- ▨ PROPOSED FULL DEPTH ASPHALT



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811
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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
 SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
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 Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
SITE PLAN
 JOB #: PIL-XXXXX
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF
 SHEET NO.
C-5



KEYED NOTES: (X)

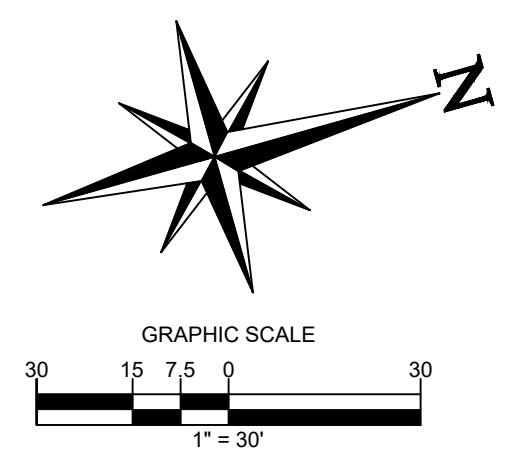
- A. PROPOSED BUILDING.
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SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
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- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED SAWCUT LINE
- PROPOSED WATER STRUCTURES
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- PROPOSED SITE LIGHTING FIXTURES
- ▨ EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- ⊗ EXISTING WATER STRUCTURE
- ⊗ PROPOSED PARKING COUNT

HATCH LEGEND

- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT MILL AND OVERLAY
- ▨ PROPOSED FULL DEPTH ASPHALT



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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
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 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
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C-5.1

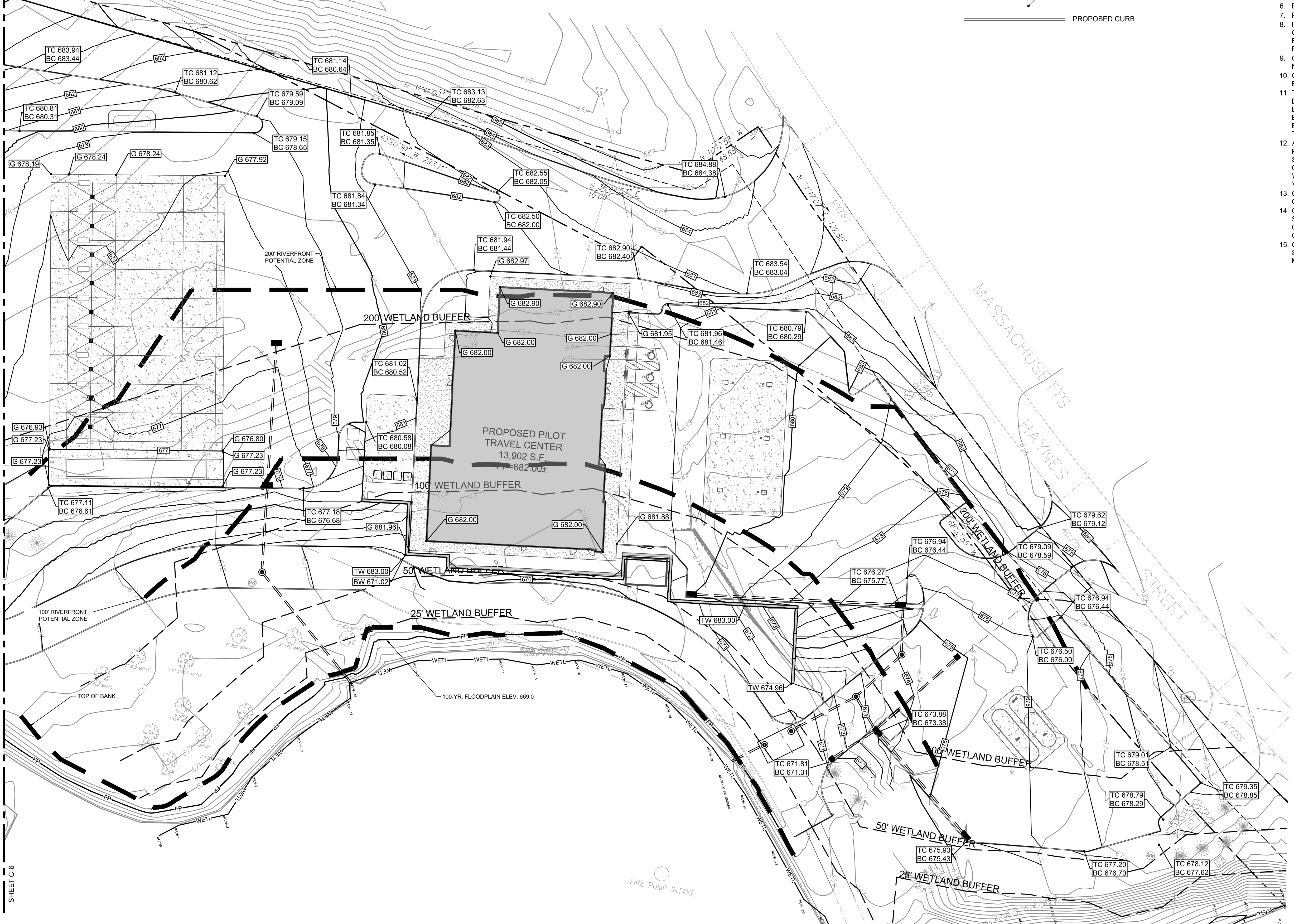
SEE SHEET C-6.1 SHEET C-6
MATCH LINE
SEE SHEET C-6.1 SHEET C-6

SITE LEGEND:

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING CURB
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- G XXX.XX PROPOSED GROUND SPOT SHOTS
- TW XX.XX PROPOSED TOP OF WALL SPOT SHOTS
- BW XX.XX PROPOSED BOTTOM OF WALL SPOT SHOTS
- TC XX.XX ME TOP OF CURB SPOT SHOTS MATCH EXISTING
- PROPOSED CURB

GRADING NOTES:

1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF STATE ISLAND.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
6. EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
7. PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
14. CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
15. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 2% MINIMUM SLOPE IN PAVEMENT AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.



CORE STATES GROUP
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CLIENT
Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

811
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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

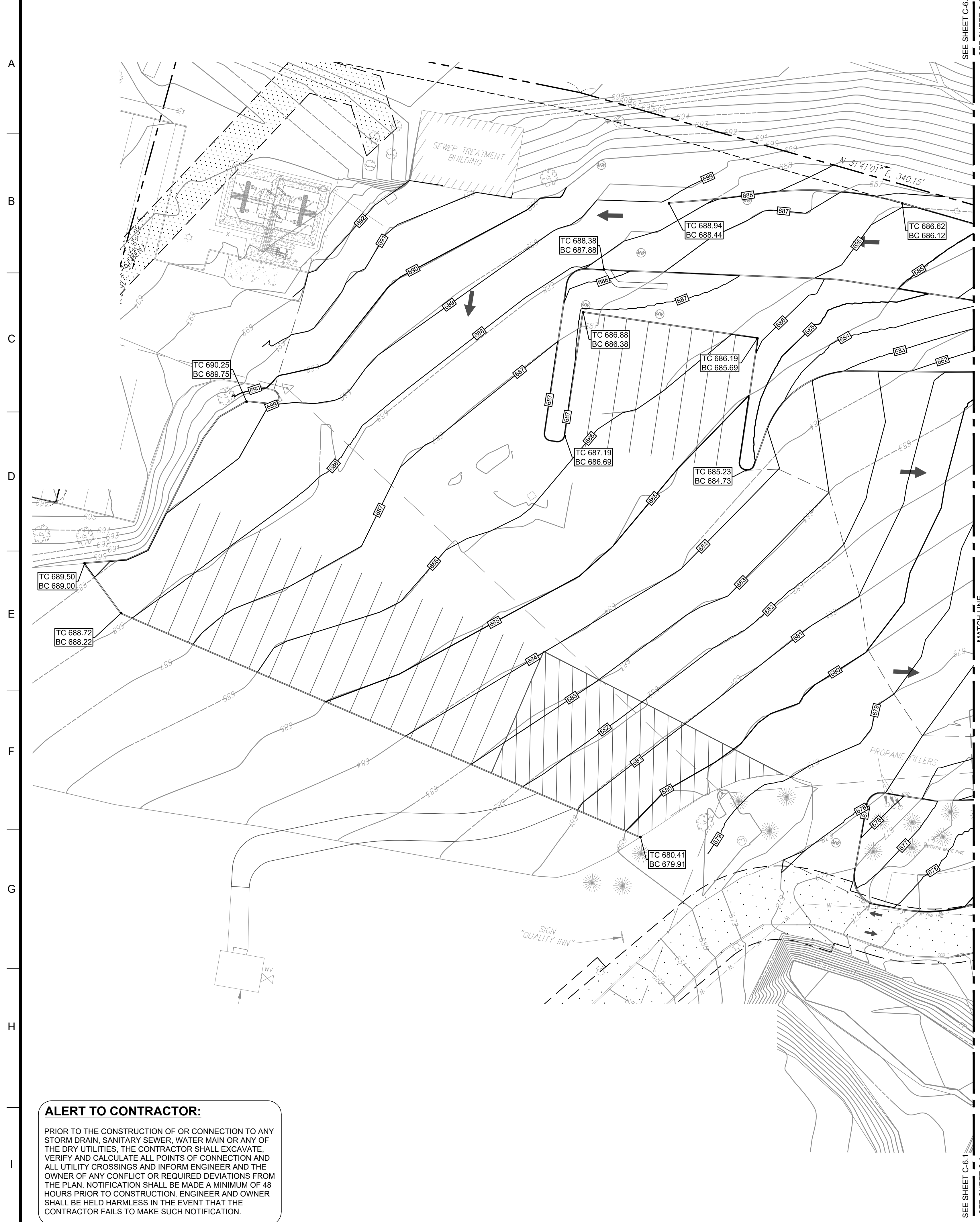
ENGINEER SEAL
INTERIM REVIEW DOCUMENT
 Not intended for bidding, permitting or construction purposes
 Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
GRADING PLAN

JOB #: PIL-XXXXX
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
C-6

ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

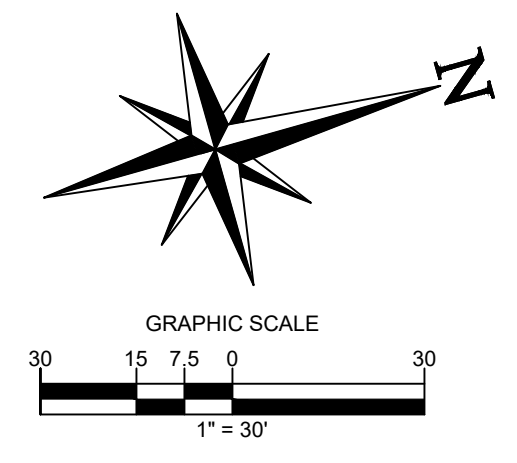


- SITE LEGEND:**
- EXISTING PROPERTY BOUNDARY LINE
 - EXISTING ADJOINING PROPERTY LINE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB
 - EXISTING 5' INTERVAL CONTOUR LINE
 - EXISTING 1' INTERVAL CONTOUR LINE
 - PROPOSED 5' INTERVAL CONTOUR LINE
 - PROPOSED 1' INTERVAL CONTOUR LINE
 - PROPOSED GROUND SPOT SHOTS
 - PROPOSED TOP OF WALL SPOT SHOTS
 - PROPOSED BOTTOM OF WALL SPOT SHOTS
 - TOP OF CURB SPOT SHOTS MATCH EXISTING
 - PROPOSED CURB

- GRADING NOTES:**
1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF STATEN ISLAND.
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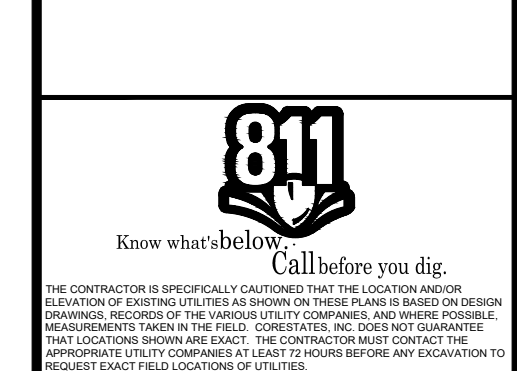
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CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909



REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

SITE LOCATION

400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL

INTERIM REVIEW DOCUMENT

Not intended for bidding, permitting or construction purposes

Name: ALAN D. ROSCOE, P.E.
State: MASSACHUSETTS
PE No.: 40163
Date: 02/27/2020

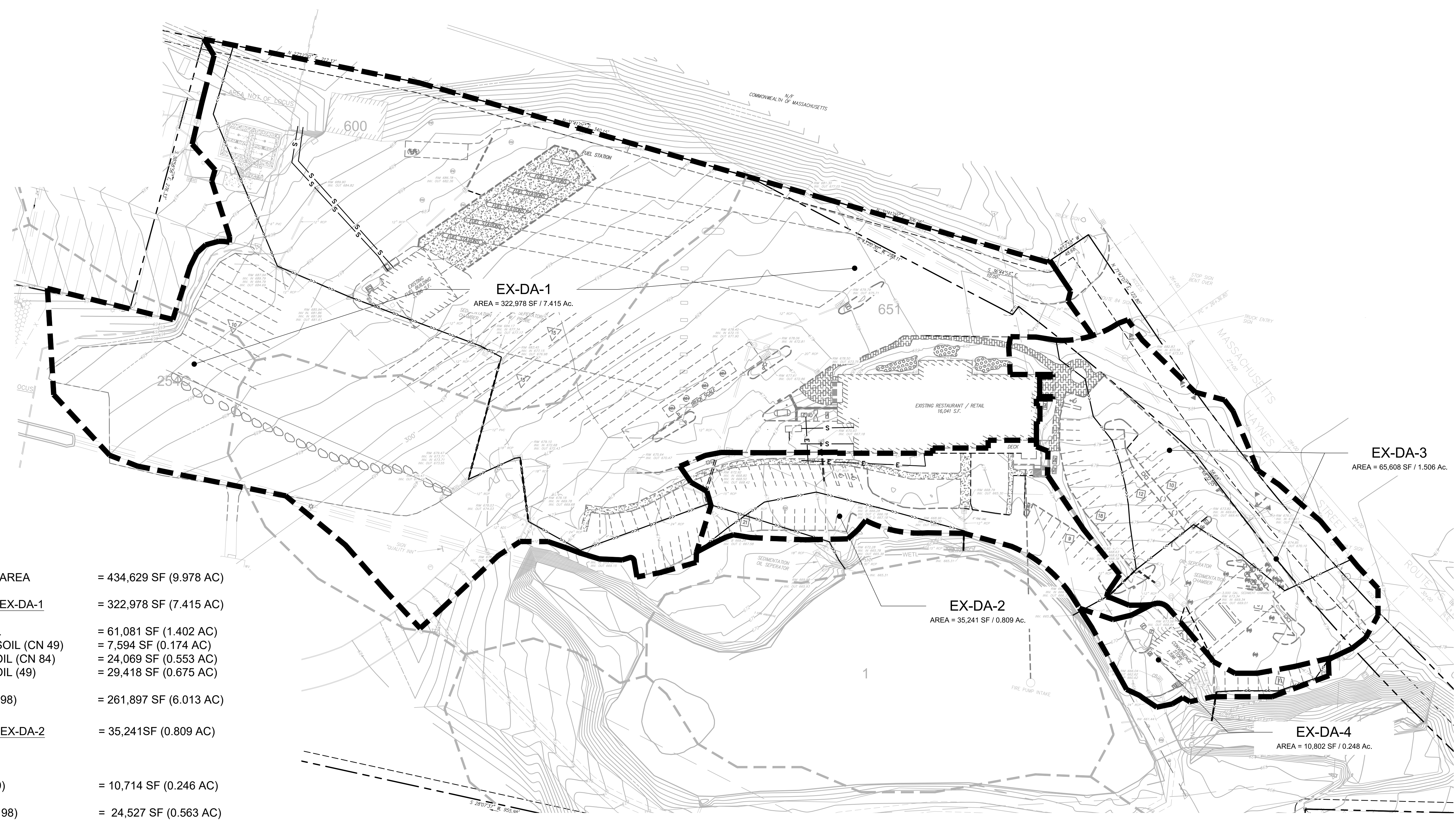
SHEET TITLE

GRADING PLAN

JOB #: PIL-XXXXX
DATE: 02/10/20
SCALE: 1" = 30'
DRAWN BY: MP
CHECKED BY: KGF

SHEET NO.

C-6.1

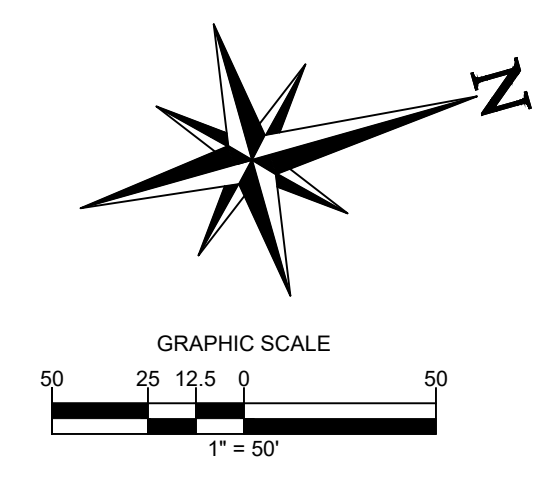


TOTAL PROJECT AREA	= 434,629 SF (9.978 AC)
DRAINAGE AREA EX-DA-1	= 322,978 SF (7.415 AC)
PERVIOUS TOTAL	= 61,081 SF (1.402 AC)
PERVIOUS 254C SOIL (CN 49)	= 7,594 SF (0.174 AC)
PERVIOUS 600 SOIL (CN 84)	= 24,069 SF (0.553 AC)
PERVIOUS 651 SOIL (49)	= 29,418 SF (0.675 AC)
IMPERVIOUS (CN 98)	= 261,897 SF (6.013 AC)
DRAINAGE AREA EX-DA-2	= 35,241 SF (0.809 AC)
SOIL TYPE: 651	
PERVIOUS (CN 49)	= 10,714 SF (0.246 AC)
IMPERVIOUS (CN 98)	= 24,527 SF (0.563 AC)
DRAINAGE AREA EX-DA-3	= 65,608 SF (1.506 AC)
SOIL TYPE: 651	
PERVIOUS (CN 49)	= 26,034 SF (0.598 AC)
IMPERVIOUS (CN 98)	= 39,574 SF (0.908 AC)
DRAINAGE AREA EX-DA-4	= 10,802 SF (0.248 AC)
SOIL TYPE: 651	
PERVIOUS (CN 49)	= 3,078 SF (0.071 AC)
IMPERVIOUS (CN 98)	= 7,724 SF (0.177 AC)

EXISTING DRAINAGE MAP LEGEND

- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION FLOW PATH
- SOIL TYPE BOUNDARY

MAP UNIT SOIL CLASSIFICATION		
MAP UNIT SYMBOL	MAP UNIT NAME	HSG CLASSIFICATION
600	PITS, GRAVEL	D
651	UDORTHENTS, SMOOTHED	A
254C	MERRIMAC FINE SANDY LOAM	A



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 KNOXVILLE, TN 37909

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REVISIONS

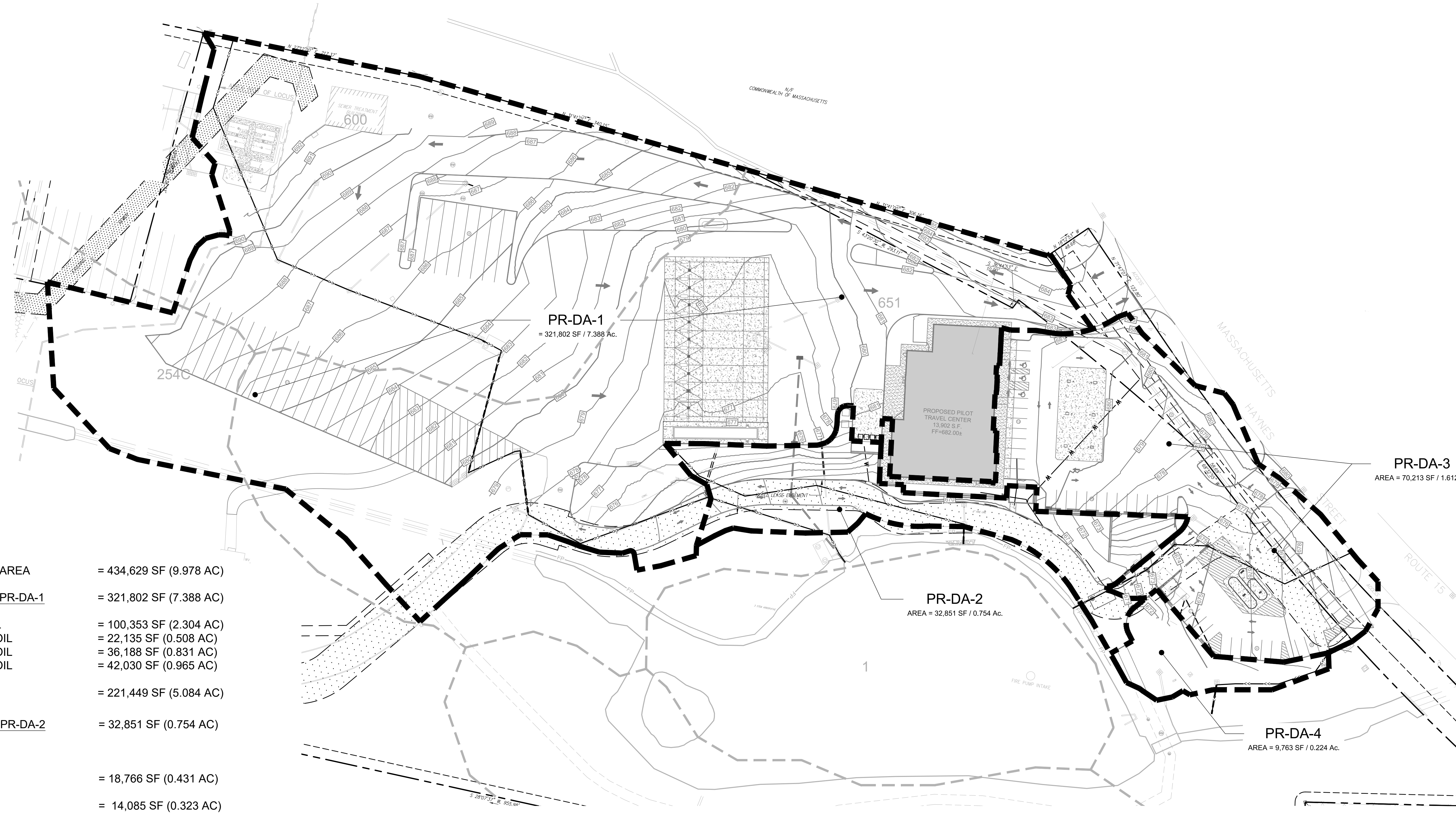
REV	DATE	COMMENT	BY

DOCUMENT
 SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
 Not intended for bidding, permitting or construction purposes
 Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
EXISTING DRAINAGE AREA MAP
 JOB #: P1L_XXXXX
 DATE: 02/10/20
 SCALE: 1" = 50'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
EX-DA



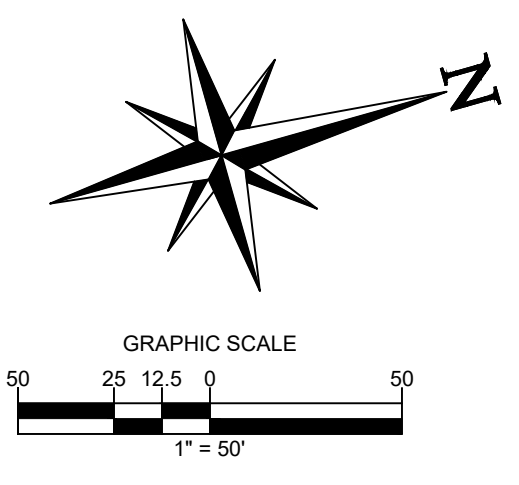
TOTAL PROJECT AREA	= 434,629 SF (9.978 AC)
DRAINAGE AREA PR-DA-1	= 321,802 SF (7.388 AC)
PERVIOUS TOTAL	= 100,353 SF (2.304 AC)
PERVIOUS 254 SOIL	= 22,135 SF (0.508 AC)
PERVIOUS 600 SOIL	= 36,188 SF (0.831 AC)
PERVIOUS 651 SOIL	= 42,030 SF (0.965 AC)
IMPERVIOUS	= 221,449 SF (5.084 AC)
DRAINAGE AREA PR-DA-2	= 32,851 SF (0.754 AC)
SOIL TYPE: 651	
PERVIOUS	= 18,766 SF (0.431 AC)
IMPERVIOUS	= 14,085 SF (0.323 AC)
DRAINAGE AREA PR-DA-3	= 70,213 SF (1.612 AC)
SOIL TYPE: 651	
PERVIOUS	= 16,070 SF (0.369 AC)
IMPERVIOUS	= 54,143 SF (1.243 AC)
DRAINAGE AREA PR-DA-4	= 9,763 SF (0.224 AC)
SOIL TYPE: 651	
PERVIOUS	= 9,763 SF (0.224 AC)
IMPERVIOUS	= 0 SF (0 AC)

EXISTING DRAINAGE MAP LEGEND

- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION FLOW PATH
- SOIL TYPE BOUNDARY

MAP UNIT SOIL CLASSIFICATION

MAP UNIT SYMBOL	MAP UNIT NAME	HSG CLASSIFICATION
600	PITS, GRAVEL	D
651	UDORTHENTS, SMOOTHED	A
254C	MERRIMAC FINE SANDY LOAM	A



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 KNOXVILLE, TN 37909

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REVISIONS

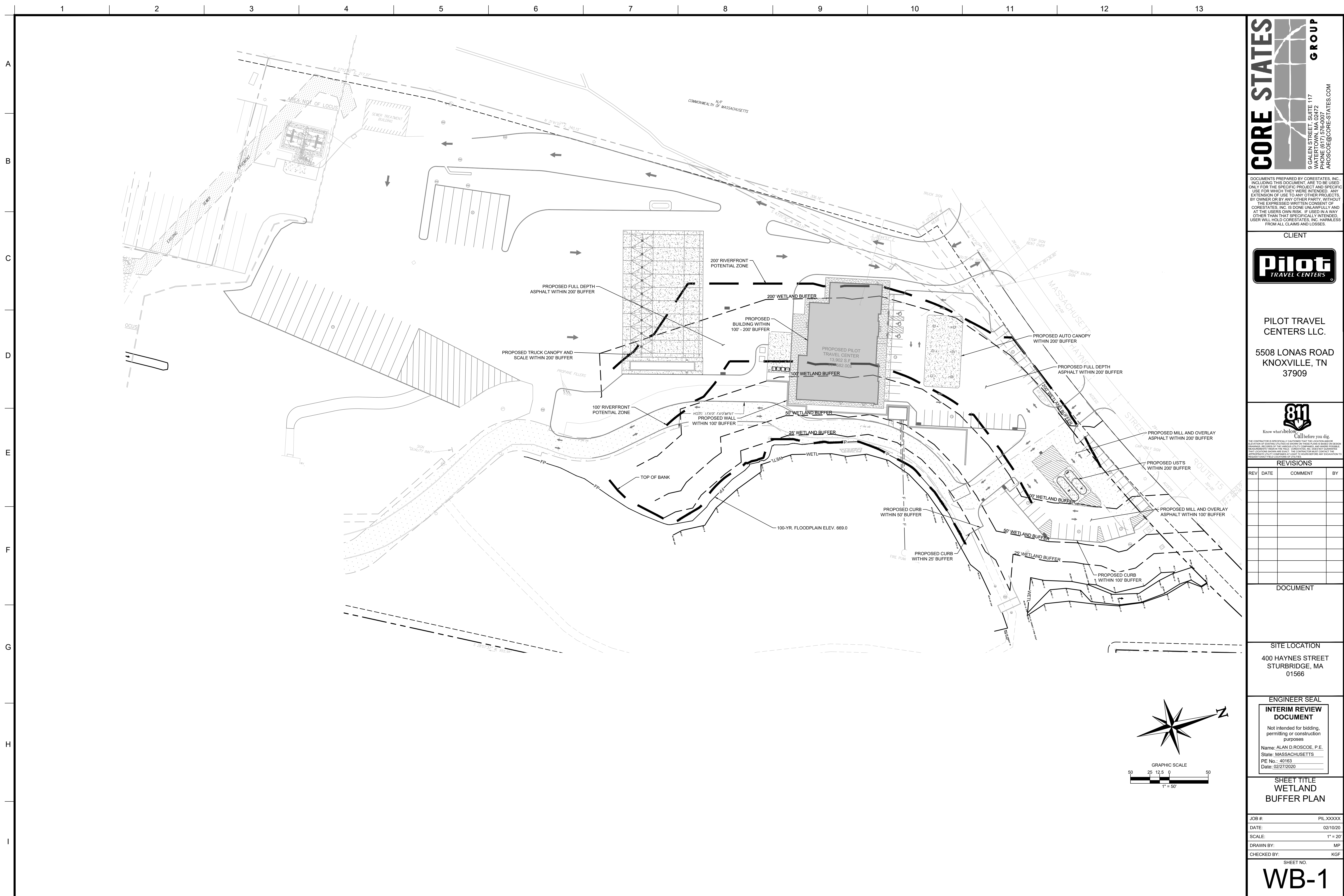
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DOCUMENT
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 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
INTERIM REVIEW DOCUMENT
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 Name: ALAN D. ROSCOE, P.E.
 State: MASSACHUSETTS
 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
PROPOSED DRAINAGE AREA MAP
 JOB #: PIL_XXXXX
 DATE: 02/10/20
 SCALE: 1" = 20'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
PR-DA



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INTERIM REVIEW DOCUMENT
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 Name: ALAN D. ROSCOE, P.E.
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 PE No.: 40163
 Date: 02/27/2020

SHEET TITLE
WETLAND BUFFER PLAN

JOB #: PIL-XXXXX
 DATE: 02/10/20
 SCALE: 1" = 20'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
WB-1