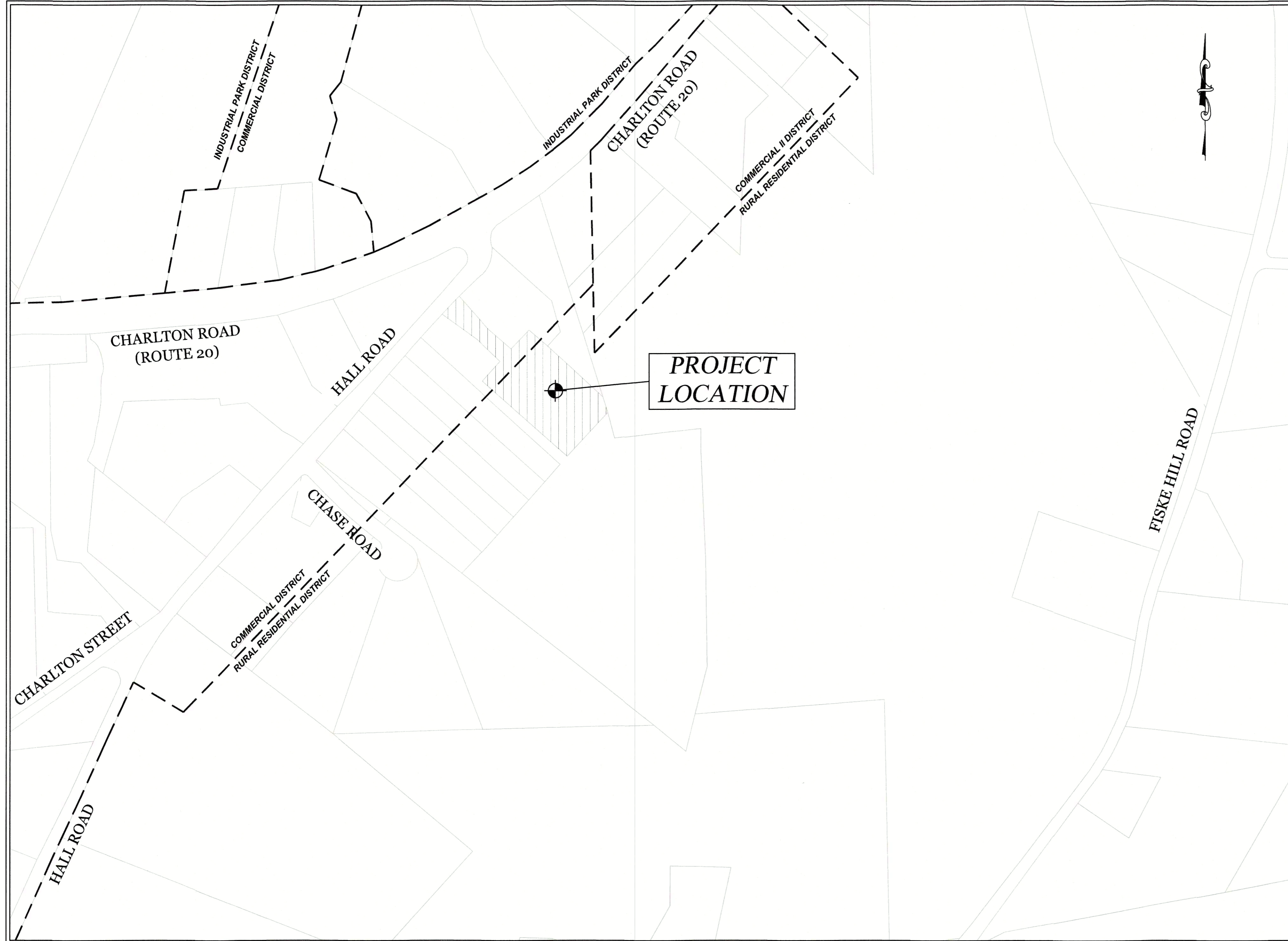


CULVERT MODIFICATION PLAN STURBRIDGE MEADOWS

92 & 94 HALL ROAD
STURBRIDGE, MA 01566
PREPARED FOR
STURBRIDGE DHC, LLC



SITE LOCUS
1" = 200'

DRAWING INDEX	
C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	DRAINAGE PLAN
C-4	EROSION AND SEDIMENTATION CONTROL PLAN
C-5	CONSTRUCTION DETAILS

APPLICANT / PROPERTY INFORMATION:

APPLICANT:
STURBRIDGE DHC, LLC
MS. JESSE ALBERT
20 CORPORATE WOODS BLVD.
ALBANY, NY 12211

OWNER:
STURBRIDGE DHC, LLC
MS. JESSE ALBERT, OWNER
20 CORPORATE WOODS BLVD.
ALBANY, NY 12211

ASSESSORS ID: 315-02631-092 & 315-02631-094
DEED REFERENCE: WORCESTER COUNTY REGISTRY OF DEEDS

DEED BOOK 44691 PAGE 0090
PLAN BOOK 528 PAGE 120
PLAN BOOK 603 PAGE 66

PROJECT ENGINEER:

CHRISTOPHER P. McCLURE, P.E.
McCLURE ENGINEERING, INC.
119 WORCESTER ROAD
CHARLTON, MA 01507
PHONE: (508)-248-2005

PROJECT SURVEYOR:

MARK LAPRAD, P.L.S.
McCLURE ENGINEERING, INC.
119 WORCESTER ROAD
CHARLTON, MA 01507
PHONE: (508)-248-2005

PROJECT ENVIRONMENTAL CONSULTANT:

SCOTT M. MORRISON, PWS
ECOTEC, INC.
102 GROVE STREET
WORCESTER, MA 01605
PHONE: (508) 752-9666

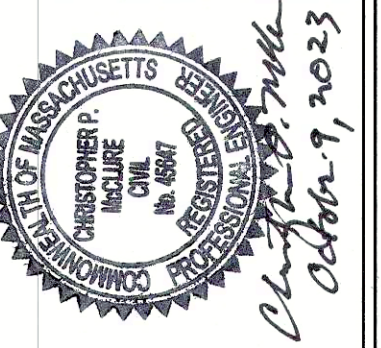
GENERAL NOTES:

1. THE BASE PLAN FOR THIS DESIGN WAS COMPILED FROM AN ON THE GROUND SURVEY CONDUCTED BY McCLURE ENGINEERING ON DATE AND SUPPLEMENTED WITH TOPOGRAPHY TAKEN FROM 2013-2014 USGS LIDAR: POST SANDY (MA, NH, RI) TAKEN FROM NOAA ON LINE DATA ACCESS VIEWER.
 2. ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 3. HORIZONTAL CONTROL IS BASED UPON THE NORTH AMERICAN DATUM OF 1983.
 4. PROPERTY IS LOCATED WITHIN TWO DISTRICTS COMMERCIAL AND RURAL RESIDENTIAL
- COMMERCIAL DISTRICT HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT AREA: 43,560 S.F.
 MINIMUM LOT FRONTAGE: 150' FEET
 MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 25'/10'/10'
 MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM STORIES: 3
 MAXIMUM COVERAGE: 30%
 MAXIMUM IMPERVIOUS SURFACE: 70%
- RURAL RESIDENTIAL DISTRICT HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT AREA: 43,560 S.F.
 MINIMUM LOT FRONTAGE: 150' FEET
 MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 30'/20'/20'
 MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM STORIES: 2
 MAXIMUM COVERAGE: 15%
5. PROPERTY DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. FOR REFERENCE SEE THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 25027C0927F FOR COMMUNITY NO. 250337 AND DATED JUNE 21, 2023.
 6. THIS PLAN IS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY DISCLOSE.

HOR. SCALE IN FEET: 1"=200'

REV	DATE	DESCRIPTION	CON.	COM.	COMMENTS
1	10/9/23				

CHRISTOPHER P. McCLURE, P.E.	PROFESSIONAL ENGINEER	45647	25941
MA LIC. NO.	CT LIC. NO.		



McCLURE ENGINEERING, INC
 119 Worcester Road
 Charlton, MA 01507
 Tel: (508) 248-2005
 Fax: (508) 248-4887
 Email: chtis@mcclureengineers.com

CULVERT MODIFICATION PLAN
 92 & 94 HALL ROAD
 STURBRIDGE, MA 01566
 PREPARED FOR
 STURBRIDGE DHC, LLC
 MS. JESSE ALBERT
 20 CORPORATE WOODS BLVD.
 ALBANY, NY 12211

DRAWN BY:	KP
DATE:	8/24/2023
CHK BY:	PE
SCALE:	1"=200'
PROJ. NO.	287-2585-M

TITLE SHEET
C-1

DIG-SAFE (1-888-344-7233) NOTE:
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

N/F
CHARLES E. TAYLOR TRUSTEE
183 CHARLTON ROAD
BOOK: 45633, PAGE: 0109
ASSESSORS REFERENCE: 208-02632-183

N/F
SCOTT CONNER
(PERSONAL REPRESENTATIVE)
201A CHARLTON ROAD
BOOK: 60404, PAGE: 267
ASSESSORS REFERENCE: 208-02622-201A

N/F
SCOTT CONNER
(PERSONAL REPRESENTATIVE)
201 CHARLTON ROAD
BOOK: 60404, PAGE: 267
ASSESSORS REFERENCE: 208-02622-201

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
98 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-098

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
94 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-094

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
90 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-090

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
88 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-088

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
96 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-096

N/F
STURBRIDGE DHC LLC
C/O DAWN HOMES CAPITAL LLC
92 HALL ROAD
BOOK: 44691, PAGE: 0090
ASSESSORS REFERENCE: 315-02631-092

TBM
PK NAIL SET IN
TREE ROOT
ELEV=617.22

SEWER MANHOLE
RIM=617.78
INV(A)=612.60±
INV(B)=612.60±
INV(C)=612.55±

CATCH BASIN
RIM=611.51
INV (6" CMP)=607.59
INV (6" CPP)=607.23
INV (24" CPP)=607.80
INV (30" CPP)=607.00

EXISTING APARTMENT BUILDING
#96 HALL ROAD
F.F.E. = 631.0±

EXISTING APARTMENT BUILDING
#94 HALL ROAD
F.F.E. = 635.4±

EXISTING APARTMENT BUILDING
#92 HALL ROAD
F.F.E. = 631.4±

SEWER MANHOLE
RIM=623.23
INV(A)=618.80±
INV(B)=618.90±
INV(C)=618.85±
INV(D)=618.75

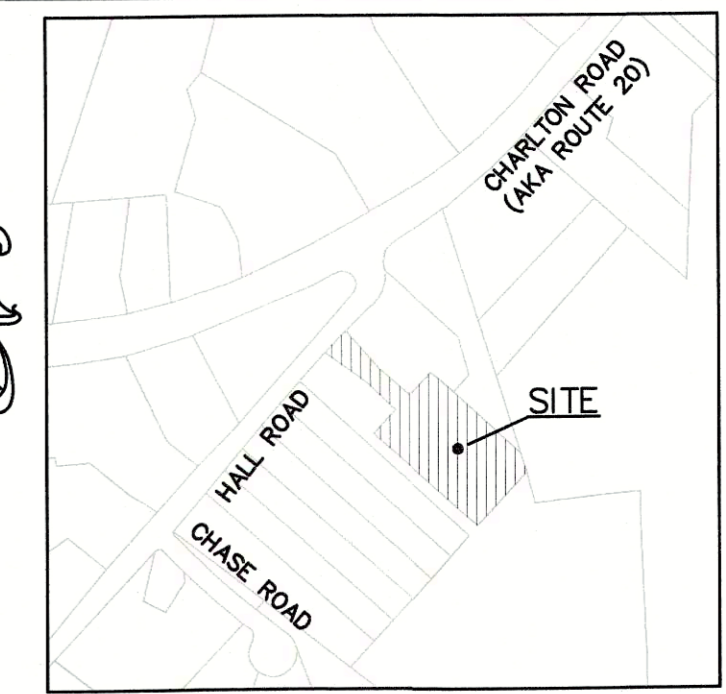
SEWER MANHOLE
RIM=626.94
INV(A)=623.00±
INV(B)=618.90±
INV(C)=618.75±

EXISTING CATCH BASIN
RIM=628.99±
INV (24")=626.4

TBM
CROSS CUT ON
WALKWAY
ELEV=630.40

TBM
PK NAIL SET IN
TREE ROOT
ELEV=637.59

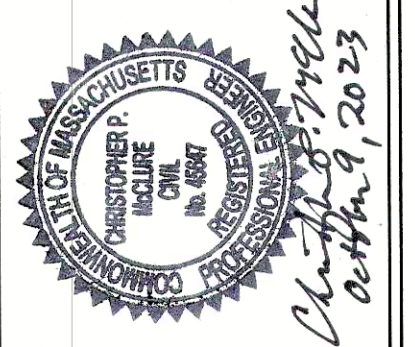
PRECAST CONC. INLET
TOP OF STRUCTURE=634.01
INV (24" CPP)= 631.00±



LOCATION MAP
1"=500'

HOR. SCALE IN FEET: 1"=20'	
REV	DATE
1	10/9/23
DESCRIPTION	CON. COM. COMMENTS
MADE APVD	KRP CPM
45647	25941

CHRISTOPHER P. MCCLURE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 45647
CT LIC. NO. 25941



McCLURE ENGINEERING, INC
119 Worcester Road
Charlton, MA 01507
Tel: (508) 248-2005
Fax: (508) 248-4887
Email: chris@mcclureengineers.com

LEGEND:

BIT.	BITUMINOUS	IP	IRON PIN
CB	CATCH BASIN	*	LIGHT POLE
CO	CLEAN OUT	R=	PROPERTY LINE
CONC.	CONCRETE	RCP	RIM ELEVATION
CPH	CORRUGATED PLASTIC PIPE	SMH	REINFORCED CONCRETE PIPE
DH	DRILL HOLE	SMH	SANITARY SEWER MANHOLE
DMH	DRAIN MANHOLE	S	SEWER LINE
EM	ELECTRIC METER	T/	TOP OF
EXIST.	EXISTING	TREE	TREE
	EXISTING CONTOURS	TREELINE	TREELINE
F.F.E.	FIRST FLOOR ELEVATION	TYP.	TYPICAL
FES	FIRE HYDRANT	UD	UNDER DRAIN
FND	FOUND	UGE	UNDERGROUND ELECTRIC
G	GAS LINE	W	WATER LINE
GM	GAS METER	WG	WATER GATE
		WETLANDS	WETLANDS

EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

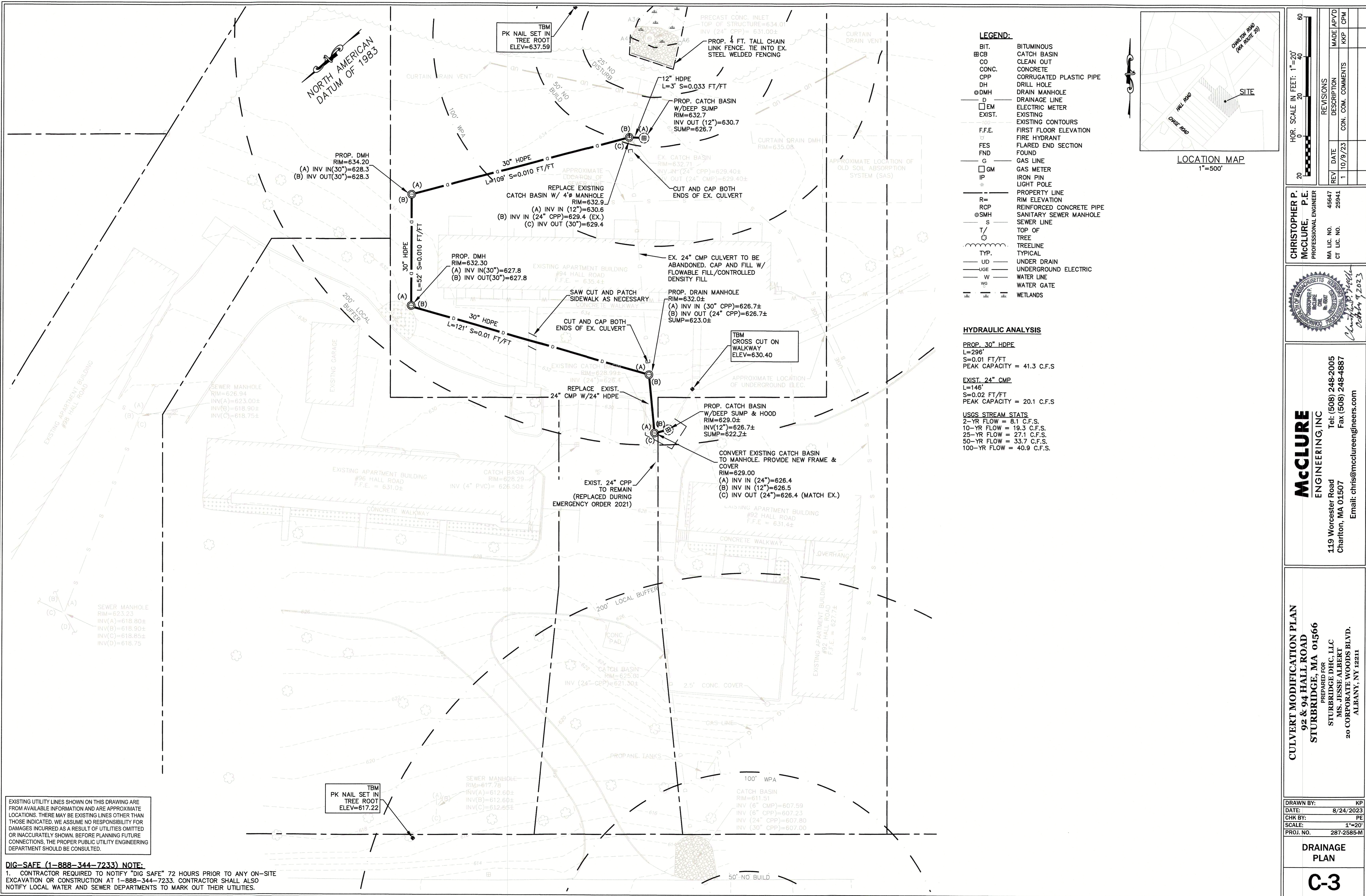
DIG-SAFE (1-888-344-7233) NOTE:
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

- GENERAL NOTES:**
- PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AT 92 & 94 HALL ROAD, STURBRIDGE, MA OWNED BY STURBRIDGE DHC LLC, ALBANY, NY 12211.
 - SITE EXISTING CONDITIONS ARE BASED ON A GROUND SURVEY CONDUCTED BY MCCLURE ENGINEERING, INC. BETWEEN 04/25/2023-5/03/2023. HORIZONTAL DATUM IS NAD OF 1983. ELEVATIONS SHOWN HEREIN ARE BASED UPON NGVD 1988 DATUM.
 - NO PROPERTY LINE SURVEY PERFORMED AT THIS TIME, PROPERTY LINES AS SHOWN ARE APPROXIMATE ONLY AND ARE BASED UPON A "TITLE SURVEY PLAN", PREPARED BY JALBERT ENGINEERING, INC. DATED SEPTEMBER 26, 1994, PREPARED FOR STURBRIDGE MEADOWS REALTY TRUST.
 - PROPERTY IS LOCATED WITHIN TWO DISTRICTS COMMERCIAL AND RURAL RESIDENTIAL
- COMMERCIAL DISTRICT HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT AREA: 43,560 S.F.
 MINIMUM LOT FRONTAGE: 150' FEET
 MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 25'/10'/10'
 MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM STORIES: 3
 MAXIMUM COVERAGE: 30%
 MAXIMUM IMPERVIOUS SURFACE: 70%
- RURAL RESIDENTIAL DISTRICT HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT AREA: 43,560 S.F.
 MINIMUM LOT FRONTAGE: 150' FEET
 MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 30'/20'/20'
 MAXIMUM BUILDING HEIGHT: 35'
 MAXIMUM STORIES: 2
 MAXIMUM COVERAGE: 15%
- THE WETLANDS WERE DELINEATED BY ECOTEC, INC. ON APRIL 21, 2023
- SITE DOES NOT LIE WITHIN THE 100-YEAR FLOOD ZONE ACCORDING TO FEMA FIRM MAP NO. 25027C0927F, EFFECTIVE JUNE 6, 2023.
 - THIS PLAN IS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY DISCLOSE.

CULVERT MODIFICATION PLAN
92 & 94 HALL ROAD
STURBRIDGE, MA 01566
PREPARED FOR
STURBRIDGE DHC, LLC
MS. JESSE ALBERT
20 CORPORATE WOODS BLVD.
ALBANY, NY 12211

DRAWN BY: KRP
DATE: 8/24/2023
CHK BY: PE
SCALE: 1"=20'
PROJ. NO. 287-2585-M

EXISTING CONDITIONS
C-2



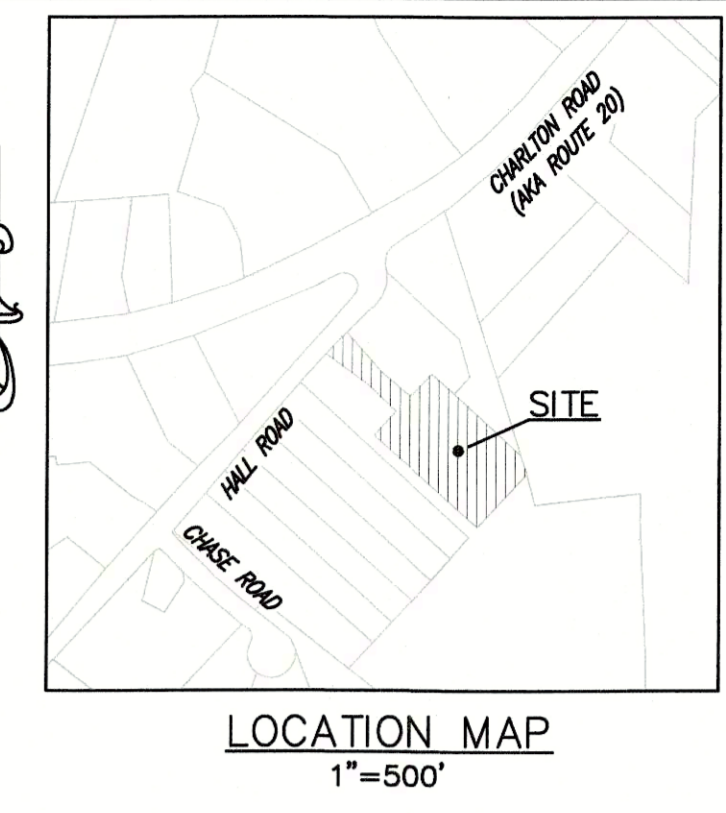
- LEGEND:**
- BIT. BITUMINOUS
 - CB CATCH BASIN
 - CO CLEAN OUT
 - CONC. CONCRETE
 - CPP CORRUGATED PLASTIC PIPE
 - DH DRILL HOLE
 - DMH DRAIN MANHOLE
 - D DRAINAGE LINE
 - EM ELECTRIC METER
 - EXIST. EXISTING
 - EXIST. EXISTING CONTOURS
 - F.F.E. FIRST FLOOR ELEVATION
 - FH FIRE HYDRANT
 - FES FLARED END SECTION
 - FND FOUND
 - G GAS LINE
 - GM GAS METER
 - IP IRON PIN
 - LP LIGHT POLE
 - PL PROPERTY LINE
 - R RIM ELEVATION
 - RCP REINFORCED CONCRETE PIPE
 - SMH SANITARY SEWER MANHOLE
 - S SEWER LINE
 - T/T TOP OF TREE
 - TR TREELINE
 - TYP. TYPICAL
 - UD UNDER DRAIN
 - UGE UNDERGROUND ELECTRIC
 - W WATER LINE
 - WG WATER GATE
 - WETLANDS

HYDRAULIC ANALYSIS

PROP. 30" HDPE
 L=296'
 S=0.01 FT/FT
 PEAK CAPACITY = 41.3 C.F.S.

EXIST. 24" CMP
 L=146'
 S=0.02 FT/FT
 PEAK CAPACITY = 20.1 C.F.S.

USGS STREAM STATS
 2-YR FLOW = 8.1 C.F.S.
 10-YR FLOW = 19.3 C.F.S.
 25-YR FLOW = 27.1 C.F.S.
 50-YR FLOW = 33.7 C.F.S.
 100-YR FLOW = 40.9 C.F.S.



HOR. SCALE IN FEET: 1"=20'

REV.	DATE	DESCRIPTION	MADE BY
1	10/9/23	CON. COM. COMMENTS	KKP

CHRISTOPHER P. McCLURE, P.E.
 PROFESSIONAL ENGINEER
 MA LIC. NO. 45647
 CT LIC. NO. 25941



McCLURE ENGINEERING, INC
 119 Worcester Road
 Charlton, MA 01507
 Tel: (508) 248-2005
 Fax: (508) 248-4887
 Email: chris@mcclureengineers.com

CULVERT MODIFICATION PLAN
 92 & 94 HALL ROAD
 STURBRIDGE, MA 01566
 PREPARED FOR:
 STURBRIDGE DHC, LLC
 MS. JESSE ALBERT
 20 CORPORATE WOODS BLVD.
 ALBANY, NY 12211

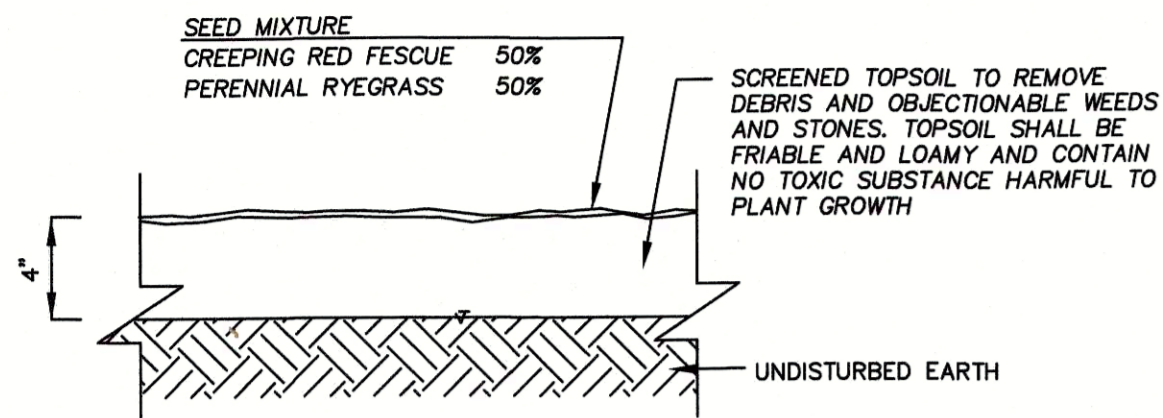
DRAWN BY:	KP
DATE:	8/24/2023
CHK BY:	PE
SCALE:	1"=20'
PROJ. NO.	287-2585-M

DRAINAGE PLAN
C-3

EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

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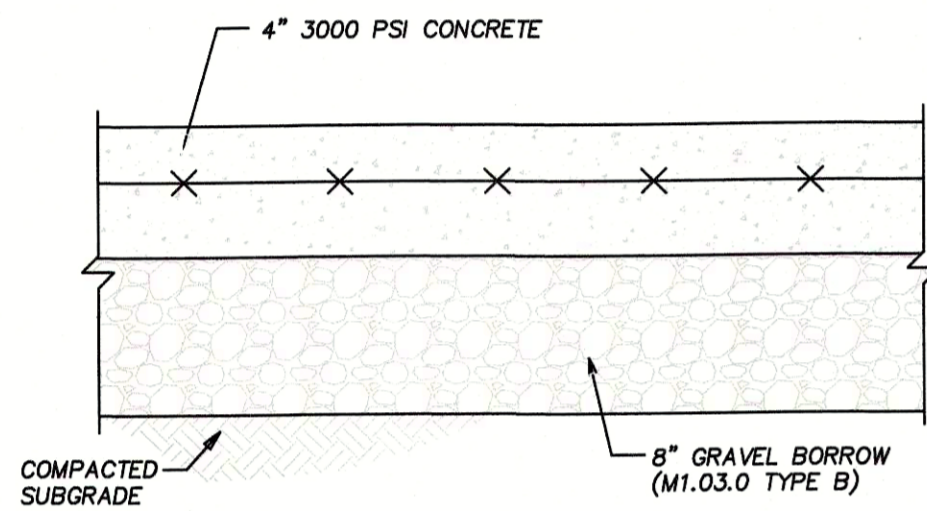
NOTE:
GRASS SEED SHALL BE SPREAD DURING THE GROWING SEASON AT THE RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. IT SHALL BE A MIXTURE OF CREEPING RED FESCUE AND PERENNIAL RYE GRASS. IT SHALL BE PROPERLY FERTILIZED, LIMED AND WATERED.



LOAM & SEED DETAIL

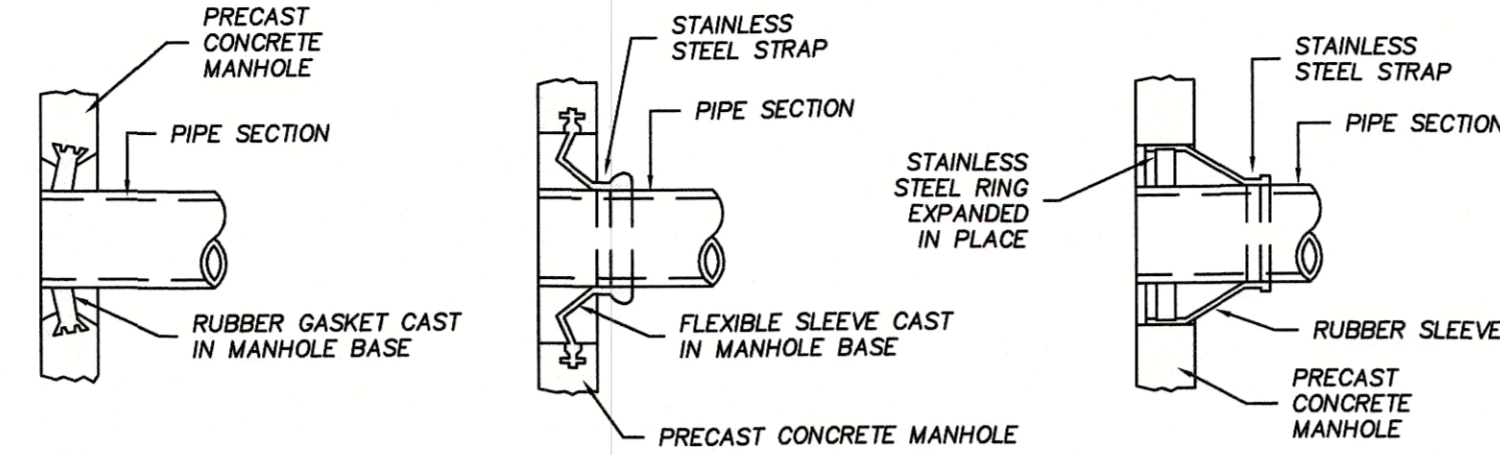
NOT TO SCALE

A FOUR-INCH-THICK CLASS A (3,000) PSI CONCRETE SHALL BE APPLIED TO THE PREPARED GRAVEL BASE. THE SLUMP SHALL VARY BETWEEN TWO AND FOUR INCHES. THE CONCRETE SHALL BE A PLANT MIX, PLACED, FLOATED, TROWELED AND THEN FINISHED WITH A BROOM. CURING AND SEALING COMPOUND SHALL BE APPLIED. PREFORMED EXPANSION JOINTS SHALL BE INSTALLED EIGHTEEN (18) FEET ON CENTER. TROWELED JOINTS SHALL BE INSTALLED SIX (6) FEET ON CENTER. PLANT MIX DESIGN DATA AND DELIVERY SLIPS SHALL BE SUBMITTED FOR REVIEW. ALL CONSTRUCTION AND CONCRETE REPAIR (IF NECESSARY) SHALL BE IN ACCORDANCE WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.



CONCRETE SIDEWALK DETAIL

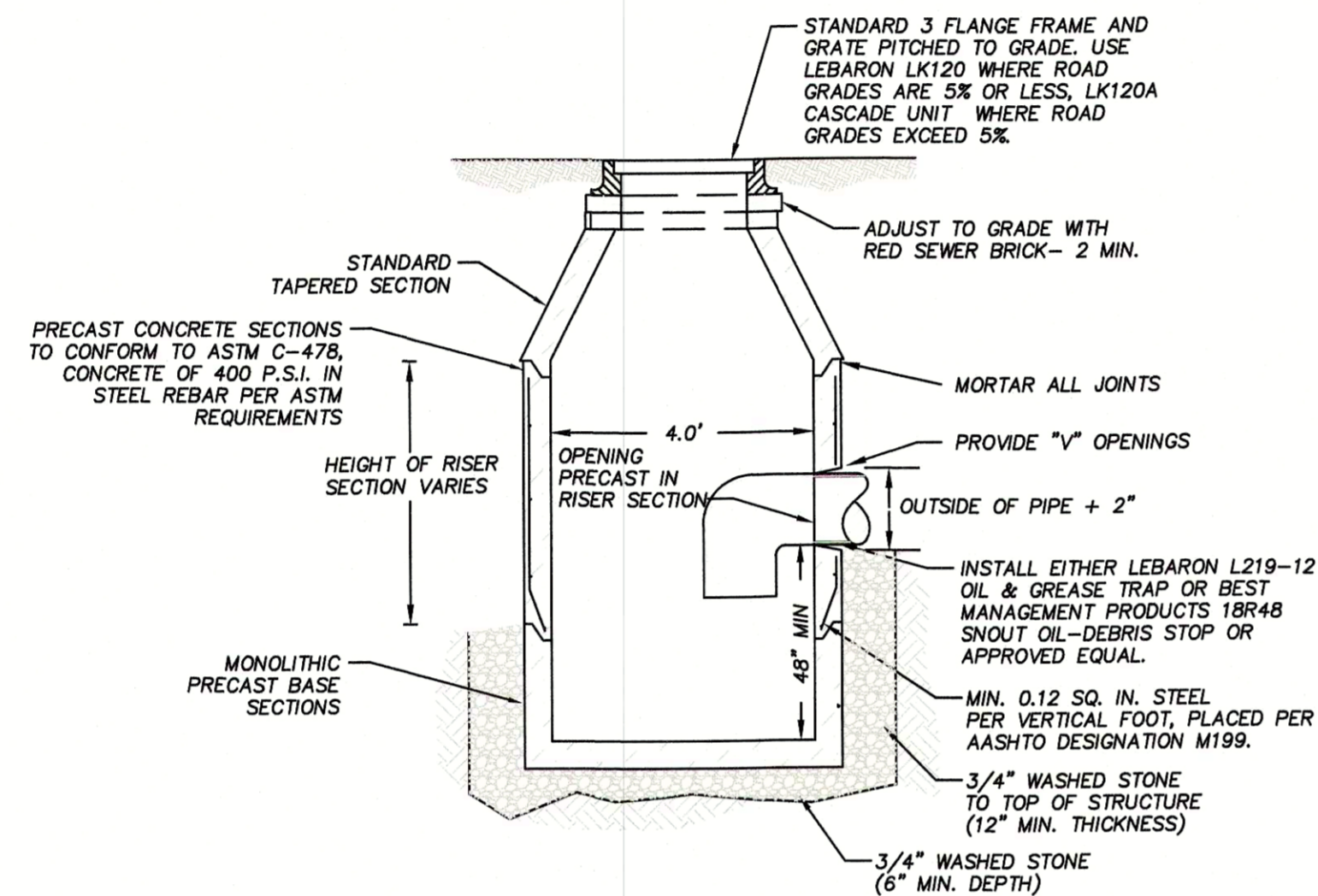
NOT TO SCALE



NOTE:
1) THE PIPE TO MANHOLE CONNECTION SHALL BE A FLEXIBLE RUBBER PIPE SLEEVE EITHER CAST IN PRECAST MANHOLE SECTION OR HELD IN PLACE BY STAINLESS STEEL RINGS EXPANDED IN PLACE TO MEET SPECIFICATIONS OF ASTM C923.

MANHOLE SEAL DETAILS

NOT TO SCALE



TYPICAL PRECAST CATCH BASIN DETAIL

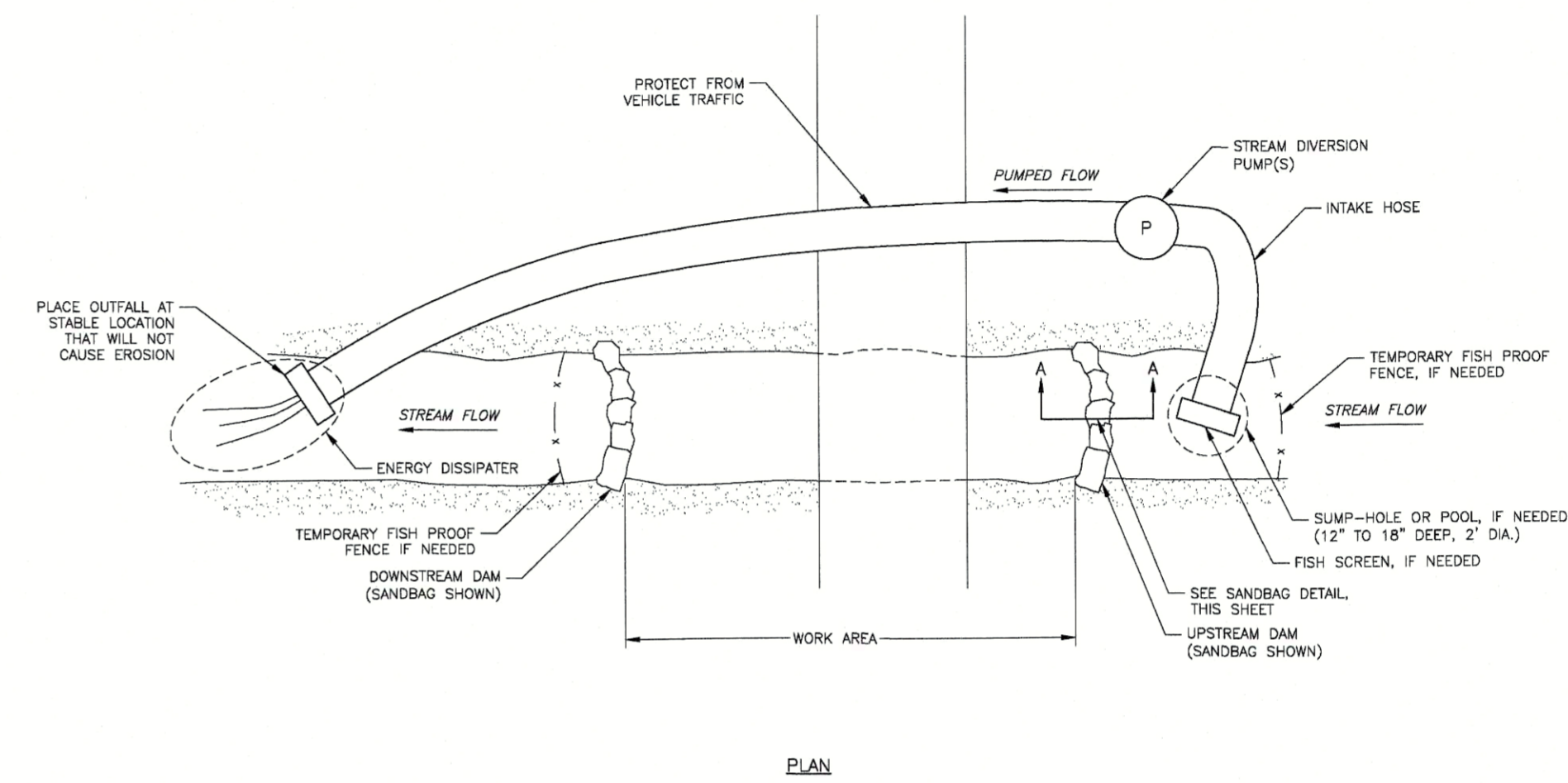
NOT TO SCALE



SECTION A-A

SANDBAG DAM

NOT TO SCALE

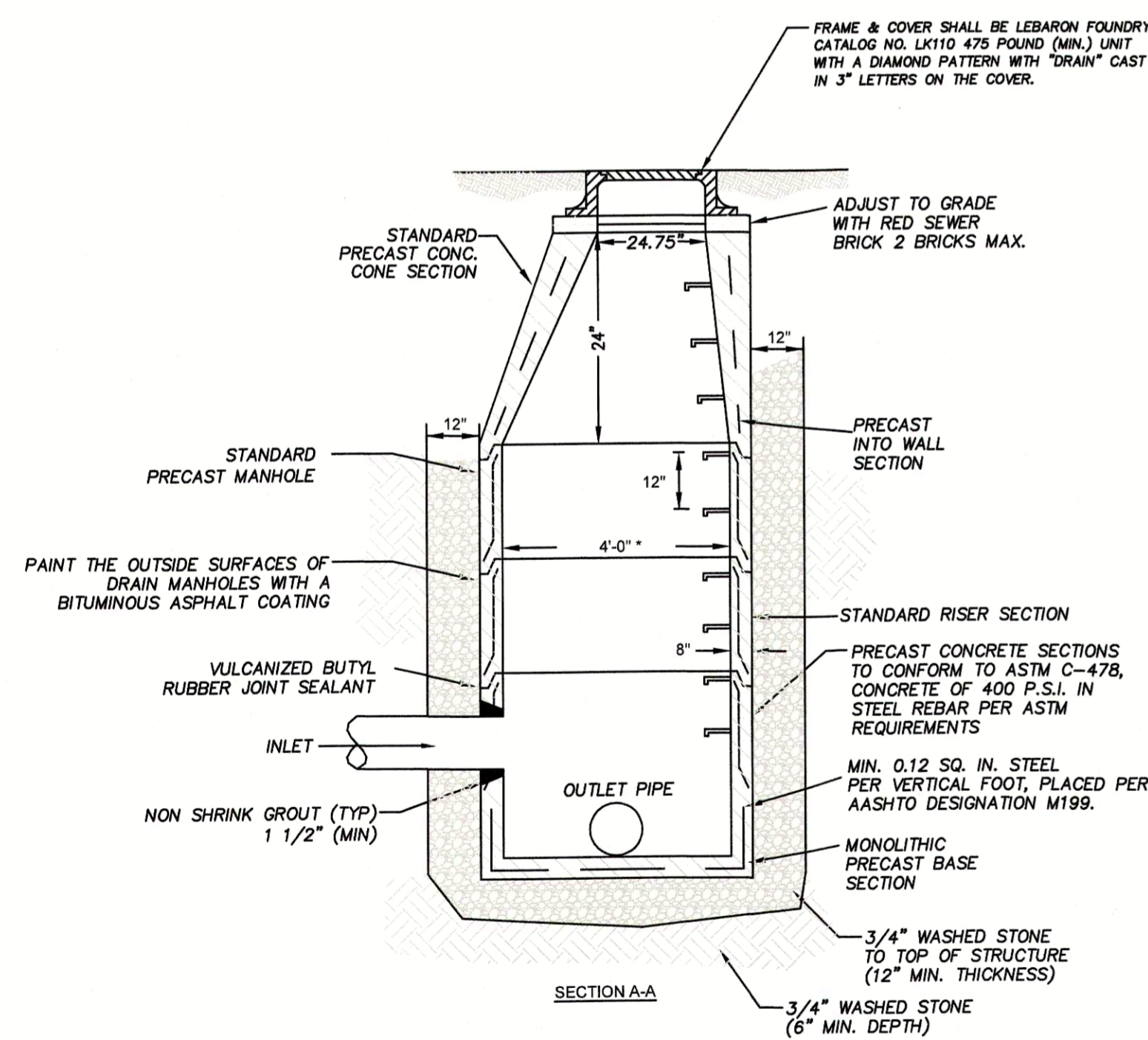


PLAN

PUMPED STREAM DIVERSION

PUMPED STREAM DIVERSION DETAIL

NOT TO SCALE

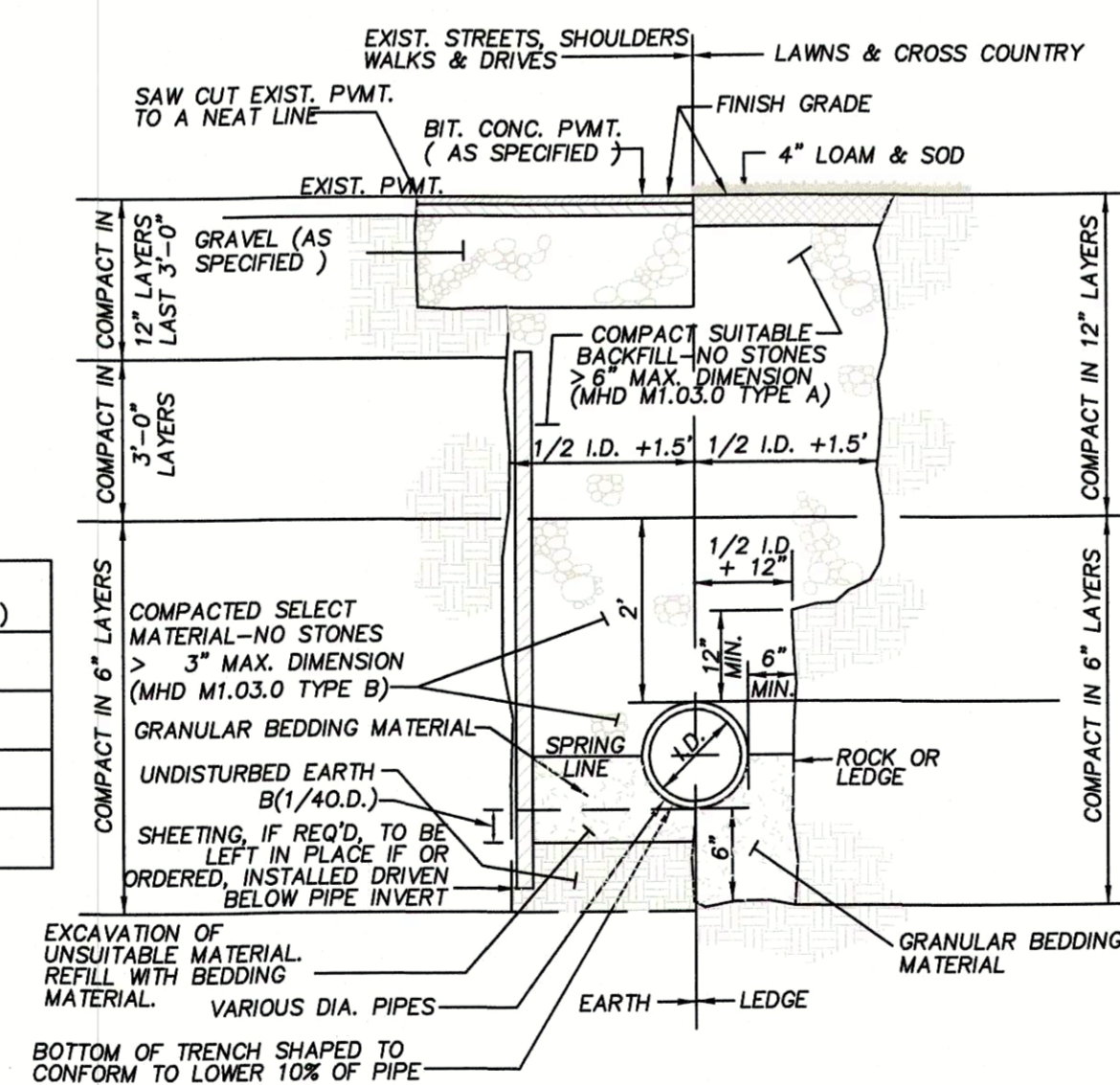


TYPICAL PRE-CAST DRAIN MANHOLE

NOT TO SCALE

* FOR DRAIN PIPES GREATER THAN 24" DIAMETER SHALL HAVE A MINIMUM INSIDE DIAMETER OF FIVE FEET.

TYPICAL BEDDING DIMENSIONS PIPE MATERIAL - PVC (SDR 35)		
I.D.	O.D.	B(1/4 O.D.)
4"	4.215"	1.05"
6"	6.275"	1.57"
8"	8.400"	2.10"



NOTES:

1. GRANULAR BEDDING MATERIAL SHALL CONSIST OF 3/4" CRUSHED STONE (MHD M2.01.4) OR COMPACTED GRAVEL BORROW (MHD M1.03.0 TYPE C)
2. TRENCH BEDDING & BACKFILL FOR SANITARY SEWERS SHALL BE CLASS B AS DEFINED

TYPICAL DRAINAGE TRENCH DETAIL

NOT TO SCALE

PUMPED STREAM DIVERSION NOTES:

MATERIALS
DAM MATERIAL: SANDBAGS COVERED WITH PLASTIC SHEETING, (30 MIL OR 2 OR MORE LAYERS OF 10 MIL), RIPRAP, STEEL PIPE PLATE, SHEETPILE, INFLATABLE BLADDERS, OR EQUIVALENT.

PUMP: SIZED FOR DESIGN FLOW IN CONTRACT, WITH INTAKE LINE, FITTINGS, AND NOZZLES.

ENERGY DISSIPATER: RIPRAP, SANDBAGS, T-BAR SPREADER, OR EQUIVALENT.

FISH BARRIER: FENCE OR SCREEN, IF NEEDED.

SPILL PREVENTION BMPs.

INSTALLATION

1. COORDINATE WITH DEPARTMENT FOR INSTALLATION OF FISH FENCE, IF NEEDED.
2. INSTALL A CONVEYANCE, SUMP (IF NEEDED), AND INTAKE HOSE.
3. INSTALL THE UPSTREAM AND DOWNSTREAM DAM.
4. PLACE THE PUMP IN AN AREA DESIGNED FOR ITS USE AND OPERATION WITH SPILL PREVENTION MEASURES.
5. INSTALL THE ENERGY DISSIPATER.

INSPECTION

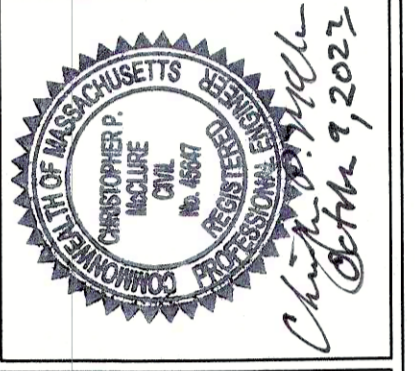
1. WHEN PUMPING, MONITOR PUMPS, INTAKE AND DISCHARGE POINTS. ENSURE THAT PUMPS ARE ADEQUATELY SIZED.
2. INSPECT UPSTREAM AND DOWNSTREAM DAMS FOR OVERTOPPING, BYPASS, UNDERCUTTING, OR OTHER DEFECTS.
3. INSPECT THE CONVEYANCE STRUCTURE FOR LEAKS, EROSION, OR OTHER DEFECTS.
4. INSPECT DISCHARGE POINT FOR EROSION OR FAILURE OF THE ENERGY DISSIPATER MATERIAL.
5. INSPECT THE EQUIPMENT AREA FOR PROPERLY STORED FUEL AND OTHER POTENTIALLY HAZARDOUS SUBSTANCES.

MAINTENANCE

1. REINFORCE OR RESTORE ANY PORTION OF THE DAMS, CONVEYANCE STRUCTURE, OR ENERGY DISSIPATER.
2. REMOVE THE DOWNSTREAM DAM FIRST, THEN THE UPSTREAM DAM.
3. REMOVE THE ENERGY DISSIPATER.
4. REMOVE THE INTAKE HOSE.
5. REMOVE THE TEMPORARY CONVEYANCE STRUCTURE, BACKFILL OR REGRADE AND RESTORE TO ORIGINAL CONTOURS.
6. REGRADE AND SEED OR PERMANENTLY STABILIZE ALL DISTURBED AREAS.

REV	DATE	DESCRIPTION	CON.	COM.	REVISIONS
1	10/9/23				MADE APVD KRP CPM

CHRISTOPHER P. MCCLURE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 46647
CT LIC. NO. 26941



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ENGINEERING, INC
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PREPARED FOR
STURBRIDGE DHC, LLC
MS. JESSE ALBERT
20 CORPORATE WOODS BLVD.
ALBANY, NY 12211

DRAWN BY: KP
DATE: 8/24/2023
CHK BY: PE
SCALE: AS NOTED
PROJ. NO. 287-2585-M

CONSTRUCTION
DETAILS
C-5