

NOBLE ENERGY PROPOSED TRAVEL CENTER & E.V. DISCOVERY CENTER

#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566

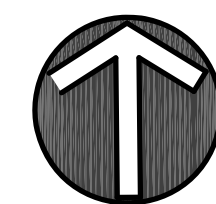
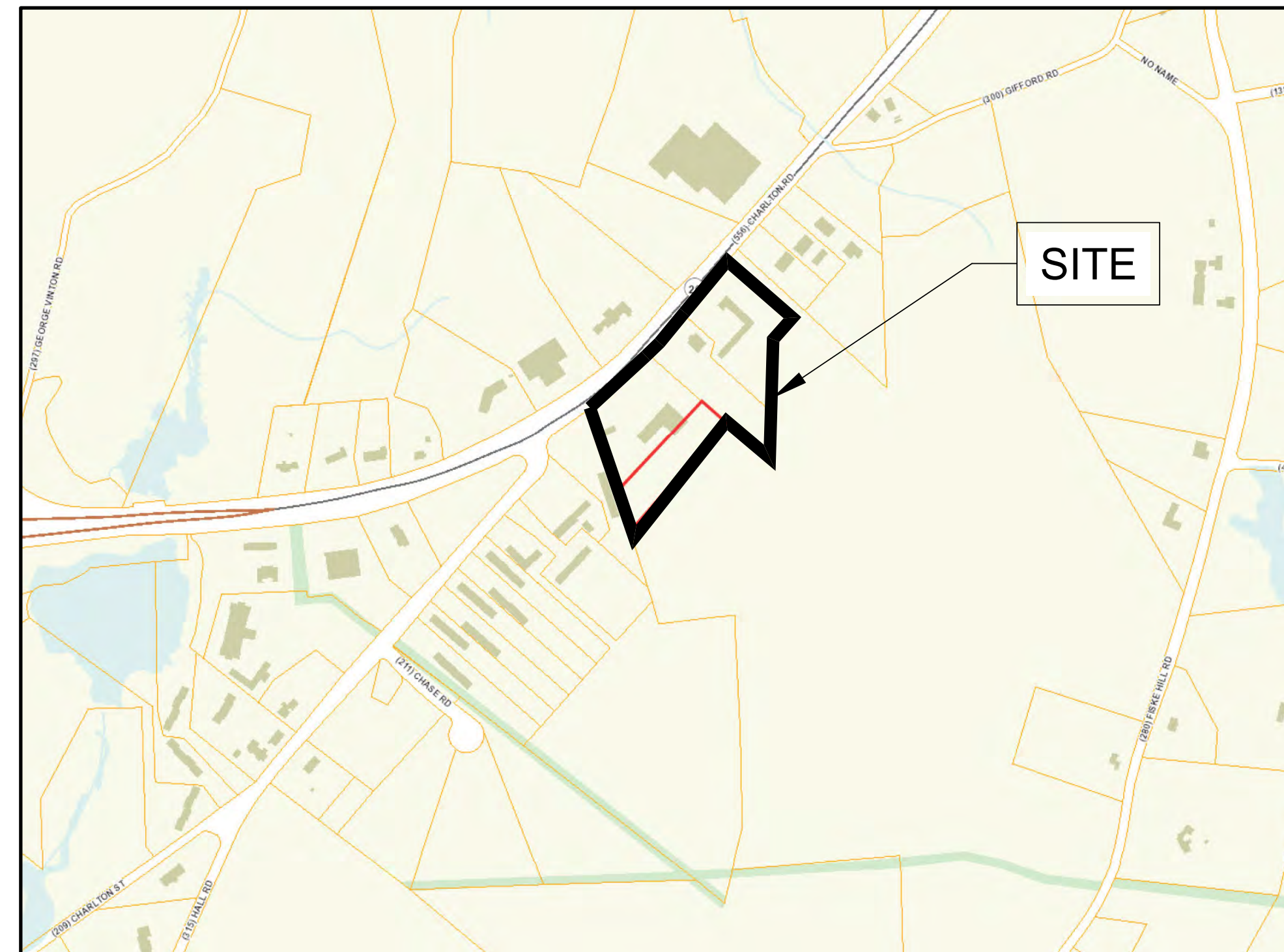
ASSESSOR ID: 208-02622-195, 208-02622-197, 208-02622-201, & 208-02622-201A

OWNER

SCOTT CONNER PERSONAL REPRESENTATIVE
7 MEADOWBROOK ROAD
SPENCER, MA 01562

PREPARED FOR

NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106



LOCUS MAP

APPROXIMATE SCALE: 1" = 400'

CIVIL ENGINEER:

CMG ENGINEERING SERVICES
67 HALL ROAD
STURBRIDGE, MA 01560
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

TRAFFIC ENGINEER:

VANASSE & ASSOCIATES, INC.
35 NEW ENGLAND BUSINESS CENTER DRIVE
SUITE 140
ANDOVER, MA 01810
(978) 474 - 8800

SURVEYOR:

SHERMAN & FRYDRYK, LLC
3 CONVERSE STREET, SUITE 203
PALMER, MA 01069
(413) 283 - 6210

ARCHITECT:

MILLENIUM DESIGN ASSOCIATES, INC.
1599 WASHINGTON STREET, SUITE 1A
BRAINTREE, MA 02184
(781) 843 - 9400

SHEET #	SHEET NAME
T-1.0	TITLE SHEET
1 OF 1	"PLAN OF LAND" (EXISTING CONDITIONS SURVEY) (BY OTHERS)
C-1.0	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1	SITE SIGNAGE LAYOUT PLAN
C-3.1	GRADING & DRAINAGE PLAN SHEET 1 OF 2
C-3.2	GRADING & DRAINAGE PLAN SHEET 2 OF 2
C-3.3	ADA ACCESSIBLE RAMP DETAILS
C-4.1	UTILITY PLAN SHEET 1 OF 2
C-4.2	UTILITY PLAN SHEET 2 OF 2
C-5.0	EROSION & SEDIMENTATION CONTROL PLAN
C-5.1	EROSION & SEDIMENTATION CONTROL DETAILS
C-6.0	TRUCK TURN FIGURE
C-7.1	CONSTRUCTION DETAILS
C-7.2	CONSTRUCTION DETAILS
C-7.3	CONSTRUCTION DETAILS
C-7.4	CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
RL-7111-S1	LIGHTING PLAN
CP1.1 ~ CP1.7	TRAVEL CENTER ARCHITECT PLANS (PREPARED BY MDA)
SHEETS 1 ~ 7	E.V. DISC. CENTER ARCHITECT PLANS (PREPARED BY PHASE ZERO DESIGN)

ARCHITECT:

PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CT 06070
(860) 264 - 1624

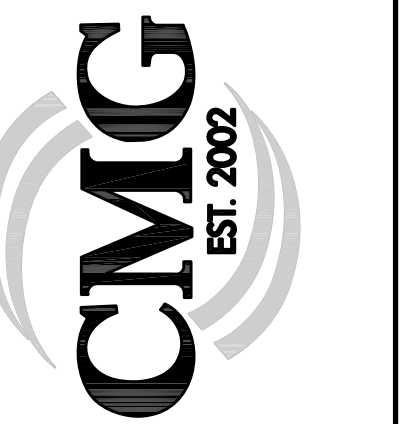
REVISIONS			
NO.	DATE	DESCRIPTION	BY / CKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL / JAB



PROJECT: NOBLE ENERGY
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STURBRIDGE, MA 01566

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131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906



ISSUE DATE: 3/26/2021
DRAWN BY: RL CHECKED BY: JAB
SCALE: 1" = 20'
PROJECT NO.: 2020-127

TITLE SHEET

T-1.0

DIG SAFE NOTE (1-888-344-7233):
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

LEGEND & ABBREVIATIONS

STRUCTURE TABLE

- RB FD REINFORCING BAR FOUND
- DH FD DRILL HOLE FOUND
- IP FD IRON PIPE FOUND
- MHB MASSACHUSETTS HIGHWAY BOUND FOUND
- #201 BUILDING
- PROPERTY LINE
- ABUTTER LINE
- FORMER PROPERTY LINE
- S EXISTING SEWER
- D EXISTING DRAIN
- W EXISTING WATER MAIN
- OE OVERHEAD ELECTRIC
- WETLAND LIMIT
- EDGE OF GRAVEL
- STONEWALL
- CHAINLINK FENCE CLF
- 580 CONTOUR (EXISTING)
- TREE LINE
- ⊙ SEWER MANHOLE
- ⊙ CATCH BASIN
- ⊙ DRAIN MANHOLE
- ⊙ WATER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ HYDRANT
- ⊙ WATER GATE
- ⊙ WELL
- ⊙ SIGN
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ BOULDERS
- ⊙ MONITOR WELL
- ⊙ MW MONITOR WELL(2020)
- ⊙ BOLLARD
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ BUSH
- ⊙ GC GRANITE CURB
- ⊙ CC CONCRETE CURB

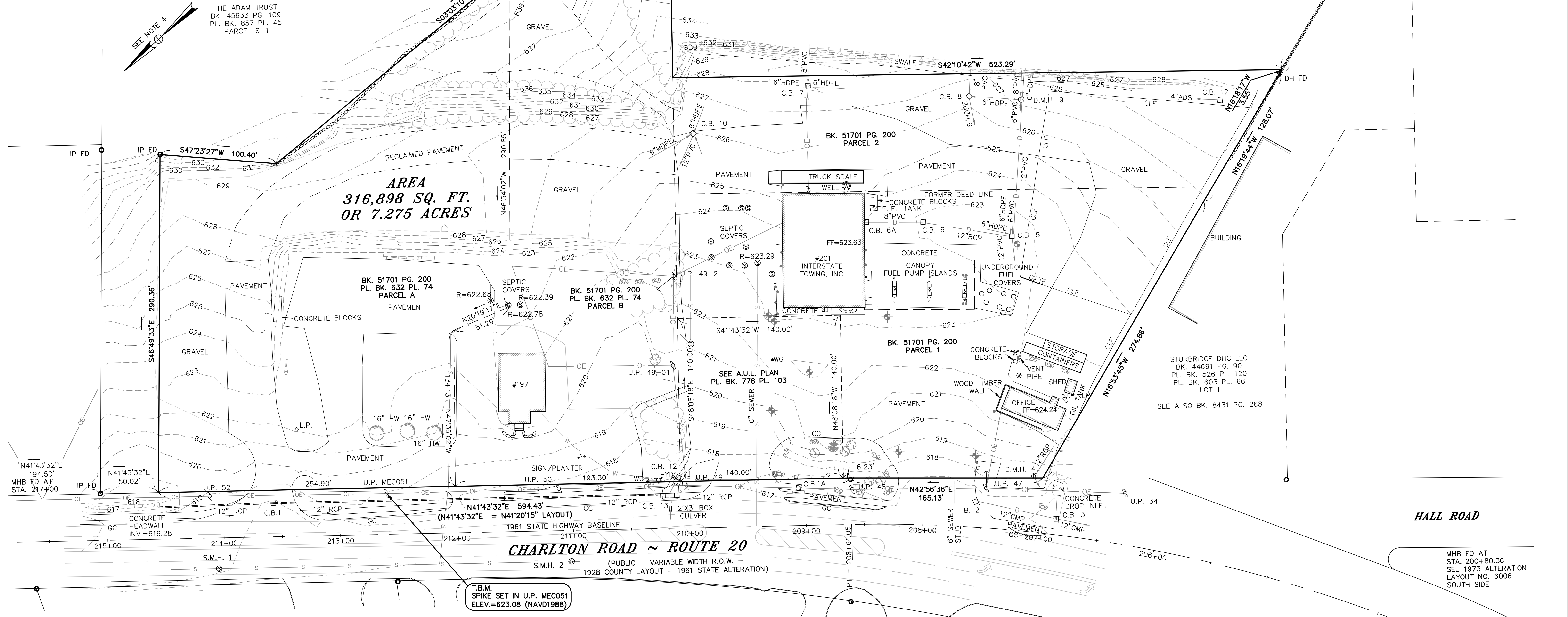
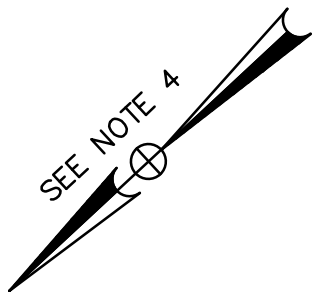
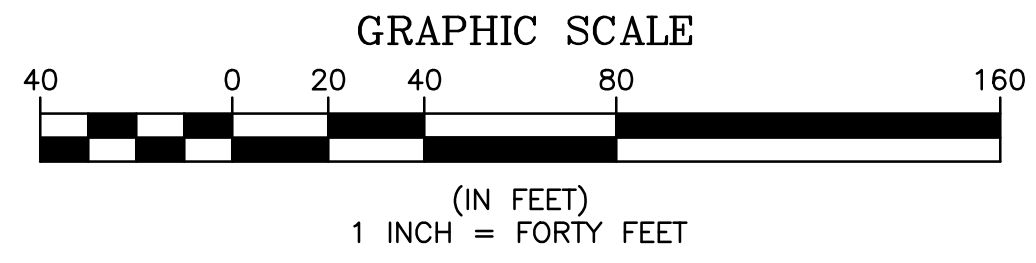
C.B. #1 RIM=617.80 INV. IN(12"RCP)=614.83 INV. OUT(12"RCP)=614.78	C.B. #5 RIM=622.3 INV. IN(12"RCP)=619.4 INV. IN(6"ADS)=619.8 INV. IN(2-6"ADS)=619.5 INV. IN(12"PVC)=619.4 INV. OUT(12"PVC)=619.2	C.B. #8 RIM=626.31 INV. IN(8"PVC)=623.11 INV. IN(6"ADS)=622.76 INV. OUT(6"ADS)=622.61	C.B. #10 RIM=625.95 INV. IN(6"ADS)=622.75 INV. IN(6"ADS)=623.05 INV. IN(UNKNOWN)=622.45 INV. OUT(12"PVC)=622.75	C.B. #12 (DOUBLE) RIM=616.78 INV. OUT(12"RCP)=613.28
C.B. #1A RIM=616.32 INV. OUT(12"CMP)=611.72	C.B. #6A RIM=623.52 INV. OUT(8"PVC)=621.92	D.M.H. #9 RIM=627.25 INV. IN(8"PVC)=622.95 INV. IN(6"ADS)=622.9 INV. IN(6"PVC)=622.65 INV. IN(6"ADS)=623.05 INV. OUT(12"PVC)=622.65	NO STRUCTURE #11	C.B. #13(QUAD) RIM=617.59 INV. IN(12"RCP)=612.79 INV. IN(2-12"CMP)=609.09 INV. OUT(2'X3' CULV)=608.89
C.B. #2 RIM=616.19 INV. IN=NOT OBSERVED INV. OUT(12"CMP)=612.89	C.B. #7 RIM=626.95 INV. IN(6"ADS)=623.1 INV. IN(8"PVC)=623.2 INV. OUT(6"ADS)=623.0	C.B. #12 RIM=627.86 INV. OUT(4"ADS)=624.66	S.M.H. #1 RIM=618.14 INV. IN=UNABLE TO OPEN INV. OUT=UNABLE TO OPEN	S.M.H. #2 RIM=616.19 INV. IN=610.59 INV. OUT=610.49
C.B. #3 RIM=614.87 INV. IN(12"CMP)=612.67 INV. IN(12"CMP)=612.67 INV. OUT(12"CMP)=612.47	D.M.H. #4 RIM=618.14 INV. IN(12"RCP)=613.44 INV. OUT(12"RCP)=613.29			

OWNER:
SCOTT CONNER
PERSONAL REPRESENTATIVE OF
THE ESTATE OF PHILIP C. CONNER
7 MEADOWBROOK ROAD
SPENCER, MA 01562

PREPARED FOR:
SOLLI ENGINEERING, LLC
351 NEWBURY STREET,
SUITE 303
BOSTON, MA 02115

NOTES:

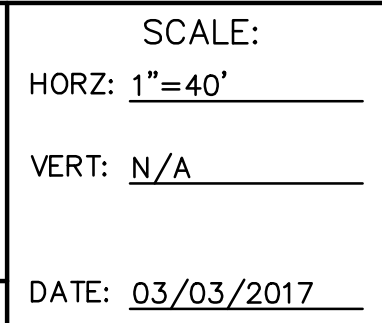
- DEED REFERENCE: BK. 60404, PG. 267
- SEE STURBRIDGE ASSESSORS' MAP 26, PARCELS 195, 197, 201 & 201A.
- LAND IS ZONED COMMERCIAL II DISTRICT, SEE ALSO A SMALL PORTION IN THE RURAL RESIDENTIAL DISTRICT.
- THIS PLAN IS BASED ON EXISTING CONDITIONS PLAN PREPARED BY MHF DESIGN CONSULTANTS, INC. DATED NOVEMBER 2, 2015 AND FIELD WORK BY THIS OFFICE DECEMBER 2015 THROUGH FEBRUARY 2017 AND SEPTEMBER 30, 2020 FOR THE PREPARATION OF THIS PLAN.
- VERTICAL DATUM BASED ON NAVD 1988.
- LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, AND OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATIONS OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.
- THE CONTRACTOR SHOULD VERIFY THE EXISTING CONDITIONS TO HIS SATISFACTION PRIOR TO BEGINNING ANY EXCAVATION. "DIG SAFE" SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK.
- THIS PARCEL IS NOT LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.



NO.	DATE	BY	REVISIONS
1	10/02/20	KJM	EXISTING CONDITIONS UPDATED
2	11/09/20	KJM	DRIVEWAYS ON NORTH SIDE OF CHARLTON ROAD ~ ROUTE 20

SHERMAN & FRYDRYK, LLC
Land Surveying and Engineering
3 Converse Street, Suite 203
Palmer, MA 01069

FIELD WORK: PSC/BWJ
COMPS: KJM
DRAFTING: KJM
CHECKED: TRF
APPROVED: DJF



SCALE:
HORZ: 1"=40'
VERT: N/A
DATE: 03/03/2017

EXISTING CONDITIONS PLAN
CHARLTON ROAD ~ ROUTE 20

PLAN OF LAND IN
STURBRIDGE, MA
PREPARED FOR
SOLLI ENGINEERING, LLC

PROJECT NUMBER
15143B
SHEET NUMBER
1 OF 1

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBR TO BE REMOVED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200 — EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- == DRAIN LINE
- W WATER LINE
- S SEWER LINE

SCHEDULE OF DRAINAGE STRUCTURES TO BE DEMOLISHED:
SEE "EXISTING CONDITIONS PLAN - CHARLTON ROAD - ROUTE 20" DRAFTED BY SHERMAN & FRYDRYK, LLC., REVISE DATE NOVEMBER 9, 2020, FOR STRUCTURE LOCATION:

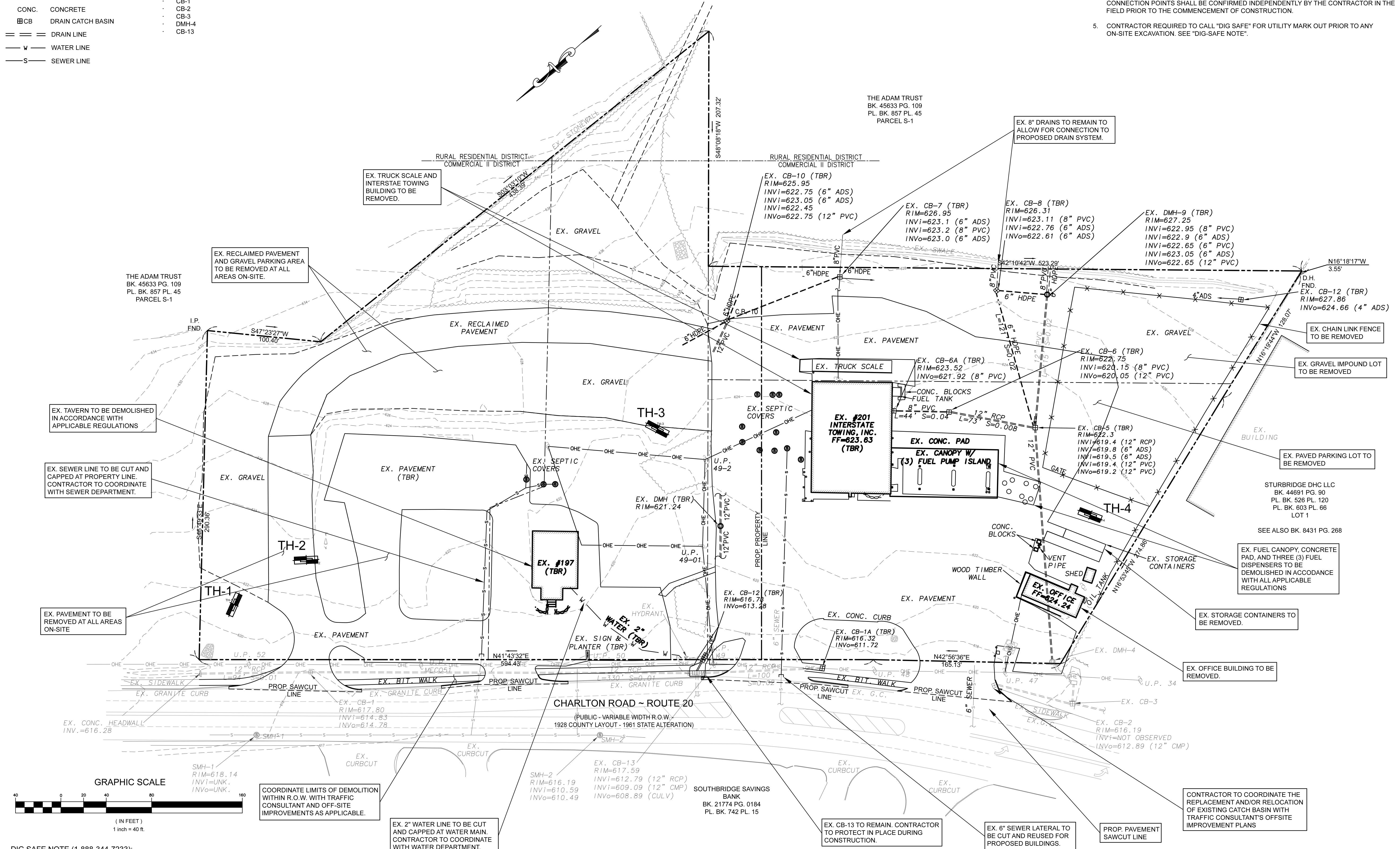
- CB-1A
- CB-5
- CB-6
- CB-6A
- CB-7
- CB-8
- DMH-9
- CB-10
- CB-12

SCHEDULE OF DRAINAGE STRUCTURES TO REMAIN:

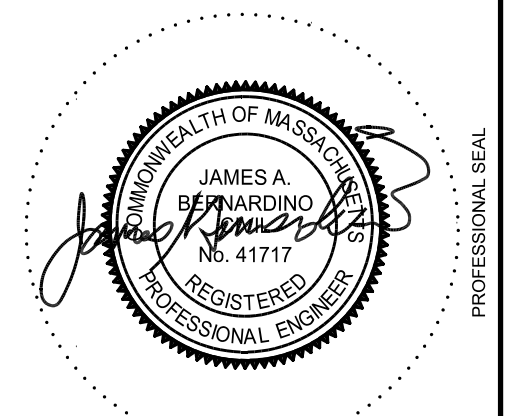
- SEE "EXISTING CONDITIONS PLAN - CHARLTON ROAD - ROUTE 20" DRAFTED BY SHERMAN & FRYDRYK, LLC., REVISE DATE NOVEMBER 9, 2020, FOR STRUCTURE LOCATION:
- CB-1
 - CB-2
 - CB-3
 - DMH-4
 - CB-13

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND DESIGN ENGINEER REGARDING PHASING OF OVERALL DEMOLITION TO ASSURE APPROPRIATE DRAINAGE IS PROVIDED TO CONVEY OFF-SITE DRAINAGE RUNOFF ONTO AND THROUGH SITE DURING CONSTRUCTION ACTIVITIES.
2. THIS PROJECT WILL DISTURB GREATER THAN ONE ACRE AND IS SUBJECT TO COVERAGE UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.
3. SEDIMENTATION AND EROSION CONTROL MUST BE INSTALLED PRIOR TO ANY SITE DISTURBANCE ACTIVITIES TAKE PLACE ON-SITE. SEE SHEET C-5.0, "SEDIMENTATION AND EROSION CONTROL PLAN" FOR LOCATION AND DETAILS OF EROSION CONTROLS.
4. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
5. CONTRACTOR REQUIRED TO CALL "DIG SAFE" FOR UTILITY MARK OUT PRIOR TO ANY ON-SITE EXCAVATION. SEE "DIG-SAFE NOTE".



DIG SAFE NOTE (1-888-344-7233):
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STURBRIDGE, MA 01566
 PREPARED FOR:
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 Fax: 774-241-0906

CMG EST. 2002
 ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 40'
 PROJECT NO.: 2020-127

DEMOLITION PLAN

**ZONING INFORMATION TABLE - STURBRIDGE, MA
PROPOSED LOT 1 (#195 & 197 CHARLTON ROAD)**

APPLICANT: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC. OWNER: SCOTT CONNER
141 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ASSASSOR'S MAP ID: 208-02622-195 DEED: BK 60404 PG 267
208-02622-197

ZONING: COMMERCIAL II (C2)
EXISTING USE: VACANT TAVERN
PROPOSED USE: GASOLINE FILLING STATION AND CONVENIENCE STORE WITH DRIVE-THRU

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	1 ACRE	172,262 S.F. (3.95 Ac.)	188,668 S.F. (4.33 Ac.)
FRONTAGE	150 FT.	448.20 FT.	495.92 FT.
STREET SETBACK	25 FT.	52.87 FT.	40.61 FT.
OTHER SETBACK	10 FT.	291.01 FT.	30.32 FT.
MAX. LOT COVERAGE	30%	1.3% (2,223± S.F.)	9.5% (17,950± S.F.)
MAX. BLDG. HEIGHT	35 FT. (3 STORIES)	< 35 FT.	30.62'
MAX IMPERVIOUS SURFACE	N/A	56% (97,663± S.F.)	61% (116,330± S.F.)

PROPOSED PARKING CALCULATION:

	REQUIRED	PROPOSED
Convenience Store (1 Space / 200 s.f. GFA) 3,100 s.f. * (1 Space / 200 s.f.)	16 Spaces	8 Spaces
Proposed Fuel Canopy Fueling Positions		20 Spaces
Proposed Electric Vehicle Charging Stations		10 Spaces
Restaurant (1 Space / 3 Seats) & (1 Space/ Employee) Tenant 1 & Tenant 2 = 42 Seats * (1 Space / 3 Seats) + 10 Employees	24 Spaces	26 Spaces
Frisbies Ice Cream = 26 Seats * (1 Space / 3 Seats) + 4 Employees (6 at Counter - 20 at Patio)	13 Spaces	7 Spaces
Total Spaces =	53 Spaces	71 Spaces
Marked Handicap Accessible Spaces (51-75 Spaces) Van Accessible	3 HC Spaces	3 HC Spaces

LEGEND

- MON MONUMENT
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- LSA PROPOSED LANDSCAPE AREA
- E.O.P. EDGE OF PAVEMENT

**ZONING INFORMATION TABLE - STURBRIDGE, MA
PROPOSED LOT 2 (#201 & 201A CHARLTON ROAD)**

APPLICANT: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC. OWNER: SCOTT CONNER
141 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ASSASSOR'S MAP ID: 208-02622-201 DEED: BK 60404 PG 267
208-02622-201A

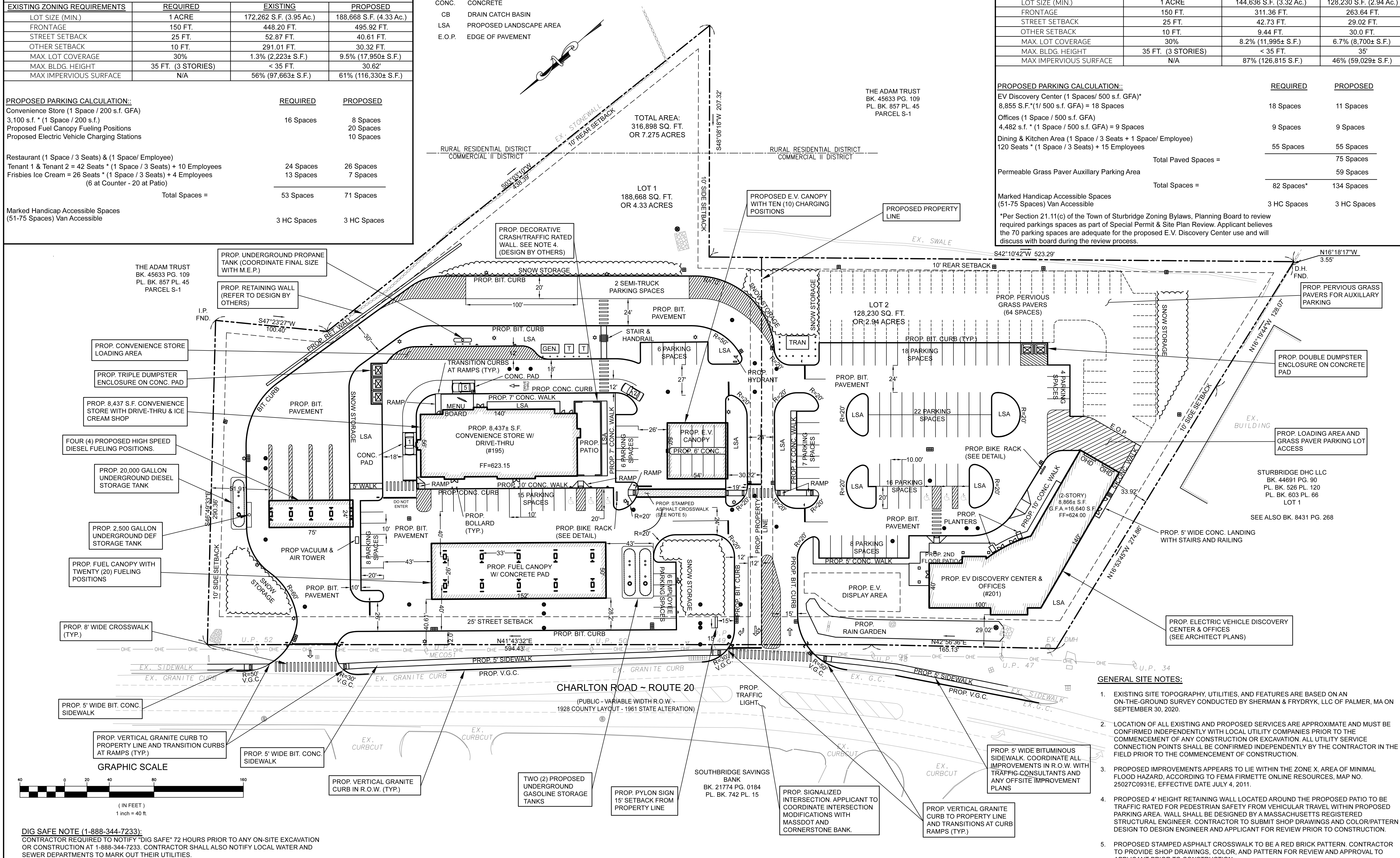
ZONING: COMMERCIAL II (C2)
EXISTING USE: TOWING COMPANY
PROPOSED USE: ELECTRIC VEHICLE DISCOVERY / CONFERENCE CENTER, OFFICES, AND DINING AREA

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	1 ACRE	144,636 S.F. (3.32 Ac.)	128,230 S.F. (2.94 Ac.)
FRONTAGE	150 FT.	311.36 FT.	263.64 FT.
STREET SETBACK	25 FT.	42.73 FT.	29.02 FT.
OTHER SETBACK	10 FT.	9.44 FT.	30.0 FT.
MAX. LOT COVERAGE	30%	8.2% (11,995± S.F.)	6.7% (8,700± S.F.)
MAX. BLDG. HEIGHT	35 FT. (3 STORIES)	< 35 FT.	35'
MAX IMPERVIOUS SURFACE	N/A	87% (126,815 S.F.)	46% (59,029± S.F.)

PROPOSED PARKING CALCULATION:

	REQUIRED	PROPOSED
EV Discovery Center (1 Space/ 500 s.f. GFA)* 8,855 S.F. * (1/ 500 s.f. GFA) = 18 Spaces	18 Spaces	11 Spaces
Offices (1 Space / 500 s.f. GFA) 4,482 s.f. * (1 Space / 500 s.f. GFA) = 9 Spaces	9 Spaces	9 Spaces
Dining & Kitchen Area (1 Space / 3 Seats + 1 Space/ Employee) 120 Seats * (1 Space / 3 Seats) + 15 Employees	55 Spaces	55 Spaces
Total Paved Spaces =	75 Spaces	75 Spaces
Permeable Grass Paver Auxillary Parking Area		59 Spaces
Total Spaces =	82 Spaces*	134 Spaces
Marked Handicap Accessible Spaces (51-75 Spaces) Van Accessible	3 HC Spaces	3 HC Spaces

*Per Section 21.11(c) of the Town of Sturbridge Zoning Bylaws, Planning Board to review required parking spaces as part of Special Permit & Site Plan Review. Applicant believes the 70 parking spaces are adequate for the proposed E.V. Discovery Center use and will discuss with board during the review process.



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



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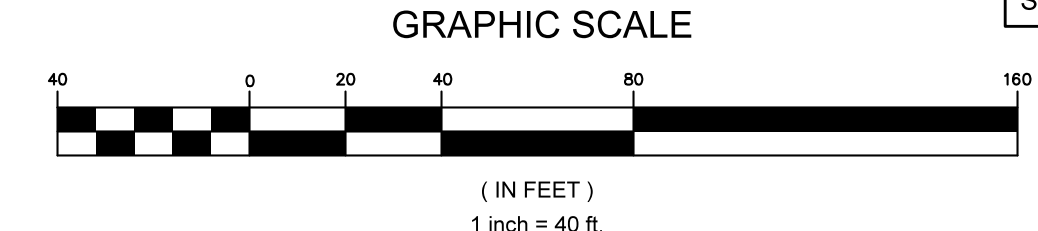
CMG
EST. 2002

ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 40'
 PROJECT NO.: 2020-127

SITE LAYOUT PLAN

C-2.0

- GENERAL SITE NOTES:**
- EXISTING SITE TOPOGRAPHY, UTILITIES, AND FEATURES ARE BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY SHERMAN & FRYDRYK, LLC OF PALMER, MA ON SEPTEMBER 30, 2020.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - PROPOSED IMPROVEMENTS APPEARS TO LIE WITHIN THE ZONE X, AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FEMA FIRMETTE ONLINE RESOURCES, MAP NO. 25027C0931E, EFFECTIVE DATE JULY 4, 2011.
 - PROPOSED 4' HEIGHT RETAINING WALL LOCATED AROUND THE PROPOSED PATIO TO BE TRAFFIC RATED FOR PEDESTRIAN SAFETY FROM VEHICULAR TRAVEL WITHIN PROPOSED PARKING AREA. WALL SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED STRUCTURAL ENGINEER. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND COLOR/PATTERN DESIGN TO DESIGN ENGINEER AND APPLICANT FOR REVIEW PRIOR TO CONSTRUCTION.
 - PROPOSED STAMPED ASPHALT CROSSWALK TO BE A RED BRICK PATTERN. CONTRACTOR TO PROVIDE SHOP DRAWINGS, COLOR, AND PATTERN FOR REVIEW AND APPROVAL TO APPLICANT PRIOR TO CONSTRUCTION.



DIG SAFE NOTE (1-888-344-7233):
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TRAVEL CENTER PROPOSED SIGNAGE TABLE					
SIGN ID	QTY	TYPE	SIGN AREA (S.F.)	TOTAL SIGN AREA (S.F.)	COMMENTS
1.	1	WALL	25 S.F.	25 S.F.	NOBLE BREW I.D. SIGN SEE SHEET CP1.3
2.	1	WALL	25 S.F.	25 S.F.	NARDELLI'S I.D. SIGN SEE SHEET CP1.3
3.	1	WALL	50 S.F.	50 S.F.	NOBLE ENERGY I.D. SIGN SEE SHEET CP1.3
4.	1	WALL	17 S.F.	17 S.F.	FRISBIE'S DAIRY BARN I.D. SIGN SEE SHEET CP1.3
5.	8	WALL	13.75 S.F.	110 S.F.	NOBLE ENERGY CANOPY SIGN SEE SHEET CP1.5
6.	1	FREESTANDING	65 S.F.	65 S.F.*	NOBLE ENERGY PYLON SIGN SEE SHEET CP1.9
7.	1	FREESTANDING	40 S.F.	40 S.F.	DRIVE-THROUGH MENU BOARD SEE SHEET CP1.9
8.	2	FREESTANDING	5 S.F.	20 S.F.*	DRIVE-THROUGH DIRECTIONAL SIGN
TOTAL SIGNAGE AREA				352 S.F.	

*INDICATES SIGNAGE IS DOUBLE-SIDED

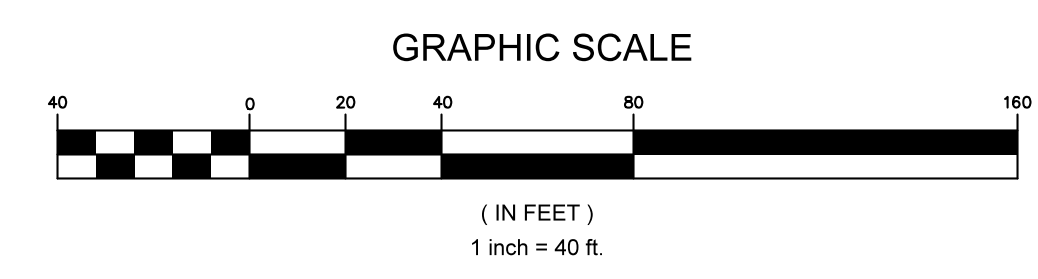
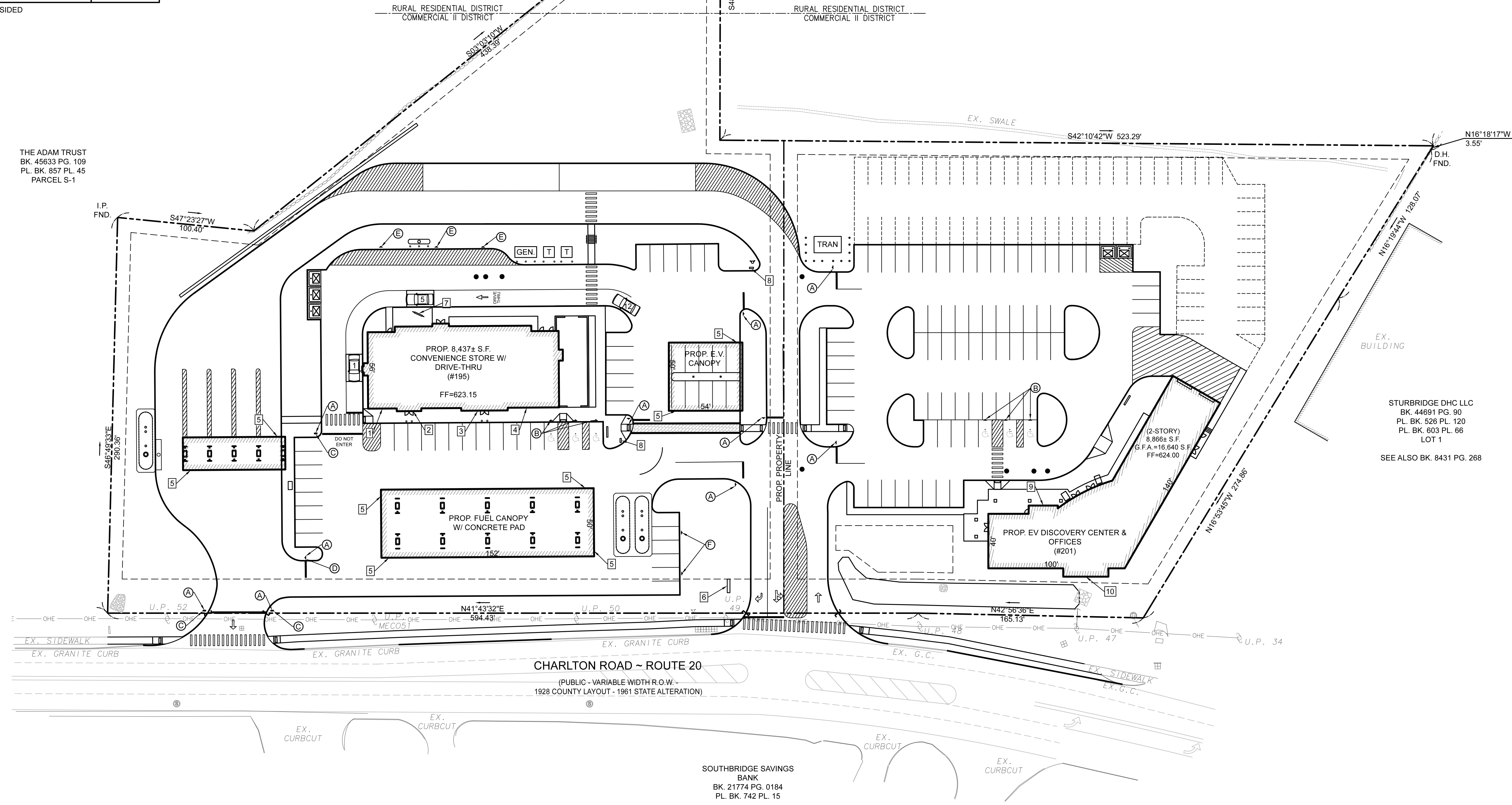
LEGEND

- MON MONUMENT
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- UTILITY POLE
- (A) SITE DIRECTION SIGN LABEL
- (1) SITE SIGN LABEL

PAVEMENT STRIPING LEGEND:

- 4" WIDE WHITE PARKING STALL LINE
- WHITE LEGEND
- PAINTED TRAFFIC FLOW ARROWS
- 4" WIDE @ 3'o.c. WHITE STRIPING
- 12" WIDE WHITE CROSS-WALK STRIPE & STOP BAR
- WHITE LEGEND

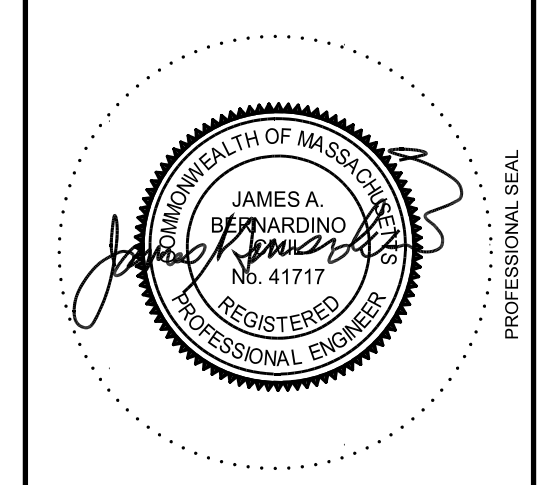
E.V. DISCOVERY CENTER PROPOSED SIGNAGE TABLE					
SIGN ID	QTY	TYPE	SIGN AREA (S.F.)	TOTAL SIGN AREA (S.F.)	COMMENTS
9.	1	WALL	144 S.F.	144 S.F.	E.V. DISCOVERY CENTER I.D. SIGN #1 SEE ARCHITECTURAL PLANS
10.	1	WALL	230 S.F.	230 S.F.	E.V. DISCOVERY CENTER I.D. SIGN #2 SEE ARCHITECTURAL PLANS
TOTAL SIGNAGE AREA				374 S.F.	



DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

- SIGN LEGEND:**
- (A) R1-1 30" STOP SIGN
 - (B) R7-8 ACCESSIBLE PARKING SIGN
 - (C) 31-0119 "DO NOT ENTER" SIGN
 - (D) R3-1 RIGHT TURN PROHIBITION SIGN
 - (E) R7-6 LOADING ZONE SIGN
 - (F) EMPLOYEE PARKING SIGN

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



PROJECT: NOBLE ENERGY TRAVEL CENTER & E.V. DISCOVERY CENTER #195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA 01566

PREPARED FOR: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC. 131 BUCKINGHAM STREET, SUITE 301 HARTFORD, CT 06106

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906

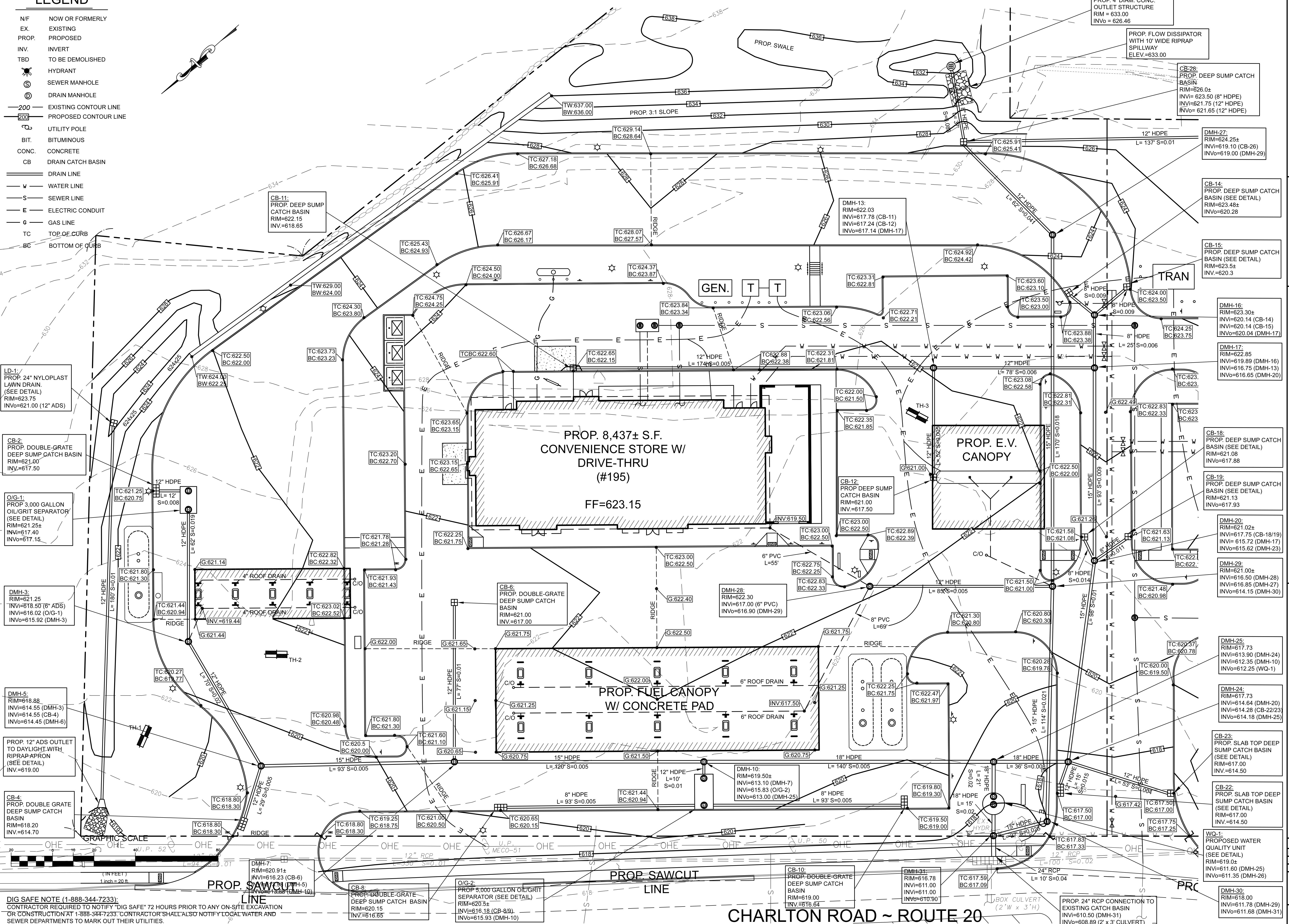
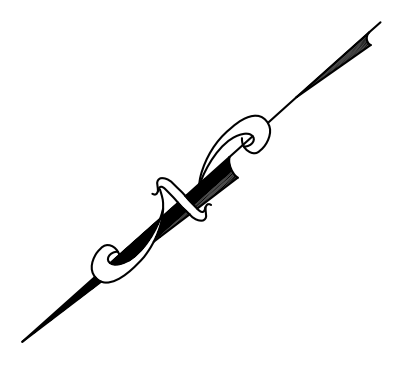


ISSUE DATE: 3/26/2021
DRAWN BY: RL CHECKED BY: JAB
SCALE: 1" = 40'
PROJECT NO.: 2020-127

SITE SIGNAGE LAYOUT PLAN
C-2.1

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBD TO BE DEMOLISHED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200- EXISTING CONTOUR LINE
- 200 PROPOSED CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- DRAIN LINE
- W WATER LINE
- S SEWER LINE
- E ELECTRIC CONDUIT
- G GAS LINE
- TC TOP OF CURB
- BC BOTTOM OF CURB



DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

OCS-1:
 PROP. 4" DIAM. CONC.
 OUTLET STRUCTURE
 RIM = 633.00
 INVo = 626.46

PROP. FLOW DISSIPATOR
 WITH 10' WIDE RIPRAP
 SPILLWAY
 ELEV.=633.00

CB-28:
 PROP. DEEP SUMP CATCH
 BASIN
 RIM=626.0±
 INVi= 623.50 (8" HDPE)
 INVo=621.75 (12" HDPE)
 INVo= 621.65 (12" HDPE)

DMH-27:
 RIM=624.25±
 INVi=619.10 (CB-26)
 INVo=619.00 (DMH-29)

CB-14:
 PROP. DEEP SUMP CATCH
 BASIN (SEE DETAIL)
 RIM=623.48±
 INVo=620.28

CB-15:
 PROP. DEEP SUMP CATCH
 BASIN (SEE DETAIL)
 RIM=623.5±
 INVo=620.3

DMH-16:
 RIM=623.30±
 INVi=620.14 (CB-14)
 INVi=620.14 (CB-15)
 INVo=620.04 (DMH-17)

DMH-17:
 RIM=622.85
 INVi=619.89 (DMH-16)
 INVi=616.75 (DMH-13)
 INVo=616.65 (DMH-20)

CB-18:
 PROP. DEEP SUMP CATCH
 BASIN (SEE DETAIL)
 RIM=621.08
 INVo=617.88

CB-19:
 PROP. DEEP SUMP CATCH
 BASIN (SEE DETAIL)
 RIM=621.13
 INVo=617.93

DMH-20:
 RIM=621.02±
 INVi=617.75 (CB-18/19)
 INVi= 615.72 (DMH-17)
 INVo=615.62 (DMH-23)

DMH-29:
 RIM=621.00±
 INVi=616.50 (DMH-28)
 INVi=616.85 (DMH-27)
 INVo=614.15 (DMH-30)

DMH-25:
 RIM=617.73
 INVi=613.90 (DMH-24)
 INVi=612.35 (DMH-10)
 INVo=612.25 (WQ-1)

DMH-24:
 RIM=617.73
 INVi=614.64 (DMH-20)
 INVi=614.28 (CB-22/23)
 INVo=614.18 (DMH-25)

CB-23:
 PROP. SLAB TOP DEEP
 SUMP CATCH BASIN
 (SEE DETAIL)
 RIM=617.00
 INVo=614.50

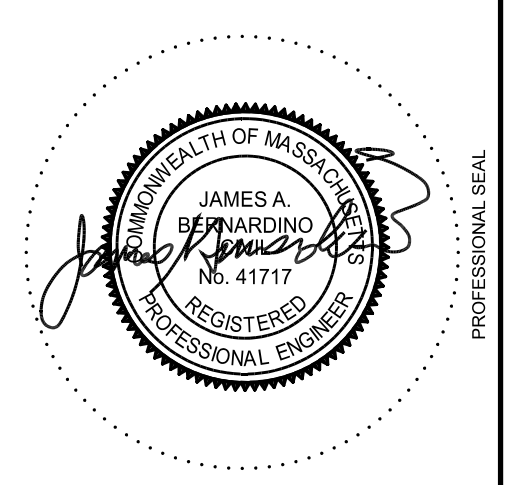
CB-22:
 PROP. SLAB TOP DEEP
 SUMP CATCH BASIN
 (SEE DETAIL)
 RIM=617.00
 INVo=614.50

WQ-1:
 PROPOSED WATER
 QUALITY UNIT
 (SEE DETAIL)
 RIM=619.0±
 INVi=611.60 (DMH-25)
 INVo=611.35 (DMH-26)

DMH-30:
 RIM=618.00
 INVi=611.78 (DMH-29)
 INVo=611.68 (DMH-31)

PROP. 24" RCP CONNECTION TO
 EXISTING CATCH BASIN
 RIM=610.50 (DMH-31)
 INVo=608.89 (2' x 3' CULVERT)

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



NOBLE ENERGY
 PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
 #195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
 STURBRIDGE, MA 01566
 PREPARED FOR:
 NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
 131 BUCKINGHAM STREET, SUITE 301
 HARTFORD, CT 06106

ENGINEERING SERVICES
 ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906

ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 20'
 PROJECT NO.: 2020-127
 GRADING & DRAINAGE
 PLAN
 SHEET #1 OF 2
C-3.1

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBD TO BE DEMOLISHED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- DRAIN LINE
- W WATER LINE
- S SEWER LINE
- E ELECTRIC CONDUIT
- G GAS LINE
- TC TOP OF CURB
- BC BOTTOM OF CURB

SOIL TEST RESULTS

PERFORMED BY: EDWARD J. AVIZINIS, CPSS, PWS
DATE: NOVEMBER 20, 2020

TEST PIT: TH-1
ELEV.=621.0±

- 0"-10" HTM LOAMY SAND 2.5Y 3/3
 - 10"-40" Bw LOAMY SAND 10YR 4/4
 - 40"-78" 2Cd1 FINE SANDY LOAM 2.5Y 4/3
 - 78"-110" 2Cd2 FINE SANDY LOAM 2.5Y 4/2
- REDOX @ 40" (617.66)
H2O SEEPING @ 78" (614.50)

TEST PIT: TH-2
ELEV.=623.0±

- 0"-36" HTM LOAMY SAND 2.5Y 4/3
 - 36"-43" Ap SILT LOAM 10YR 3/1
 - 43"-58" Bg SILT LOAM 2.5Y 5/2
 - 58"-106" 2Cd FINE SANDY LOAM 2.5Y 4/2
- REDOX @ 36" (620.00)
H2O SEEPING @ 76" (616.67)

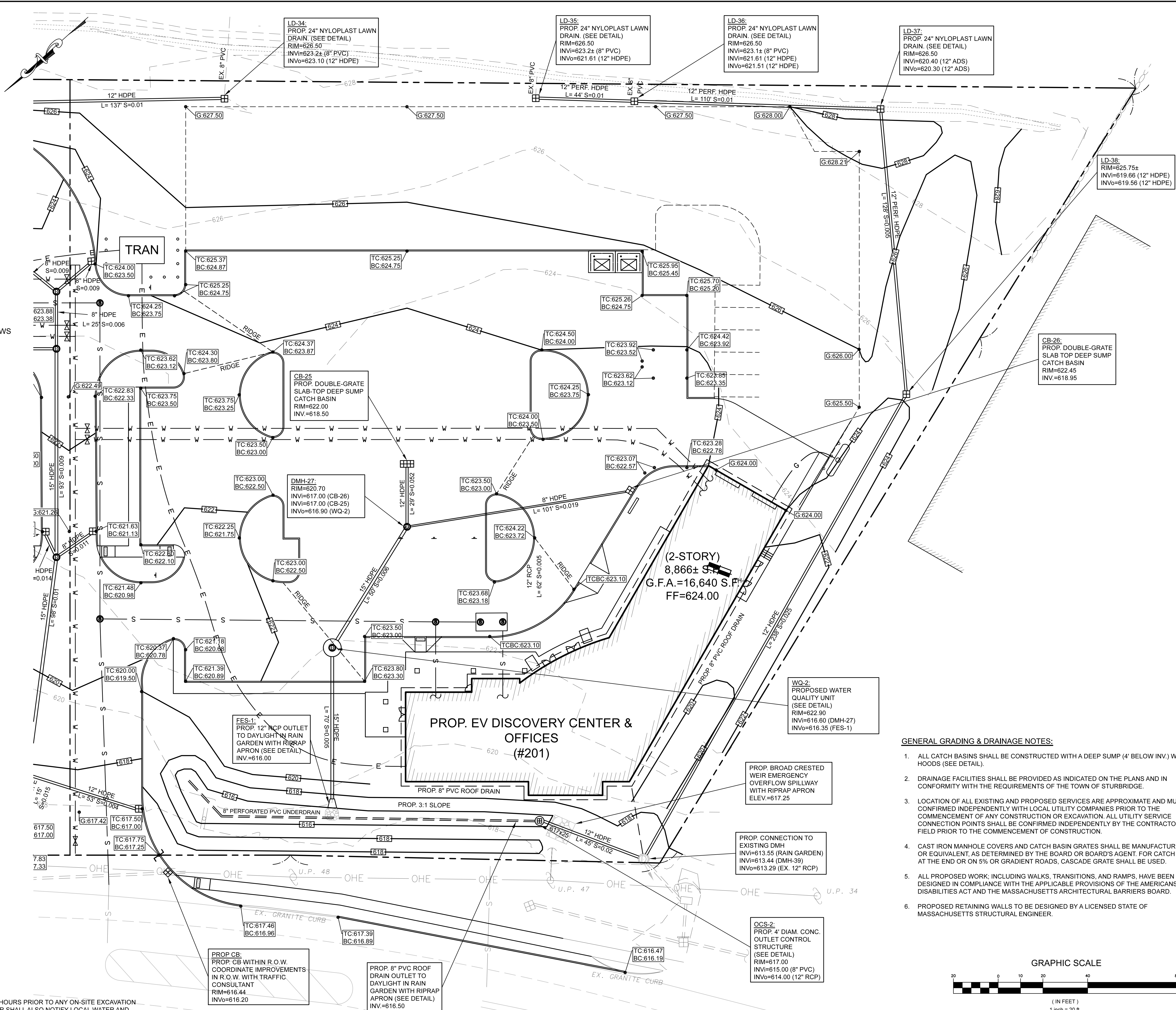
TEST PIT: TH-3
ELEV.=625.0±

- 0"-12" HTM LOAMY SAND 2.5Y 3/3
 - 12"-17" Ap SANDY LOAM 10YR 3/1
 - 17"-33" Bw SANDY LOAM 10YR 5/4
 - 33"-109" 2Cd FINE SANDY LOAM 2.5Y 4/2
- REDOX @ 33" (622.25)
H2O SEEPING @ 105" (616.25)

TEST PIT: TH-4
ELEV.=623.0±

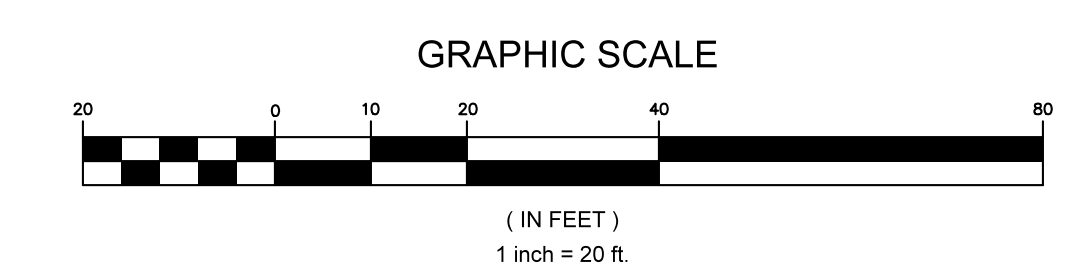
- 0"-2" M PAVEMENT
 - 2"-20" HTM LOAMY SAND 10YR 4/4
 - 20"-28" A SILT LOAM 10YR 5/1
 - 28"-40" Bg SANDY LOAM 10YR 5/1
 - 40"-108" 2Cd FINE SANDY LOAM 2.5Y 4/1
- REDOX @ 21" (621.16)
H2O SEEPING @ 102" (614.50)

DIG SAFE NOTE (1-888-344-7233):
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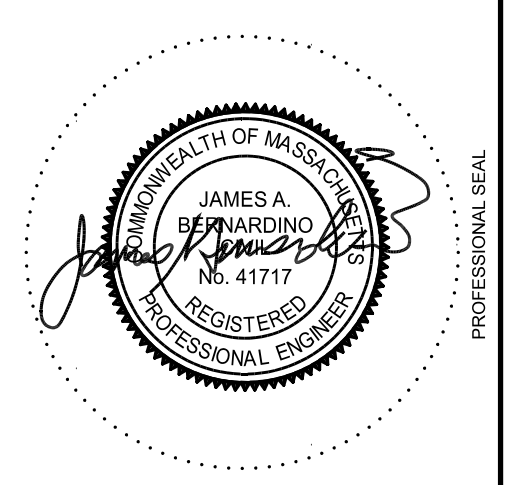


GENERAL GRADING & DRAINAGE NOTES:

1. ALL CATCH BASINS SHALL BE CONSTRUCTED WITH A DEEP SUMP (4' BELOW INV.) WITH HOODS (SEE DETAIL).
2. DRAINAGE FACILITIES SHALL BE PROVIDED AS INDICATED ON THE PLANS AND IN CONFORMITY WITH THE REQUIREMENTS OF THE TOWN OF STURBRIDGE.
3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. CAST IRON MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE MANUFACTURED BY OR EQUIVALENT, AS DETERMINED BY THE BOARD OR BOARD'S AGENT. FOR CATCH BASINS AT THE END OR ON 5% OR GRADIENT ROADS, CASCADE GRATE SHALL BE USED.
5. ALL PROPOSED WORK, INCLUDING WALKS, TRANSITIONS, AND RAMPS, HAVE BEEN DESIGNED IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT AND THE MASSACHUSETTS ARCHITECTURAL BARRIERS BOARD.
6. PROPOSED RETAINING WALLS TO BE DESIGNED BY A LICENSED STATE OF MASSACHUSETTS STRUCTURAL ENGINEER.



NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



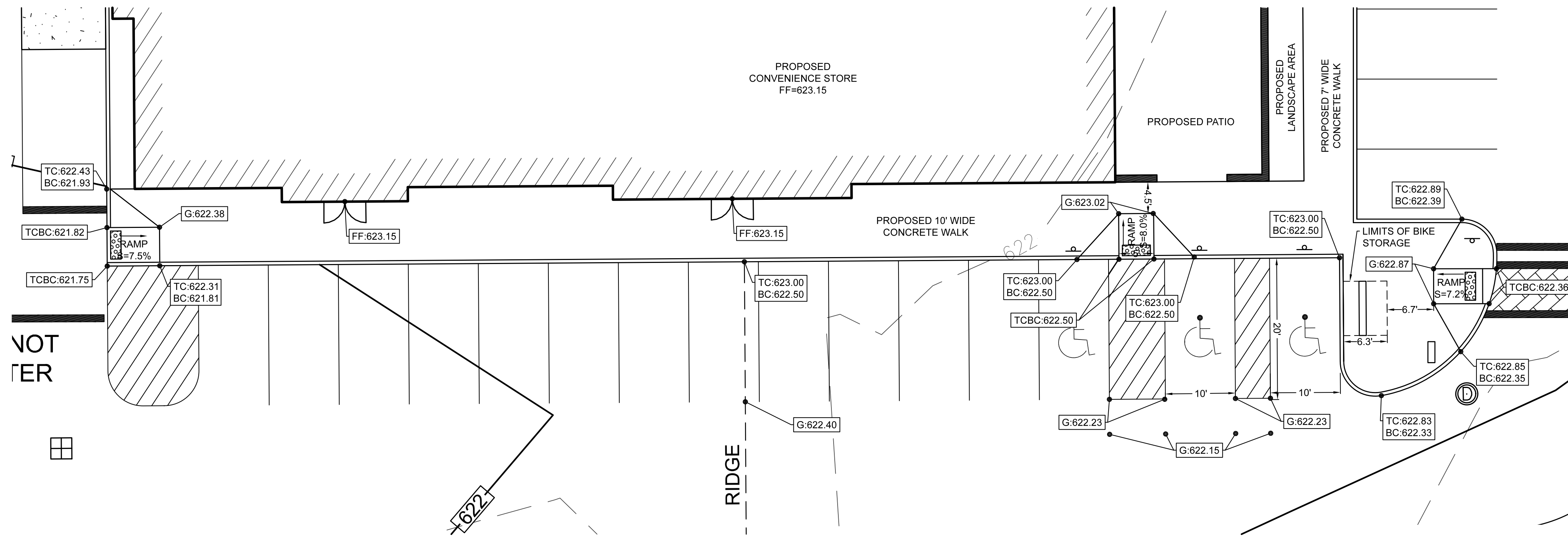
PROJECT: NOBLE ENERGY
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
 PREPARED FOR:
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906

CMG EST. 2002

ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 20'
 PROJECT NO.: 2020-127
GRADING & DRAINAGE PLAN
 SHEET #2 OF 2

C-3.2



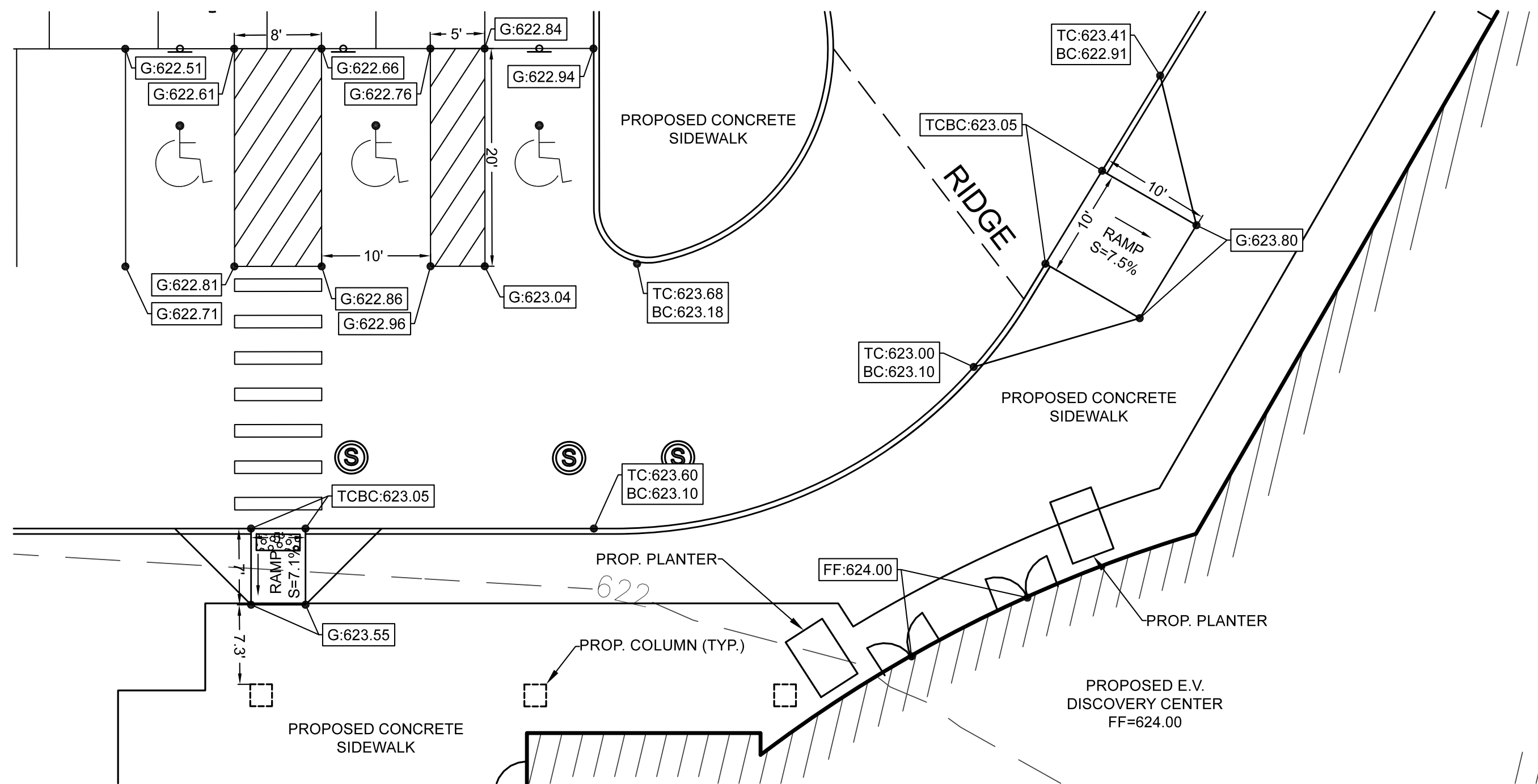
ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

NOTE:
 * BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".

MASSDOT CURB TRANSITION LENGTHS

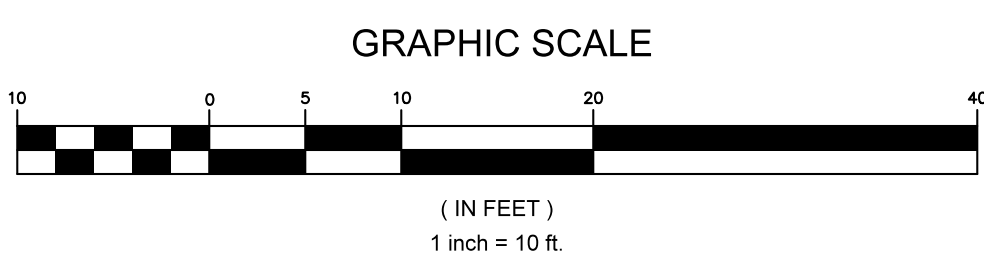
1 PROPOSED CONVENIENCE STORE ADA RAMP

C-3.3 SCALE: 1" = 10'

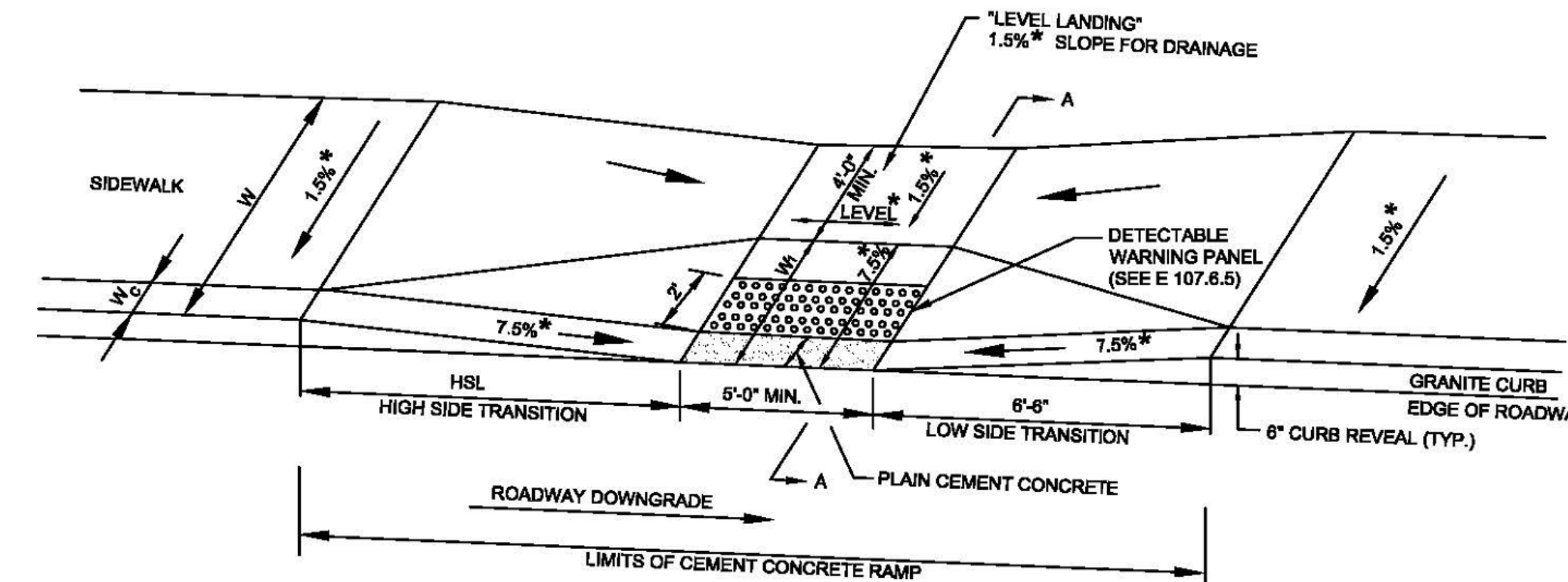


2 PROPOSED E.V. DISCOVERY BUILDING ADA RAMP

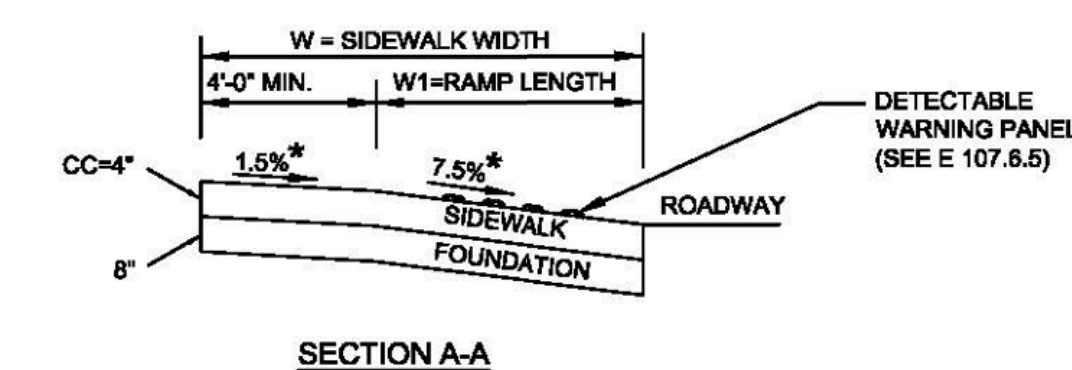
C-3.3 SCALE: 1" = 10'



DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



LEGEND
 HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)
 W = SIDEWALK WIDTH
 Wc = CURB WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 CC = CEMENT CONCRETE
 * = TOLERANCE FOR CONSTRUCTION ±0.5%
 USABLE SIDEWALK WIDTH PER AAB = W-Wc
 RAMP LENGTH, W1 = W-4'-0" Min



3 MASSDOT STANDARD ADA RAMP DETAIL

C-3.3 SCALE: 1" = 10'

WHEELCHAIR RAMP NOTES:

- ROADWAY SIDEWALK CROSS SLOPES, FOR BRICK, CEMENT CONCRETE, AND BITUMINOUS CONCRETE, AS INDICATED IN THE STANDARD SPECIFICATIONS, WILL BE 1.5%. A CONSTRUCTION TOLERANCE OF ±0.5% IS ACCEPTABLE ON ROADWAY SIDEWALKS. (REFER TO STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTION 700.) IN ACCORDANCE WITH 521 CMR THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB), THE SIDEWALK CROSS SLOPE CANNOT EXCEED 2.0%.
- AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 1.00 m (3'-3") SHALL BE MAINTAINED PAST ALL OBSTRUCTIONS (UTILITY POLES, SIGNS, SIGNAL FOUNDATIONS AND MASTS, MAILBOXES, ALONG DRIVE OPENINGS, ETC.).
- THE WHEELCHAIR RAMP SLOPES AND SIDE SLOPES (TRANSITIONS) WILL BE 7.5% WITH A CONSTRUCTION TOLERANCE OF ±0.5%. HOWEVER, THESE SLOPES MAY BE FLATTER WHEN WARRANTED BY SURROUNDING CONDITIONS.
- WHERE THE ROAD PROFILE EXCEEDS 4%, THE HIGH SIDE TRANSITION LENGTH UNDER ANY CONDITIONS NEED NOT EXCEED 4.57 m (15 FEET).
- IN NO CASE WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED ON THE TRAFFIC APPROACH SIDE OF THAT STOP LINE.
- FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS, SIGNS, SIGNAL FOUNDATIONS, ETC.) MUST NOT ENCRoACH ON ANY PART OF THE WHEELCHAIR RAMP INCLUDING TRANSITION SLOPES.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE THE CROSSWALK. THE WHEELCHAIR RAMP ENTRANCE IS TO BE CENTERED IN THE CROSSWALK WHENEVER POSSIBLE.
- CATCH BASINS WHICH ARE TO BE LOCATED IN THE VICINITY OF A WHEELCHAIR RAMP SHALL BE LOCATED UPGRADe OF THE RAMP ENTRANCE.
- THE ENTRANCE OF A WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
- TESTING SURFACE: WHEN TESTING WITH A STRAIGHTEDGE PLACED PARALLEL TO THE LINE OF THE SLOPE THERE SHALL BE NO DEVIATION FROM A TRUE SURFACE IN EXCESS OF 6 mm (1/4").

REVISIONS		BY	CHKD
NO.	DATE	DESCRIPTION	PEER REVIEW TOWN STAFF COMMENTS
1.	5/27/2021		



NOBLE ENERGY
 PROJECT:
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
 PREPARED FOR:
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
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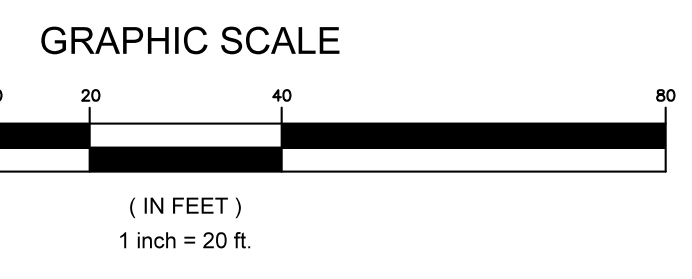
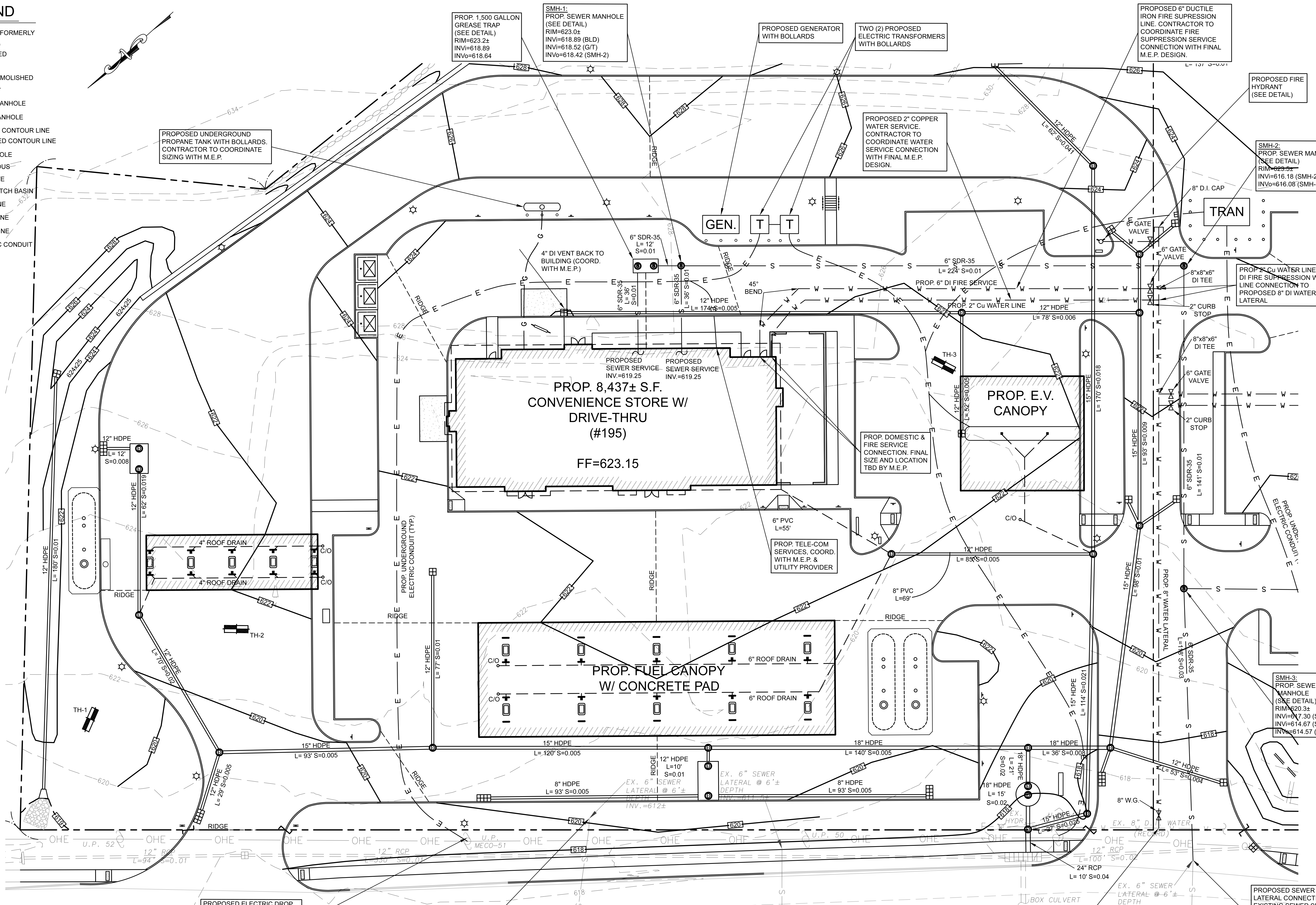
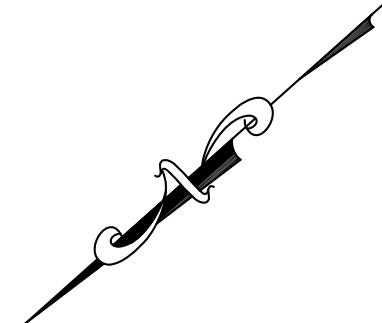
ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 20'
 PROJECT NO.: 2020-127

ADA ACCESSIBLE RAMP DETAILS

C-3.3

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBD TO BE DEMOLISHED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200 EXISTING CONTOUR LINE
- 200 PROPOSED CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- DRAIN LINE
- W WATER LINE
- S SEWER LINE
- E ELECTRIC CONDUIT
- G GAS LINE



DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

PROPOSED SEWER LATERAL CONNECTION TO EXISTING SEWER SERVICE. CONTRACTOR TO VERIFY SEWER STUB INVERT ELEVATION IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

PROPOSED 8" WATER SERVICE CONNECTION TO EXISTING 8" WATER MAIN. CONTRACTOR TO COORDINATE WATER CONNECTION WITH LOCAL WATER COMPANY.

REFER TO SHEET C-4.2 FOR UTILITY NOTES

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



NOBLE ENERGY
PROJECT: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
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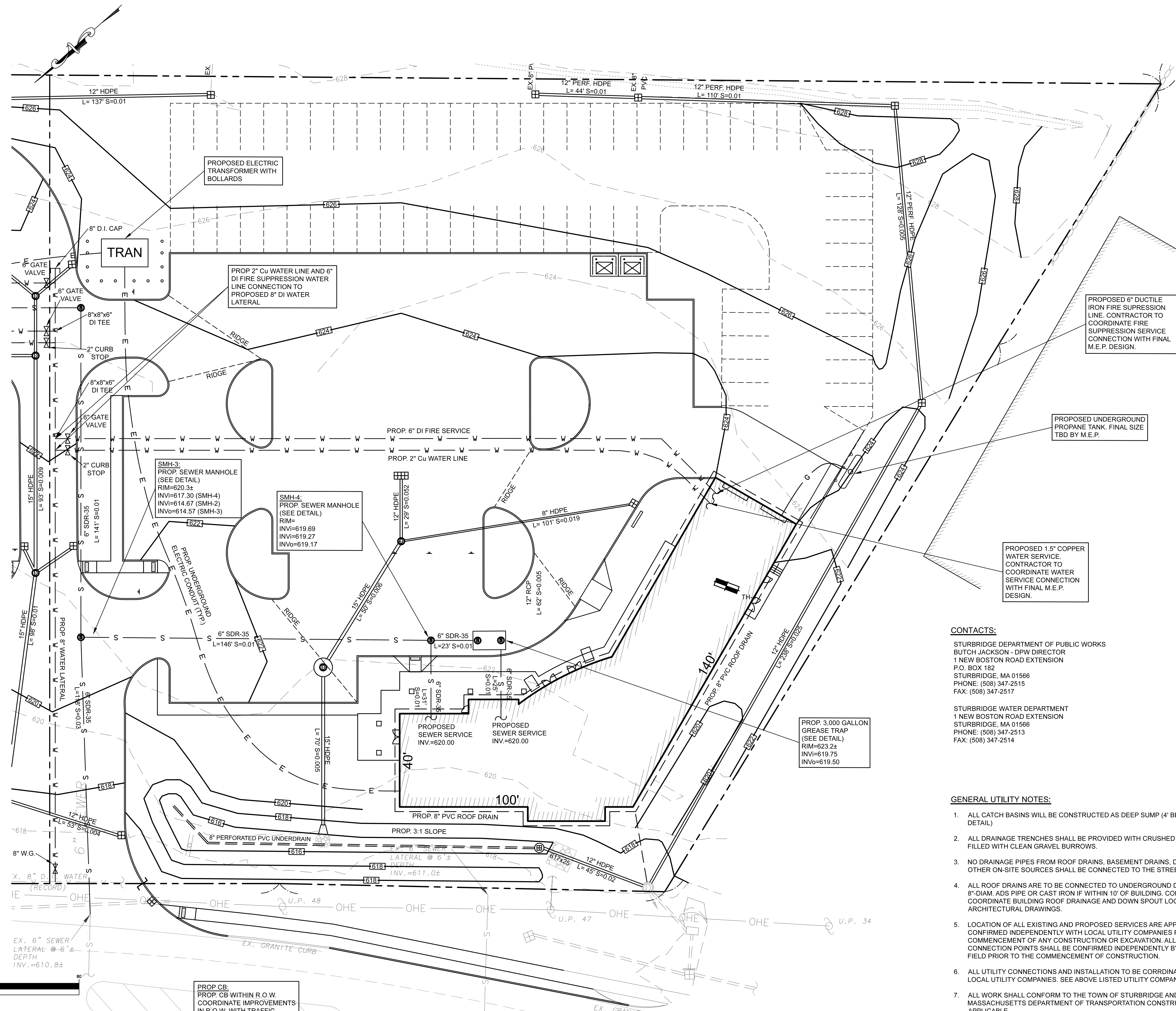


ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 20'
 PROJECT NO.: 2020-127

UTILITY PLAN SHEET #1

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBD TO BE DEMOLISHED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200 EXISTING CONTOUR LINE
- 200 PROPOSED CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- DRAIN LINE
- W WATER LINE
- S SEWER LINE



PROPOSED 6" DUCTILE IRON FIRE SUPPRESSION LINE. CONTRACTOR TO COORDINATE FIRE SUPPRESSION SERVICE CONNECTION WITH FINAL M.E.P. DESIGN.

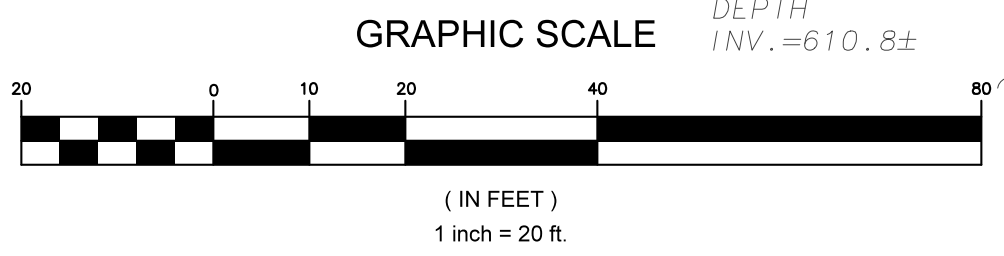
PROPOSED UNDERGROUND PROPANE TANK. FINAL SIZE TBD BY M.E.P.

PROPOSED 1.5" COPPER WATER SERVICE. CONTRACTOR TO COORDINATE WATER SERVICE CONNECTION WITH FINAL M.E.P. DESIGN.

CONTACTS:
 STURBRIDGE DEPARTMENT OF PUBLIC WORKS
 BUTCH JACKSON - DPW DIRECTOR
 1 NEW BOSTON ROAD EXTENSION
 P.O. BOX 182
 STURBRIDGE, MA 01566
 PHONE: (508) 347-2515
 FAX: (508) 347-2517

STURBRIDGE WATER DEPARTMENT
 1 NEW BOSTON ROAD EXTENSION
 STURBRIDGE, MA 01566
 PHONE: (508) 347-2513
 FAX: (508) 347-2514

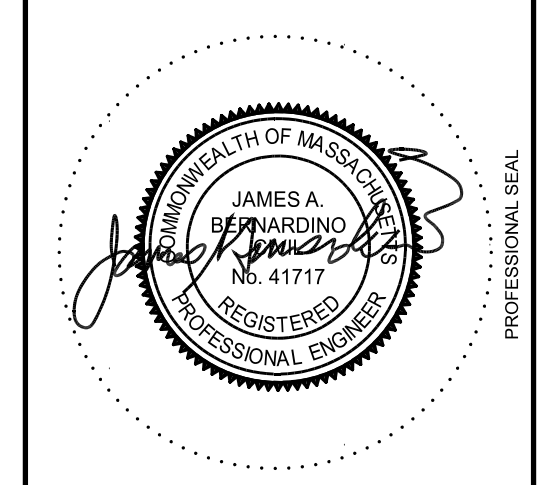
- GENERAL UTILITY NOTES:**
1. ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS (SEE DETAIL)
 2. ALL DRAINAGE TRENCHES SHALL BE PROVIDED WITH CRUSHED STONE PIPE BEDDING AND FILLED WITH CLEAN GRAVEL BURROWS.
 3. NO DRAINAGE PIPES FROM ROOF DRAINS, BASEMENT DRAINS, DRIVEWAY DRAINS OR OTHER ON-SITE SOURCES SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM.
 4. ALL ROOF DRAINS ARE TO BE CONNECTED TO UNDERGROUND DRAINAGE SYSTEM WITH 8"-DIAM. ADS PIPE OR CAST IRON IF WITHIN 10' OF BUILDING. CONTRACTOR TO COORDINATE BUILDING ROOF DRAINAGE AND DOWN SPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS.
 5. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 6. ALL UTILITY CONNECTIONS AND INSTALLATION TO BE COORDINATED WITH APPLICABLE LOCAL UTILITY COMPANIES. SEE ABOVE LISTED UTILITY COMPANY CONTACTS.
 7. ALL WORK SHALL CONFORM TO THE TOWN OF STURBRIDGE AND THE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARDS AS APPLICABLE.
 8. PROPOSED WATER METERS SHALL CONFORM TO THE TOWN OF STURBRIDGE'S WATER DEPARTMENT SPECIFICATIONS.



DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

PROP CB:
 PROP. CB WITHIN R.O.W.
 COORDINATE IMPROVEMENTS
 IN R.O.W. WITH TRAFFIC
 CONSULTANT
 RIM=616.44
 INV=616.20

REVISIONS	
NO.	DESCRIPTION
1.	PEER REVIEW TOWN STAFF COMMENTS



PROJECT:
NOBLE ENERGY
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566

PREPARED FOR:
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906

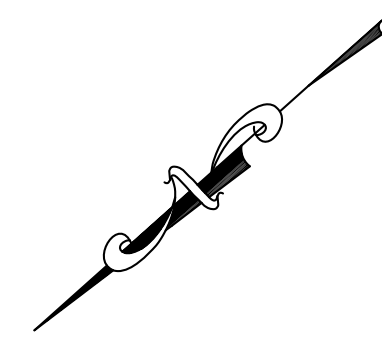


ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 20'

PROJECT NO.: 2020-127
UTILITY PLAN SHEET #2

LEGEND

- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- TBD TO BE DEMOLISHED
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- DRAIN LINE
- WATER LINE
- SEWER LINE
- ELECTRIC CONDUIT
- GAS LINE
- 12" STRAW WATTLES
- DIVERSION SWALE



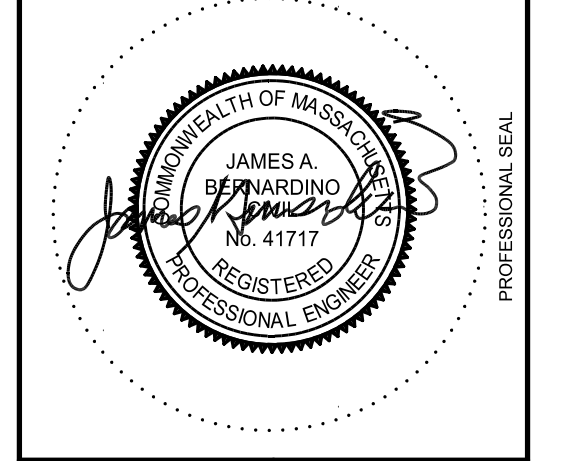
RESPONSIBILITIES OF OWNER/PERMITEE

- THE OWNER/PERMITEE SHALL:
- A. PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT OWNER HAS ACQUIRED.
 - B. INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

- THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION:
- A. INSTALL, MONITOR, AND MAINTAIN OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
 - B. COMPLY WITH ALL PERMIT REQUIREMENTS.

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



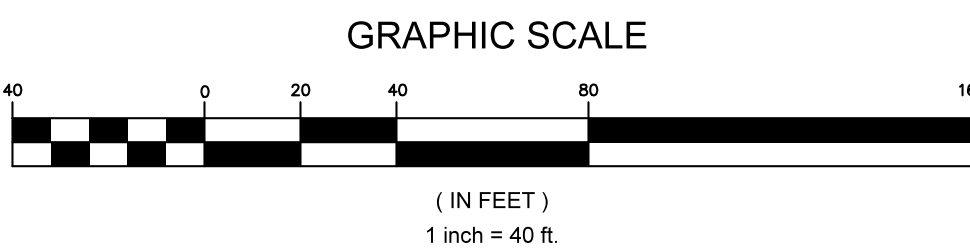
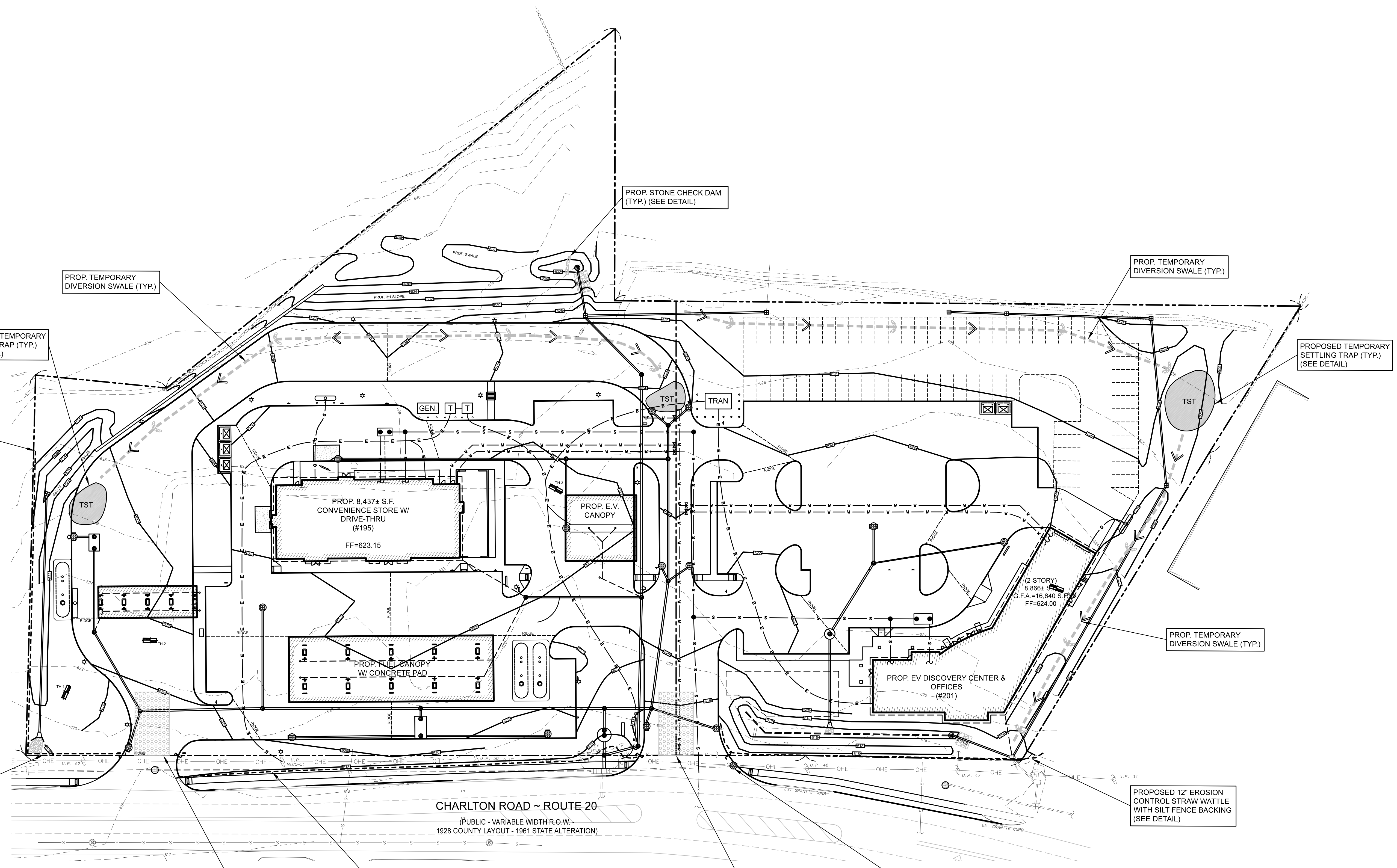
PROJECT: NOBLE ENERGY
NOBLE ENERGY
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
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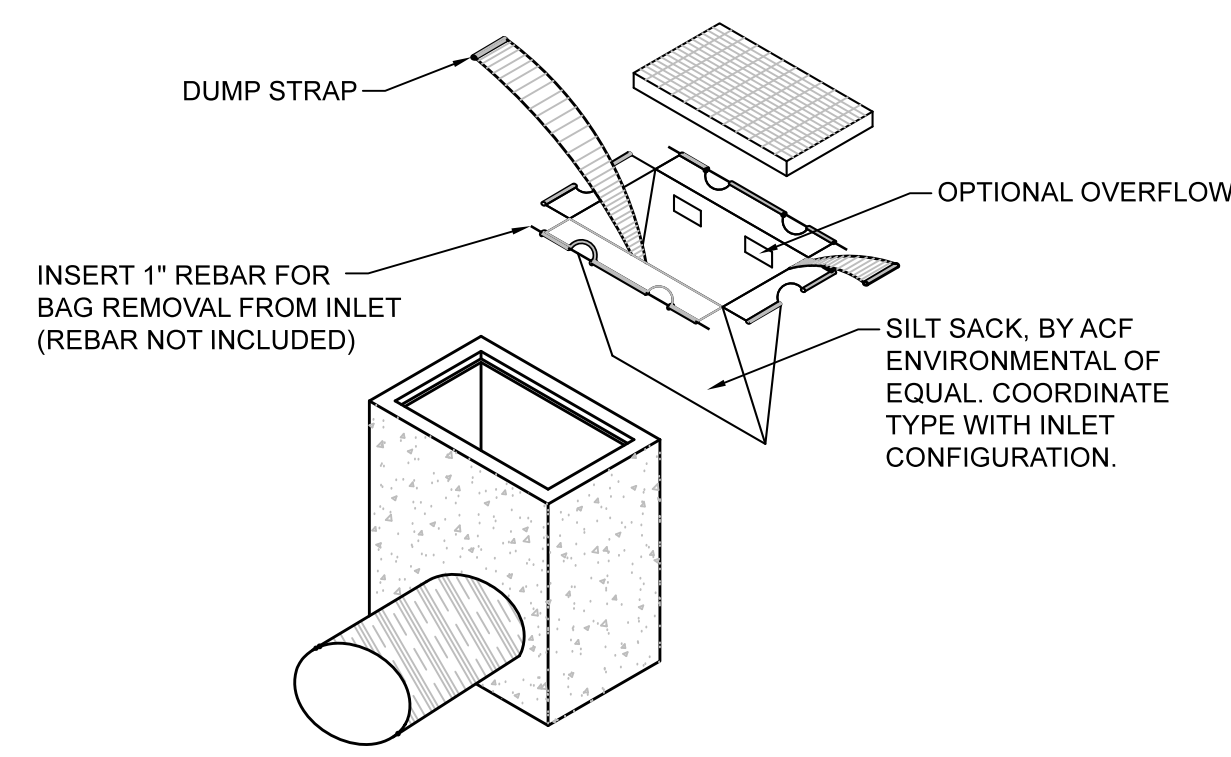


ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: 1" = 40'
 PROJECT NO.: 2020-127

EROSION & SEDIMENT CONTROL PLAN

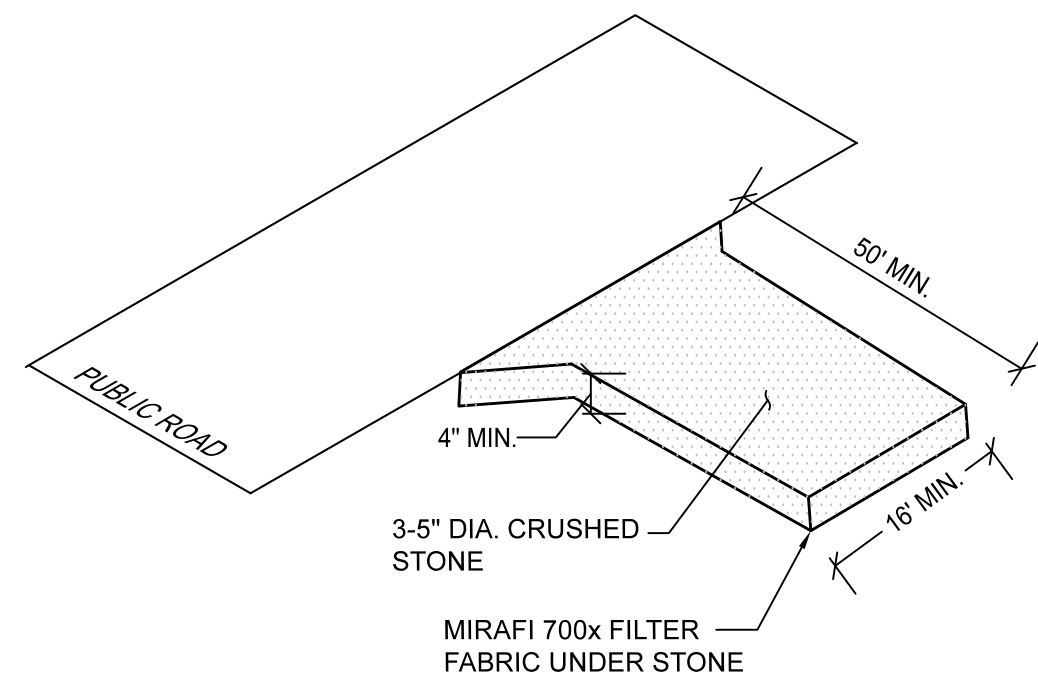


DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



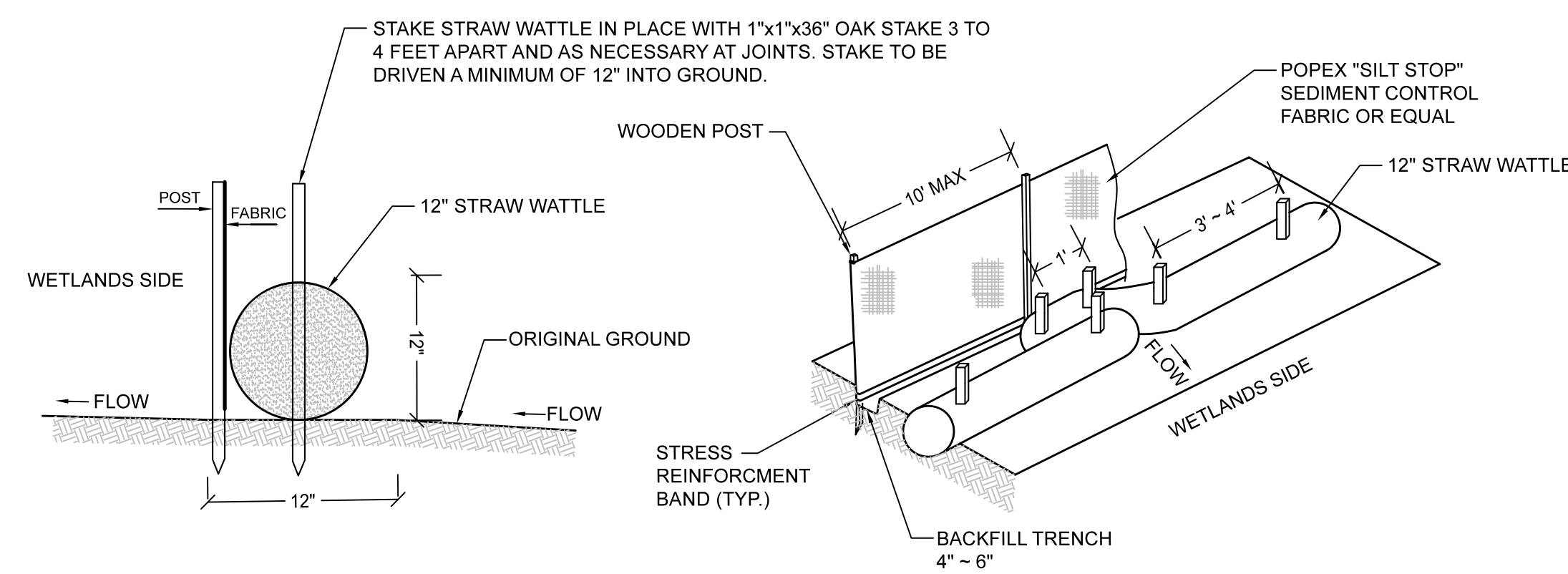
1 SILT SACK DETAIL

C-6.1 SCALE: N.T.S.



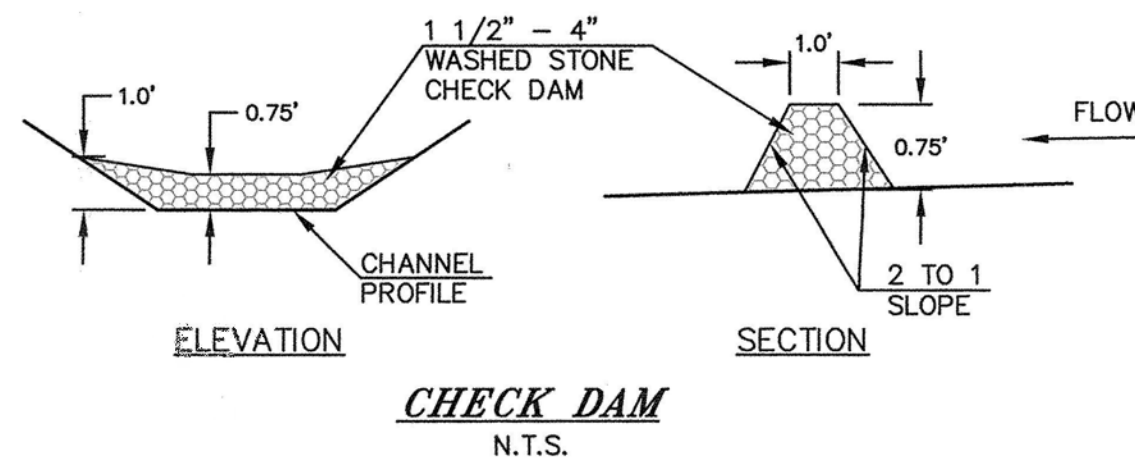
2 CONSTRUCTION EXIT DETAIL

C-6.1 SCALE: N.T.S.



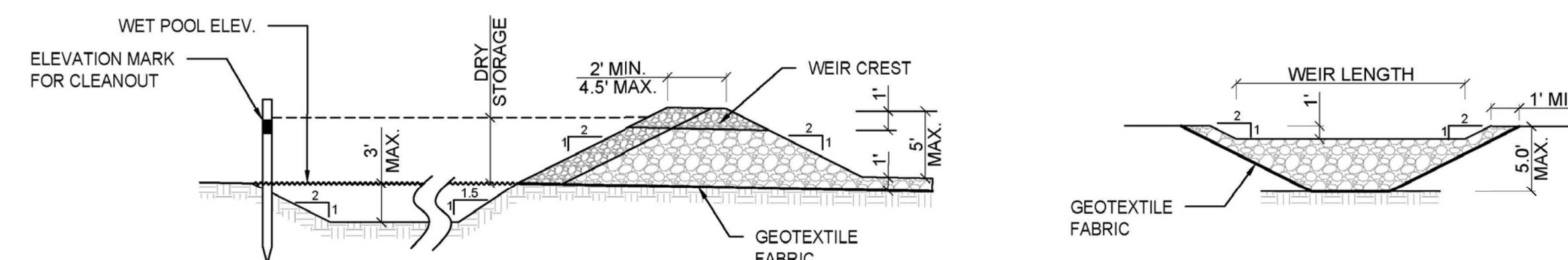
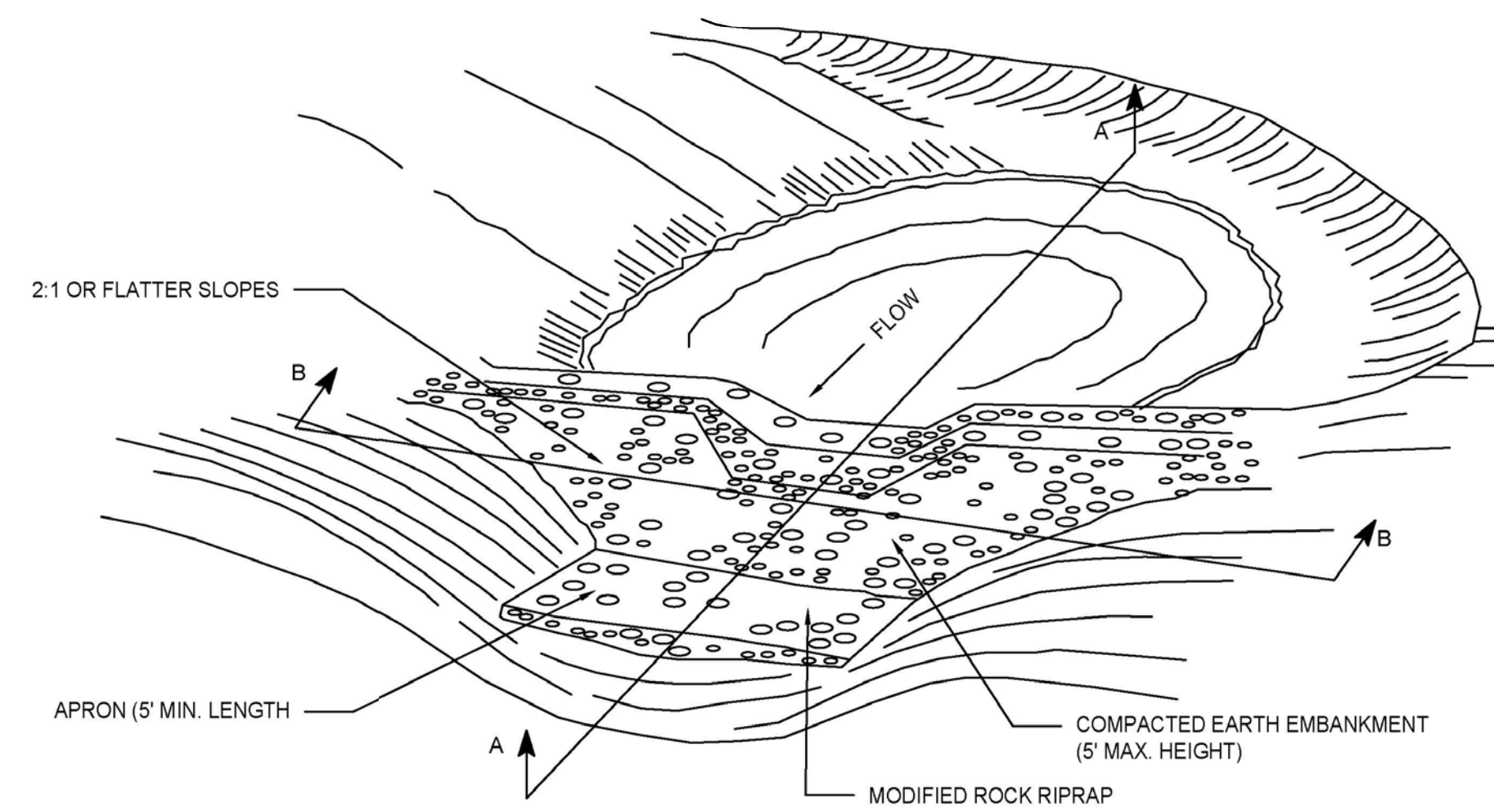
3 STRAW WATTLE DETAIL

C-6.1 SCALE: N.T.S.



4 CHECK DAM DETAIL

C-6.1 SCALE: N.T.S.



5 TEMPORARY SEDIMENT TRAP DETAIL

C-6.1 SCALE: N.T.S.

DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH APPLICABLE TOWN STAFF, PEER REVIEW CONSULTANTS, AND ENGINEER OF RECORD.
2. OBTAIN ALL APPLICABLE PERMITS FROM THE TOWN AND STATE BEFORE STARTING ANY WORK ON THE SITE.
3. INSTALL EROSION CONTROLS AS SHOWN ON THE PLAN AND DETAILS.
4. DISCONNECT APPLICABLE UTILITIES AND SERVICES TO THE EXISTING TAVERN & TOWING COMPANY BUILDING. ONCE UTILITIES ARE PROPERLY TERMINATED, CONTRACTOR MAY DEMOLISH EXISTING SITE FEATURES SHOWN ON THE DEMO PLAN.
5. ROUGH GRADE THE SITE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
6. CONSTRUCT THE PROPOSED TRAVEL CENTER, FUELING FACILITIES, & OFFICE BUILDING PER THE SITE PLAN.
7. INSTALL ALL SUBSURFACE UTILITIES AND STORMWATER CONVEYANCE/ TREATMENT STRUCTURES.
8. FINALIZE PROPOSED SITE IMPROVEMENTS PER THE APPROVED SITE PLAN. INSTALL GROUND COVER TREATMENT PER THE LANDSCAPE PLAN TO STABILIZE ANY DISTURBED AREAS.
9. COORDINATE FINAL APPROVALS WITH ENGINEER OF RECORD & APPLICABLE TOWN DEPARTMENTS. AS-BUILT SURVEY AND INSPECTIONS WILL BE REQUIRED PRIOR TO FINAL APPROVAL BY THE TOWN DEPARTMENTS.
10. REMOVE ALL EROSION CONTROL MEASURES FROM THE SITE AND PROPERLY DISPOSE OF MEASURES OFF-SITE.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES: TEMPORARY STABILIZATION MEASURES

SILT FENCING WITH STRAW WATTLES OR APPROVED EQUAL:
INSTALL SILT FENCE/ STRAW WATTLES AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBE THE SILT FENCE AND WATTLES INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE FENCE-HEIGHT. REPAIR AND/OR REPLACE IMMEDIATELY IF DAMAGED OR DETERIORATED.

CONSTRUCTION ENTRANCE:
PLACE 1 - 3" STONE ON A GEOTEXTILE FILTER FABRIC ALONG A STABLE FOUNDATION. ENTRANCE SHALL BE INSPECTED WEEKLY OR AFTER A HEAVY RAIN EVENT. MUD AND SEDIMENT TRACKED OR WASHED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. ONCE MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE GRAVEL, THE PAD SHOULD BE TOP DRESSED WITH STONE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

SILT SACK DROP INLET PROTECTION:
SILT SACK OR APPLICABLE FABRIC DROP INLET PROTECTION DEVICE SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. TRAPPING DEVICES AND STRUCTURES THEY PROTECT SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP.

TEMPORARY STABILIZATION:
TOP SOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED AND MULCH PROCEDURES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

DUST CONTROL:
TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJACENT PROPERTY OWNERS. BROOM OFF PAVEMENTS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE, AS DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:
COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH SILT FENCE TO PREVENT TRANSPORTATION OF SEDIMENT.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED AND MULCH SPECIFICATIONS AND PROCEDURE SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

GENERAL CONTROLS:

WASTE DISPOSAL:
THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTRACTOR SHALL BE PROMPTLY EMPTIED WHEN FULL.

PAVEMENT MAINTENANCE:
THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR CITY, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.

PROHIBITED DISCHARGES:
CONTRACTOR SHALL PREVENT DAILY CONSTRUCTION MATERIALS AND WASTE FROM ENTERING ANY WETLANDS OR WATERCOURSES, INCLUDING BUT NOT LIMITED TO: CONTAMINATED GROUNDWATER, CONCRETE WASHOUT, FUELS, SOAPS OR SOLVENTS, PAINT, TOXIC SUBSTANCES, ETC.

EXCAVATION DEWATERING:
CONTRACTOR SHALL NOT DISCHARGE DEWATERING MEASURES DIRECTLY INTO WETLANDS AND WATERCOURSES. CONTRACTOR TO UTILIZE ON-SITE INFILTRATION BASINS WITH VELOCITY DISSIPATION DEVICES TO PROPERLY SETTLE DEWATERING FLUIDS. TREATMENT CHEMICALS ARE PROHIBITED FROM ENTERING THE SETTLING BASIN AND MUST BE HANDLED ACCORDING TO APPLICABLE RIDEM REGULATIONS.

GENERAL CONDITIONS:

1. IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
2. IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE CITY MAY REQUIRE ADDITIONAL CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, ADDITIONAL WATTLES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
3. NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, SPENT BLAST MATERIALS, OR OTHER MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER AND APPROVED BY THE OWNER, AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGEMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIALS INTO A WATERWAY.
4. ALL TEMPORARILY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OR OTHER PARTICULATE MATTER FROM ENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREAL EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
5. DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE CITY AND STATE AGENCIES.
6. EPA-NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES REQUIRED.
7. INSPECTIONS: EROSION CONTROL SHALL BE INSPECTED WEEKLY OR AFTER A LEGITIMATE STORM EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OFFICIALS UPON REQUEST.

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



PROJECT: **NOBLE ENERGY**
PROF. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
PREPARED FOR: **NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.**
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
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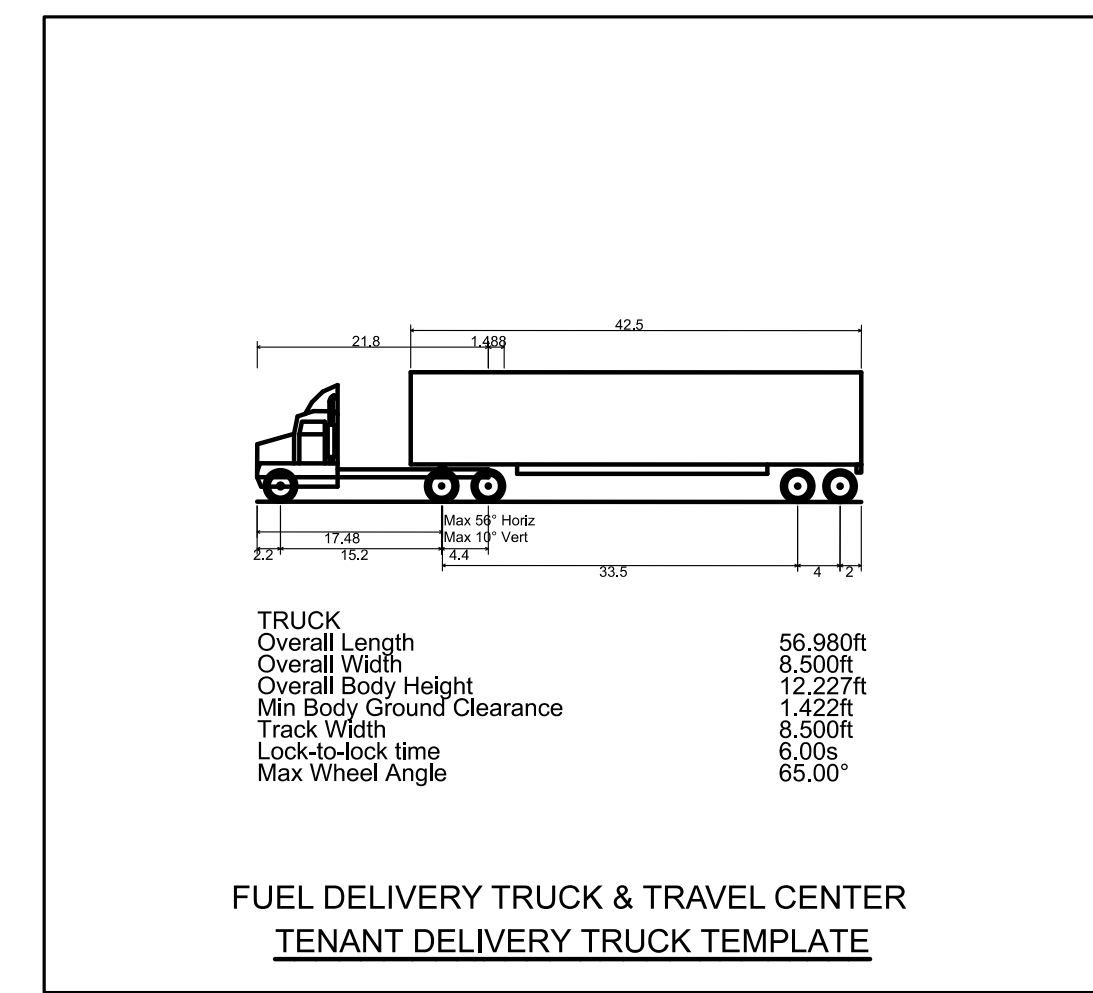
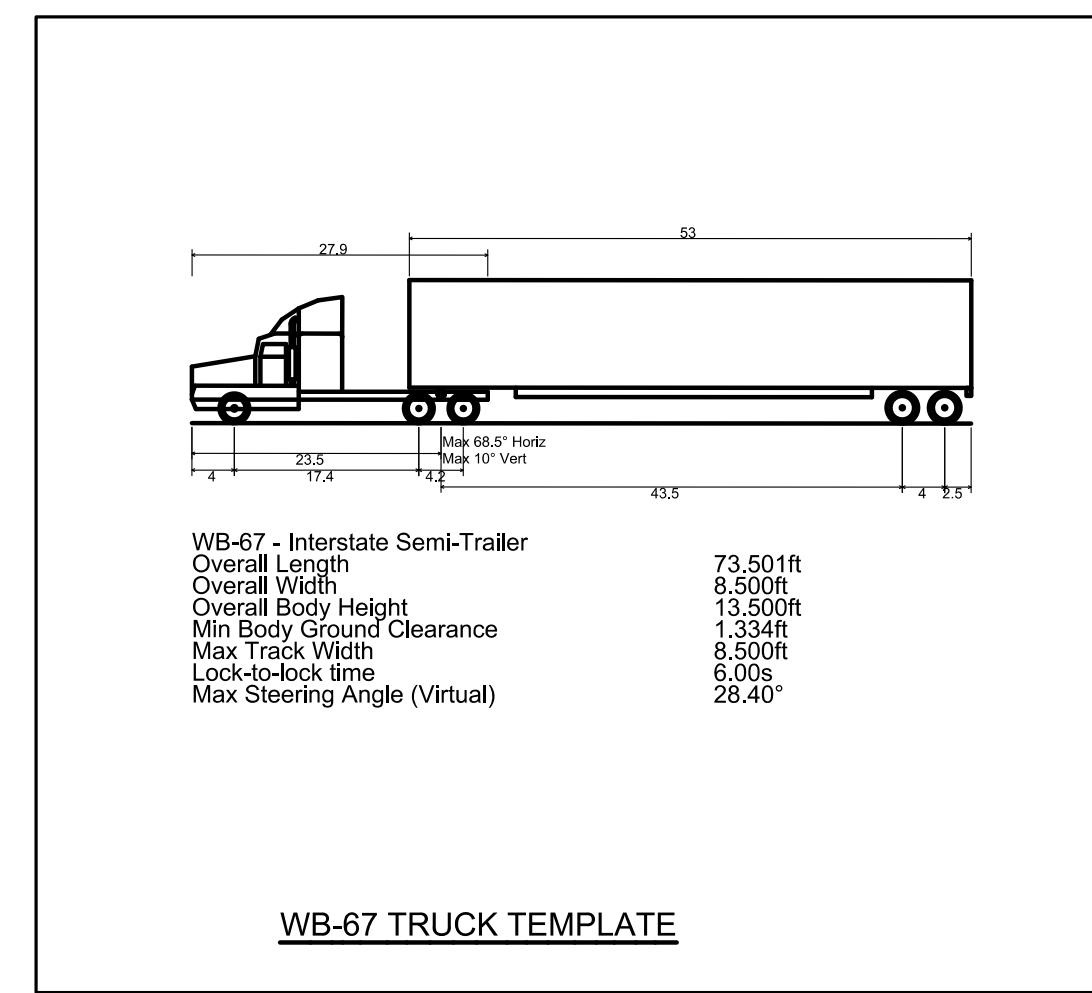
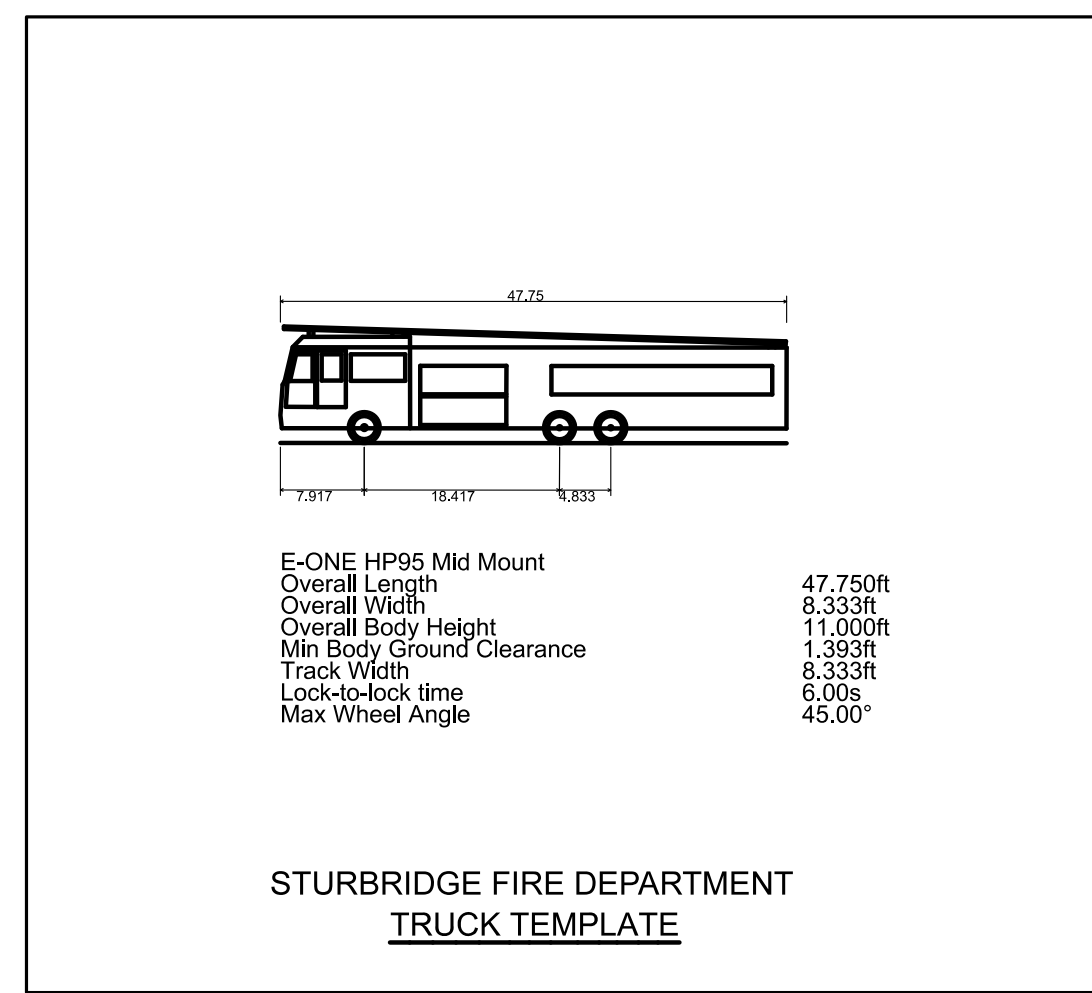
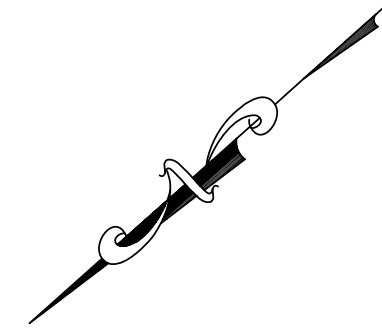
ISSUE DATE: 3/26/2021
DRAWN BY: RL CHECKED BY: JAB
SCALE: 1" = 40'
PROJECT NO.: 2020-127

EROSION & SEDIMENT CONTROL DETAILS

C-5.1

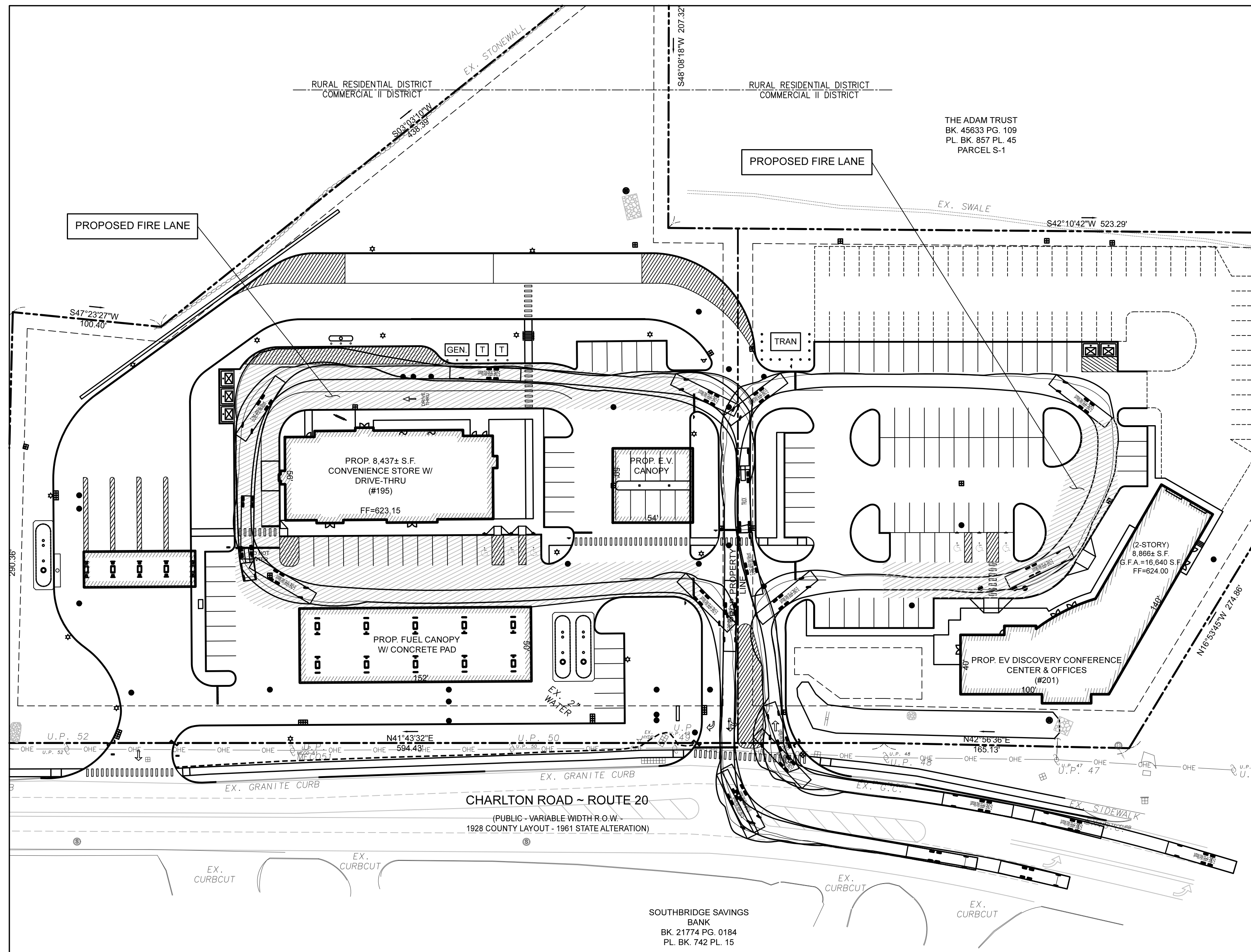
LEGEND

- MON MONUMENT
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- PROPOSED FIRE LANE

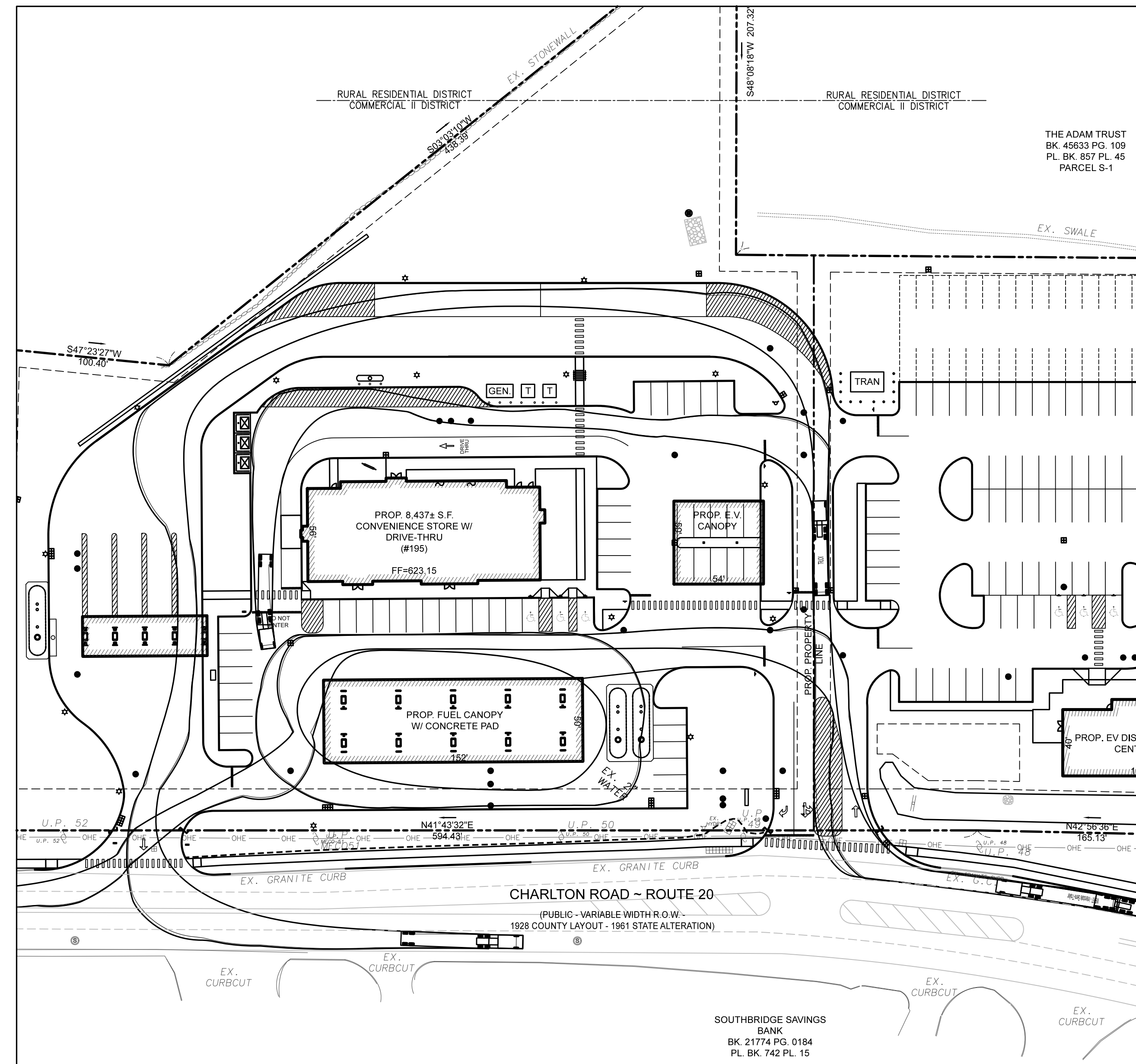


NOTE:

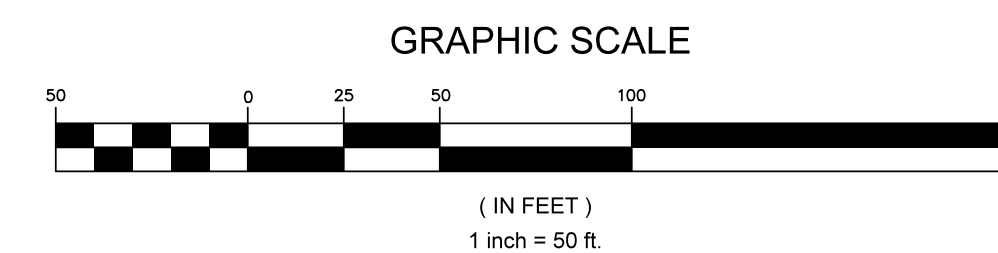
TRUCK TURN MOVEMENT FIGURE GENERATED USING AUTOTURN SOFTWARE AND THE BELOW SHOWN DESIGN VEHICLE TEMPLATE.



FIRE APPARATUS TURNING FIGURE
SCALE: 1"=50'

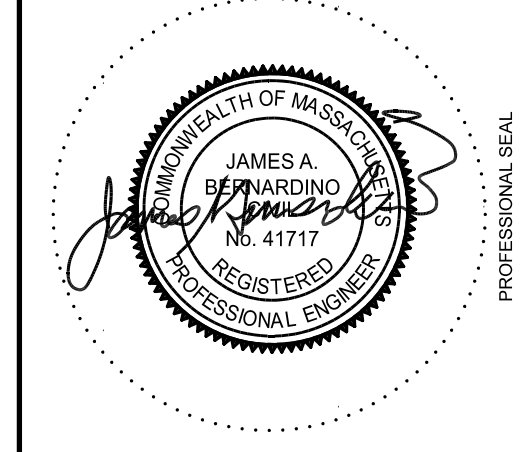


WB-67 & FUEL DELIVERY TRUCK TURNING FIGURE
SCALE: 1"=50'



DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

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PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER #195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA 01566
PREPARED FOR: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
 131 BUCKINGHAM STREET, SUITE 301
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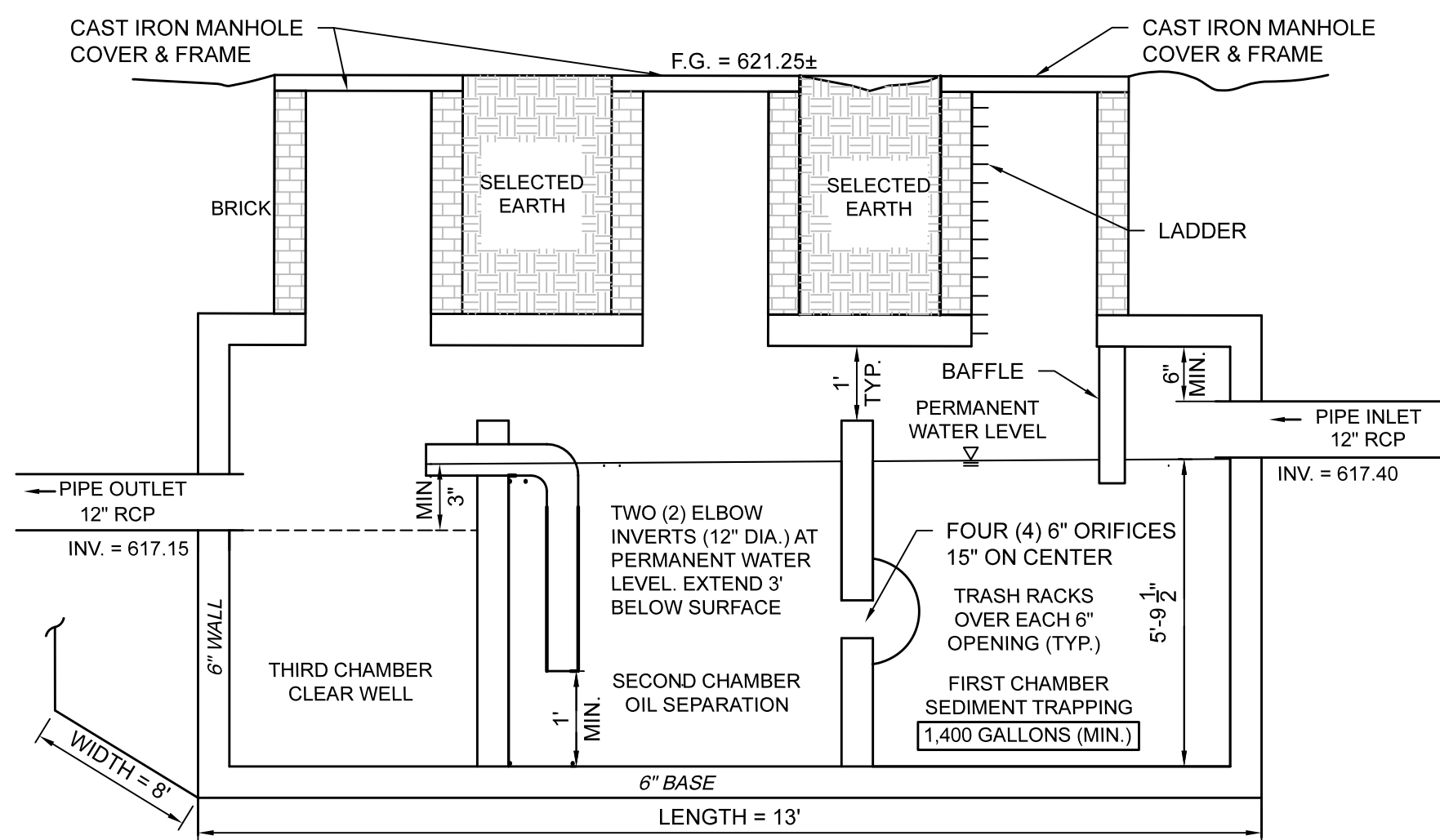
ENGINEERING SERVICES ENVIRONMENTAL SERVICES
 67 Hall Road
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 Phone: 774-241-0901
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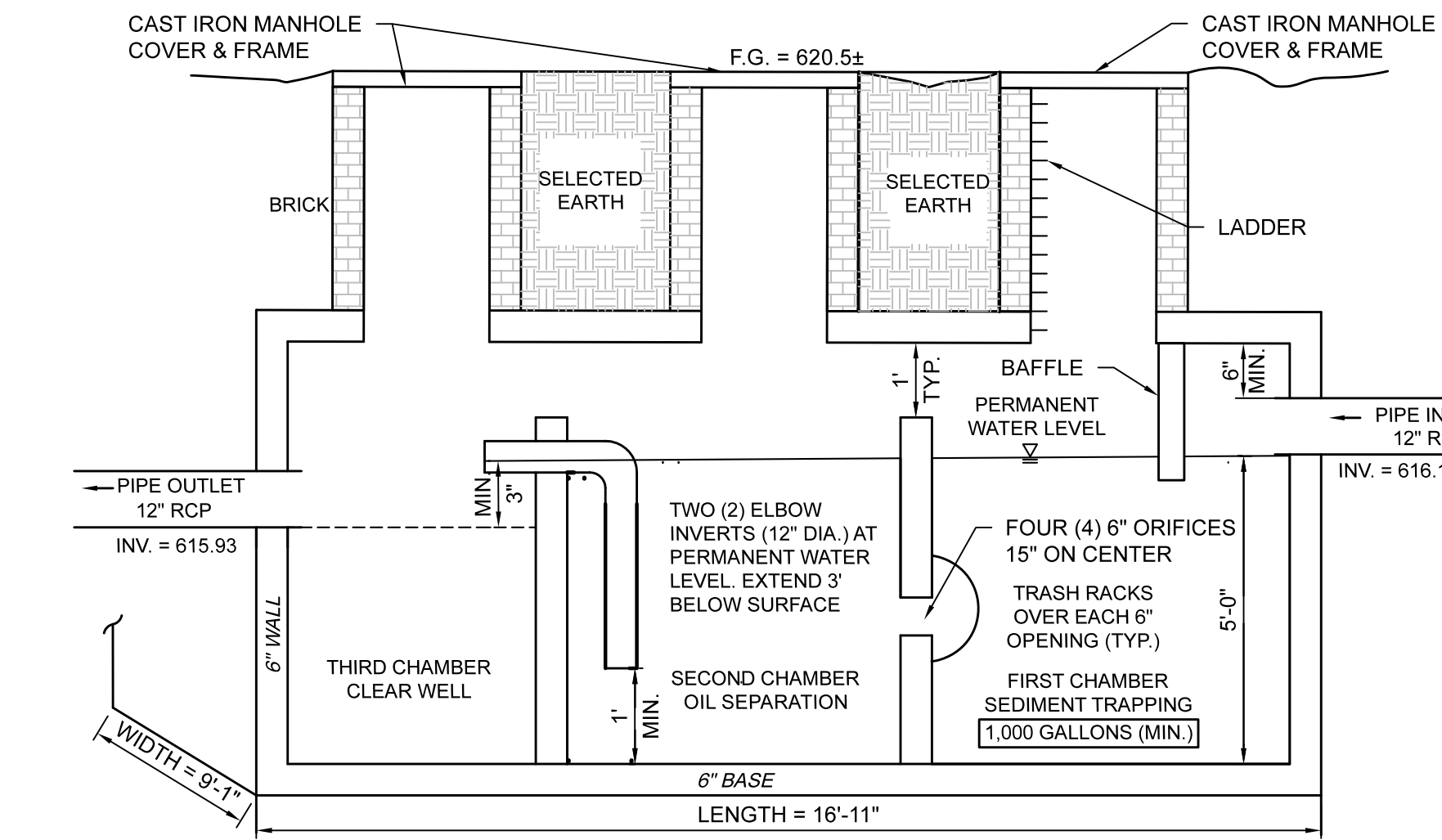
TRUCK TURN FIGURE

C-6.0



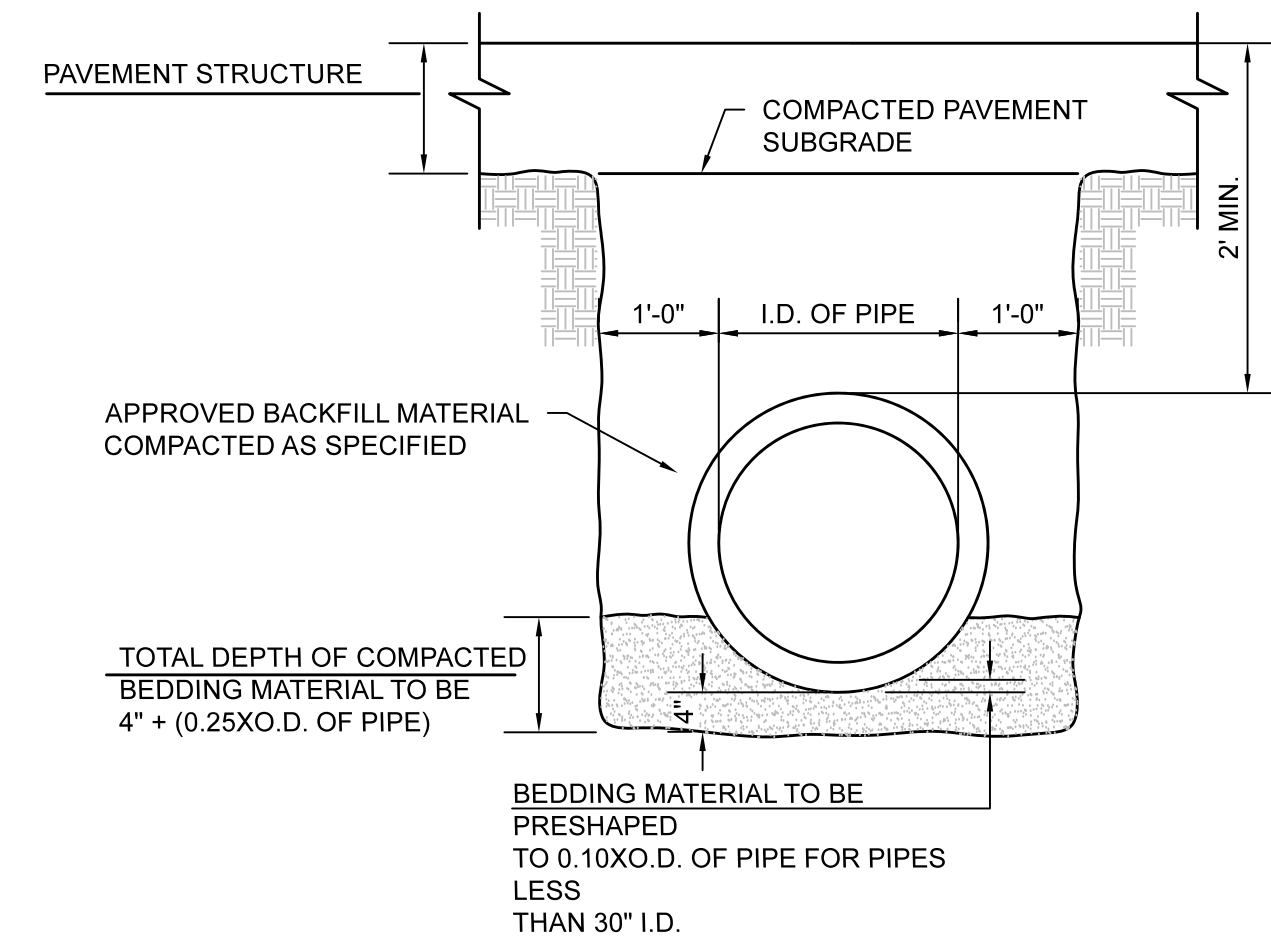
3,000 GAL. THREE (3) CHAMBER OIL & PARTICLE SEPARATOR SCHEMATIC DETAIL

1 3,000 GAL. OIL & PARTICLE SEPARATOR DETAIL
C-7.1 SCALE: N.T.S.

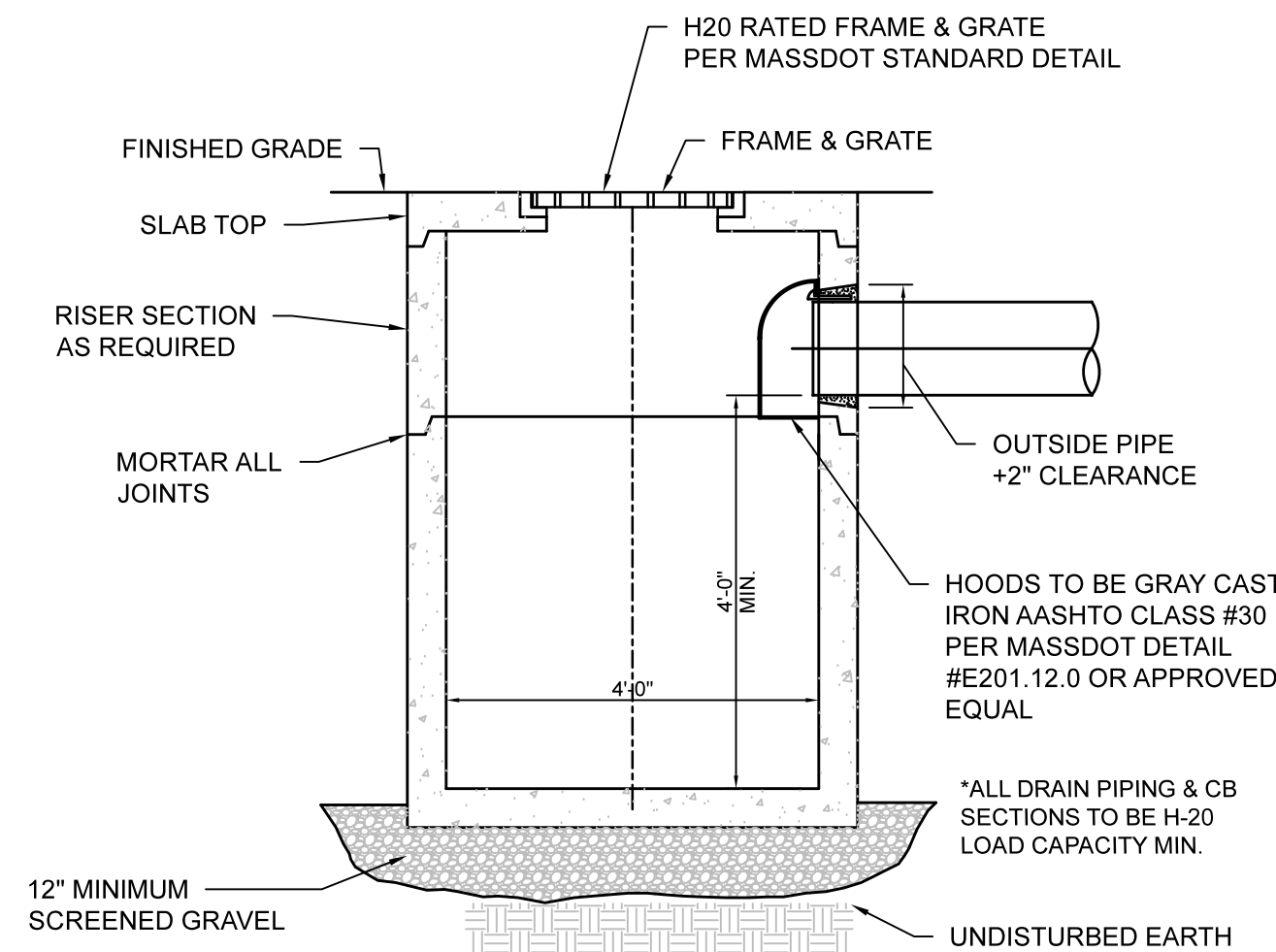


5,000 GAL. THREE (3) CHAMBER OIL & PARTICLE SEPARATOR SCHEMATIC DETAIL

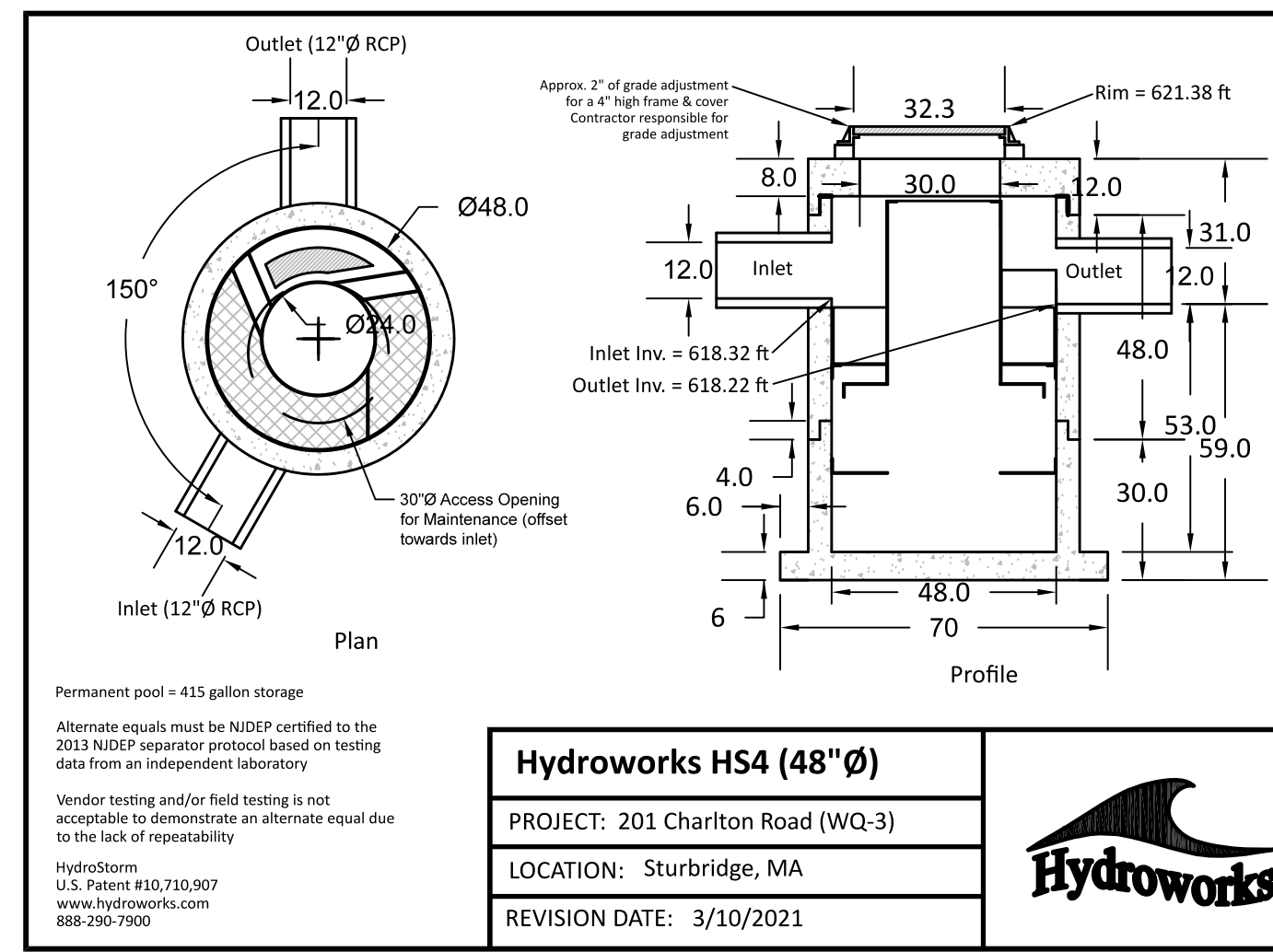
2 5,000 GAL. OIL & PARTICLE SEPARATOR DETAIL
C-7.1 SCALE: N.T.S.



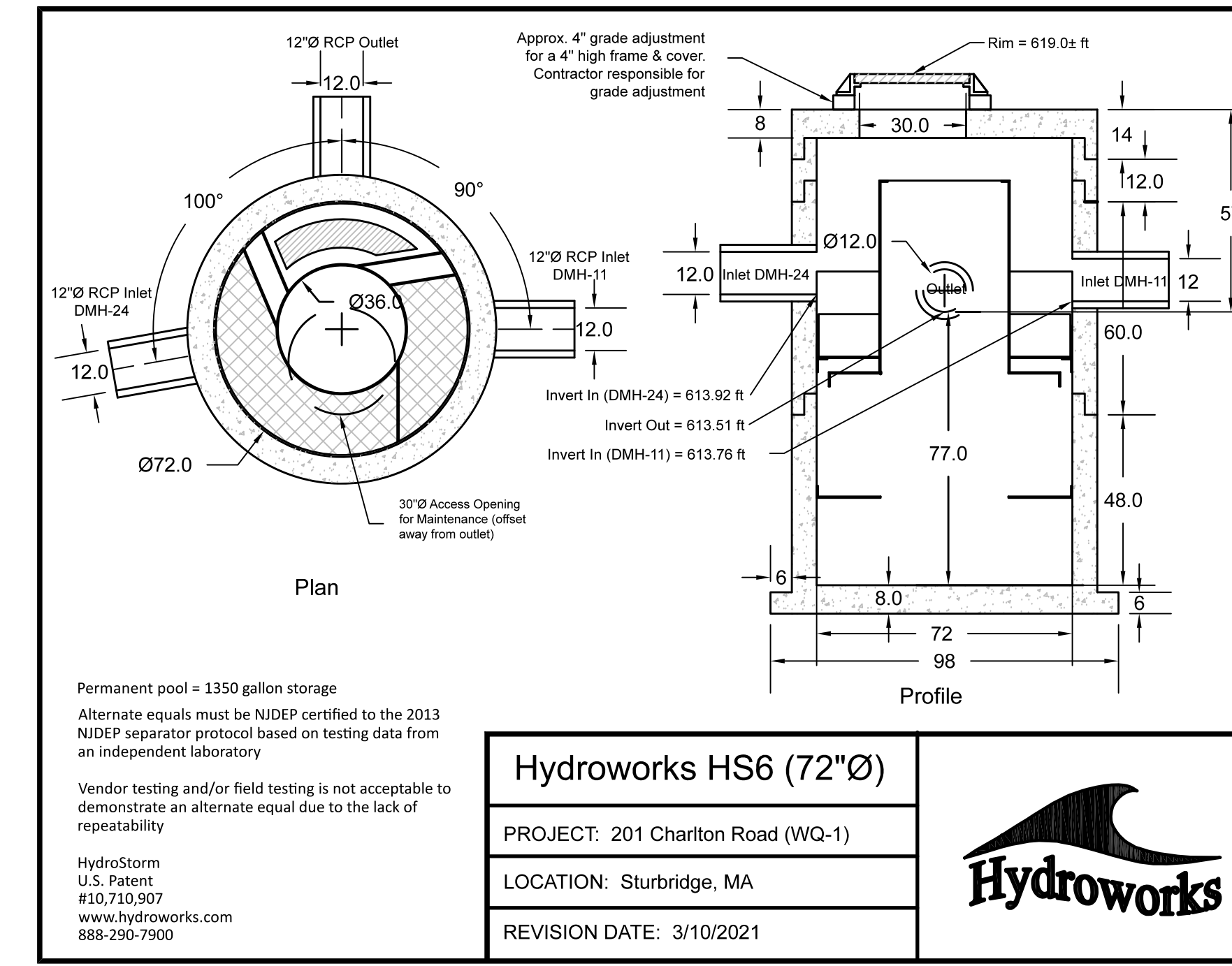
5 STORM SEWER TRENCH DETAIL
C-7.1 SCALE: N.T.S.



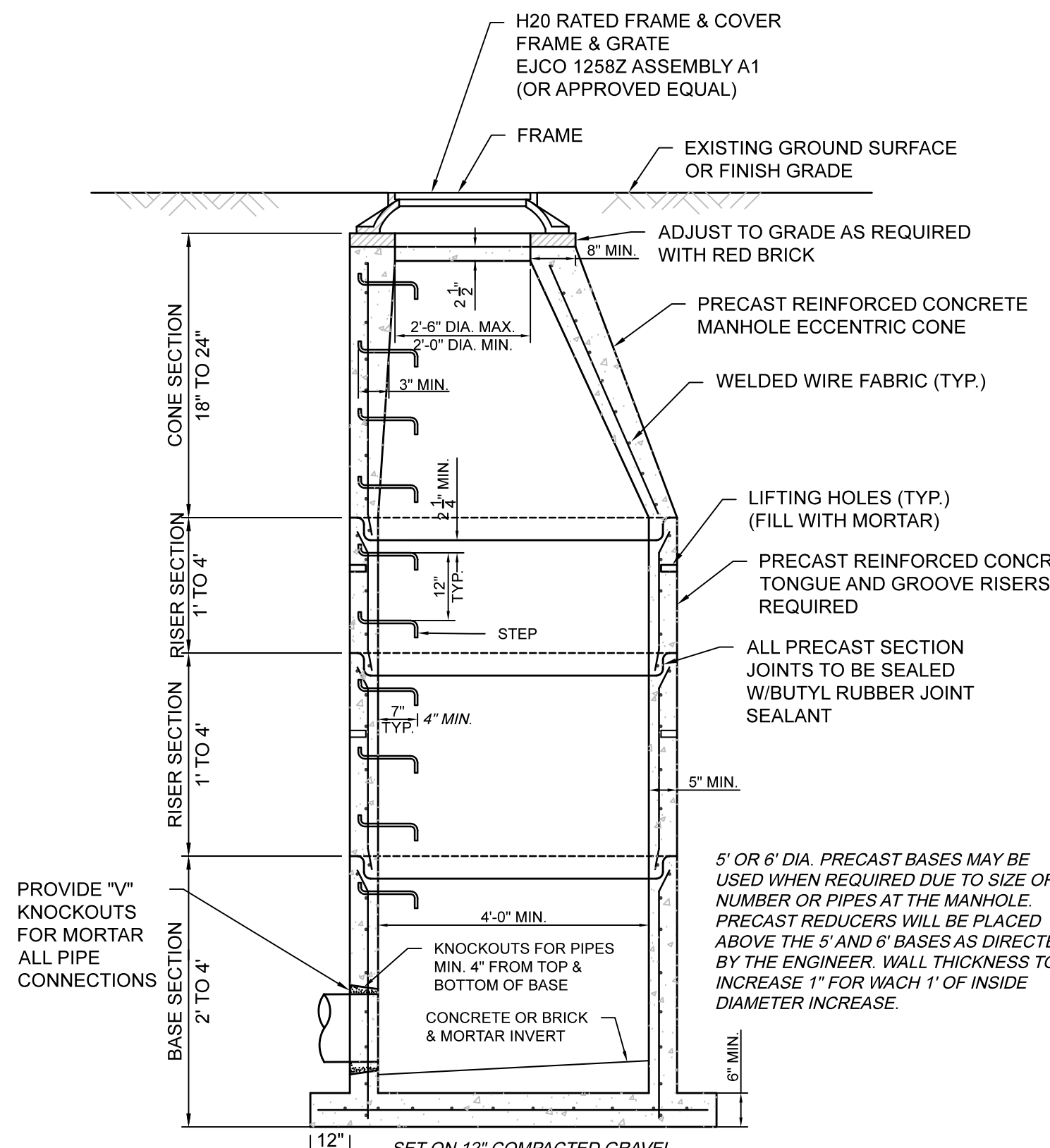
6 SLAB TOP CATCH BASIN
C-7.1 SCALE: N.T.S.



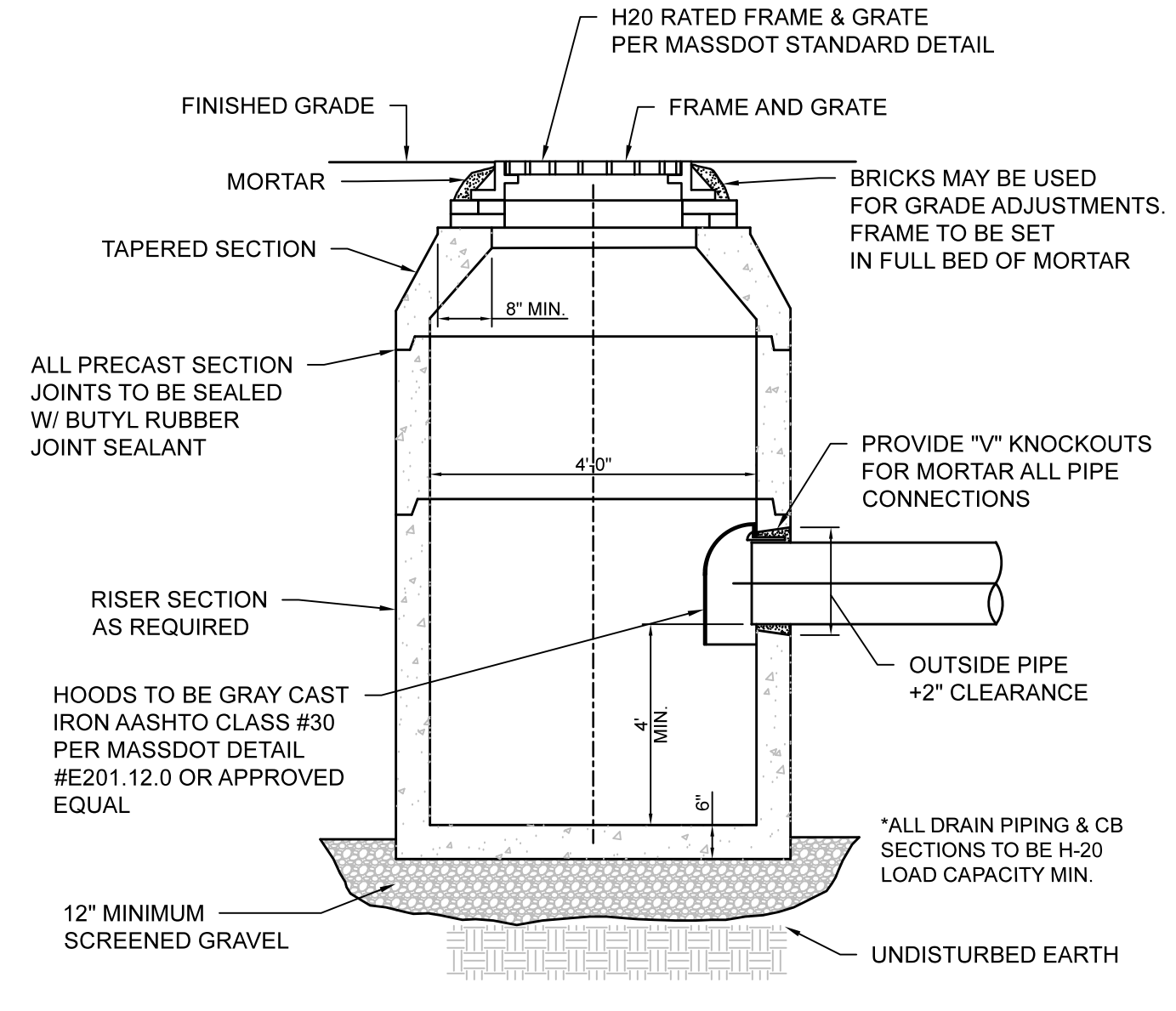
3 HYDROWORKS - HS4 DETAIL (WQ-2)
C-7.1 SCALE: N.T.S.



4 HYDROWORKS - HS6 DETAIL (WQ-1)
C-7.1 SCALE: N.T.S.



7 PRECAST DRAIN MANHOLE
C-7.1 SCALE: N.T.S.



8 DEEP SUMP CATCH BASIN
C-7.1 SCALE: N.T.S.

NOTE:
THE OIL SEPARATOR SHALL BE DESIGNED BY THE STRUCTURAL ENGINEER.

- 3,000 GAL PRECAST CONC. TANK 5000 PSI IN 28 DAYS
- DESIGN TANK TO HANDLE SOIL SURCHARGE AND H-20 LOADING.
- SHOP DRAWINGS MUST BE SUBMITTED
- FOR LOCATION SITE PLAN, DWG. C-2
- CONTRACTOR TO PROVIDE SHOP DRAWING FOR OIL/PARTICLE SEPARATOR INCLUDING DETAIL OF TRASH RACK & INTERIOR TANK DETAIL.

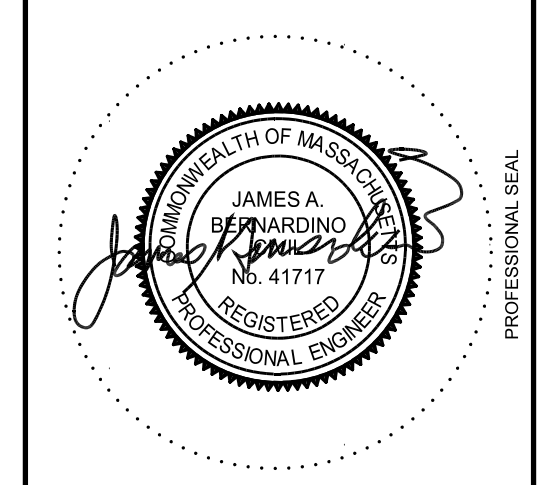
OIL / GRIT SEPARATOR #1 SIZING:
DESIGN CAPACITY = 400 C.F. / ACRE IMPERVIOUS
7.4805 GAL/CF X 400 CF = 2,992 GAL/ACRE
PROPOSED PAVEMENT AREA = 20,364 S.F. = 0.46 ACRE
2,992 GAL / ACRE X 0.57 ACRE =
1,400 GAL = VOLUME OF 1ST CHAMBER

NOTE:
THE OIL SEPARATOR SHALL BE DESIGNED BY THE STRUCTURAL ENGINEER.

- 5,000 GAL PRECAST CONC. TANK 5000 PSI IN 28 DAYS
- DESIGN TANK TO HANDLE SOIL SURCHARGE AND H-20 LOADING.
- SHOP DRAWINGS MUST BE SUBMITTED
- FOR LOCATION SITE PLAN, DWG. C-2
- CONTRACTOR TO PROVIDE SHOP DRAWING FOR OIL/PARTICLE SEPARATOR INCLUDING DETAIL OF TRASH RACK & INTERIOR TANK DETAIL.

OIL / GRIT SEPARATOR #2 SIZING:
DESIGN CAPACITY = 400 C.F. / ACRE IMPERVIOUS
7.4805 GAL/CF X 400 CF = 2,992 GAL/ACRE
PROPOSED PAVEMENT AREA = 13,052 S.F. = 0.29 ACRE
2,992 GAL / ACRE X 0.29 ACRE =
1,000 GAL = VOLUME OF 1ST CHAMBER

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



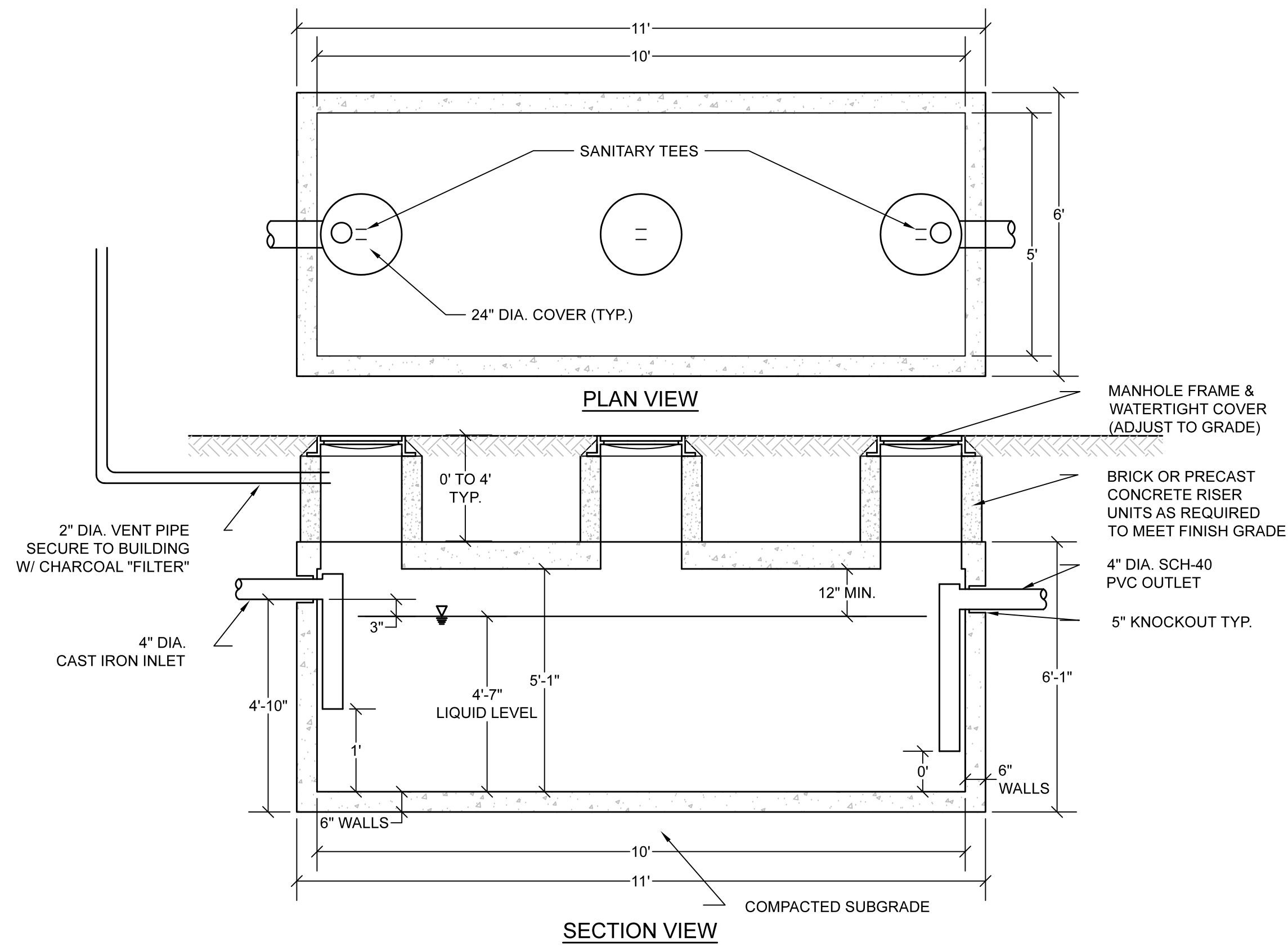
NOBLE ENERGY
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
 67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906



ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: N.T.S.
 PROJECT NO.: 2020-127

CONSTRUCTION DETAILS
C-7.1



- NOTES:**
1. CONCRETE STRENGTH 5,000 PSI MINIMUM STRENGTH @ 28 DAYS
 2. STEEL REINFORCEMENT - ASTM A-615 GRADE 60
 3. COVER TO STEEL - 1" MINIMUM
 4. TANKS ARE DESIGNED TO MEET ASTM C1227 WITH AASHTO HS-20 LOADING
 5. EARTH COVER - 1 TO 5 FEET
 6. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
- NOTE: PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES.

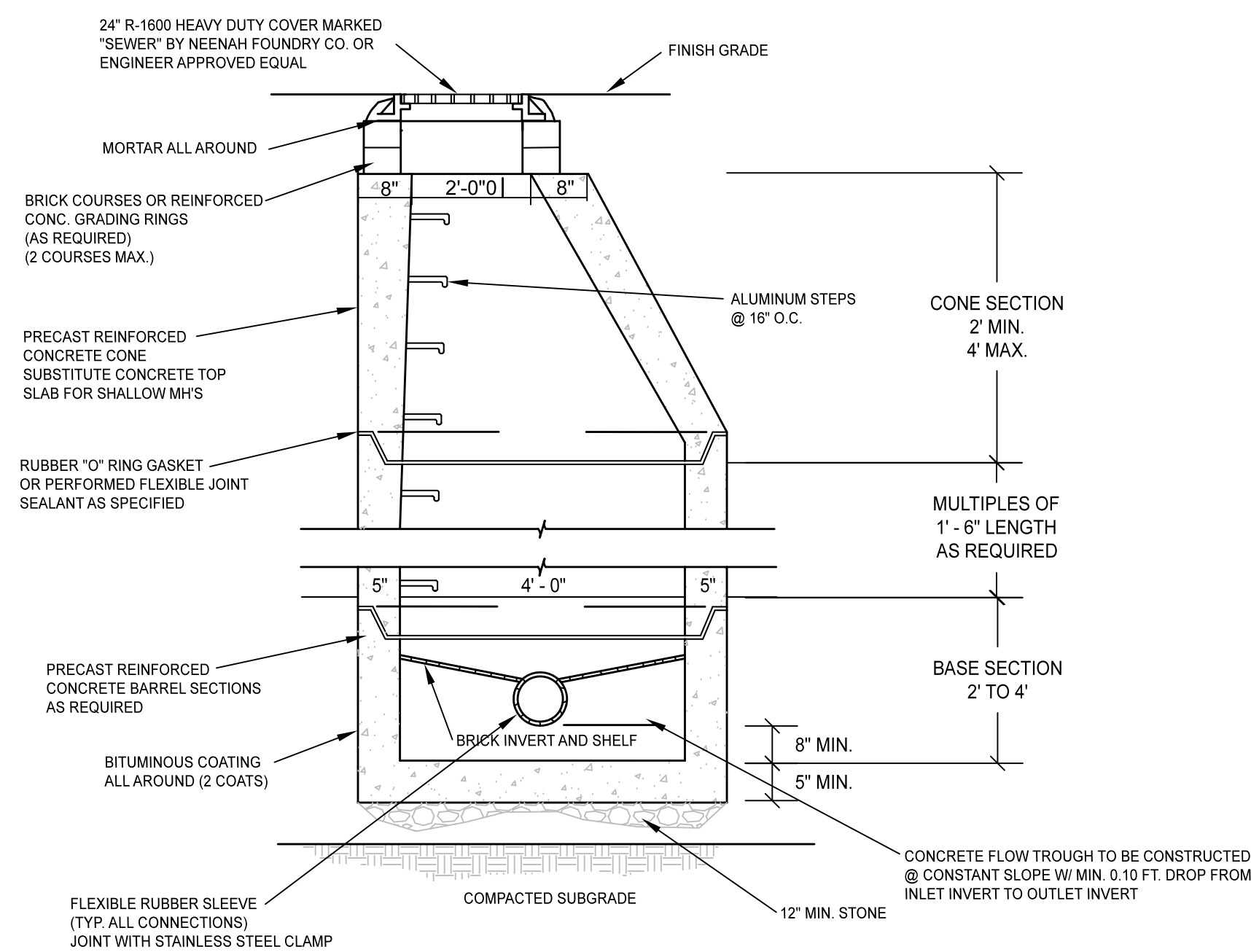
* NEENAH R-1594 W/SELF SEALING LIDS OR EQUIVALENT

- NOTES:**
1. KITCHEN WASTEWATER PIPING TO BE CARRIED BY SEPARATE SEWER PER 310 CMR 15.230.2
 2. TRAP SIZE BASED ON 15 GPD PER SEAT OR 1,000 GALLON MINIMUM (310 CMR 15.203):
PROPOSED RESTAURANT TENANTS = 68 SEATS (1,020 GPD)

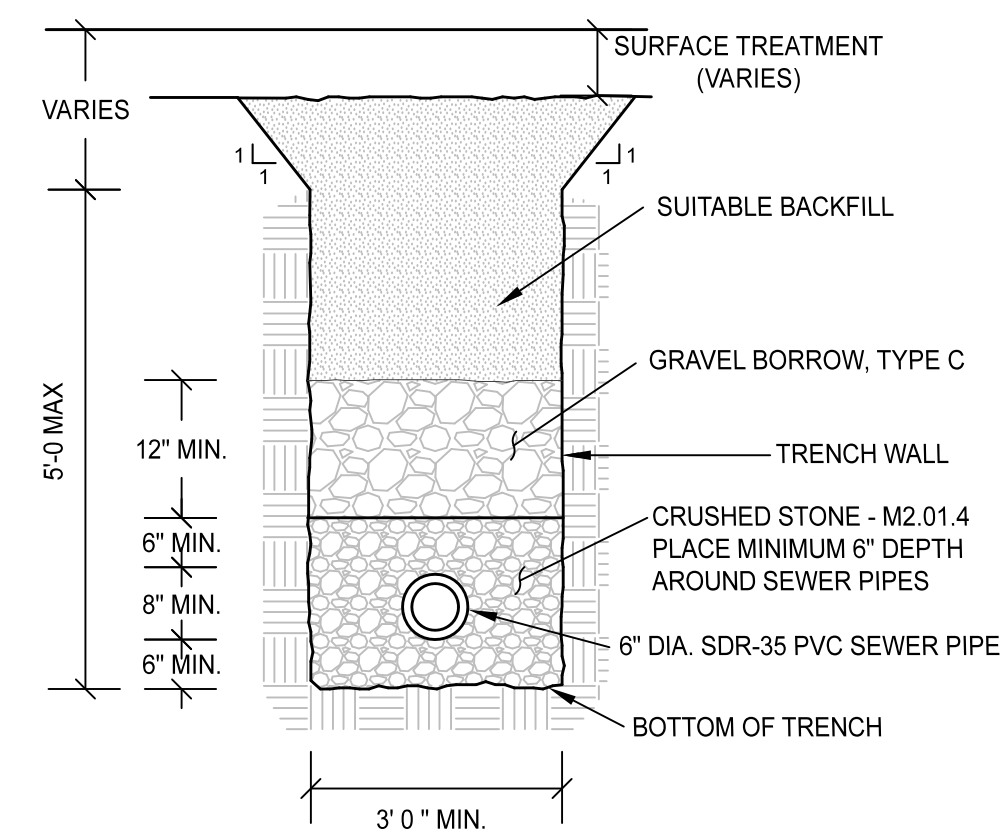
= 1,020 GAL. CAPACITY (MIN.)
= 1,020 GAL. (X 1.5 FACTOR OF SAFETY)
USE = 1,500 GAL. CAPACITY GREASE TRAP

PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES.

1 1,500 GAL. GREASE TRAP (H-20)
C-7.2 SCALE: N.T.S.

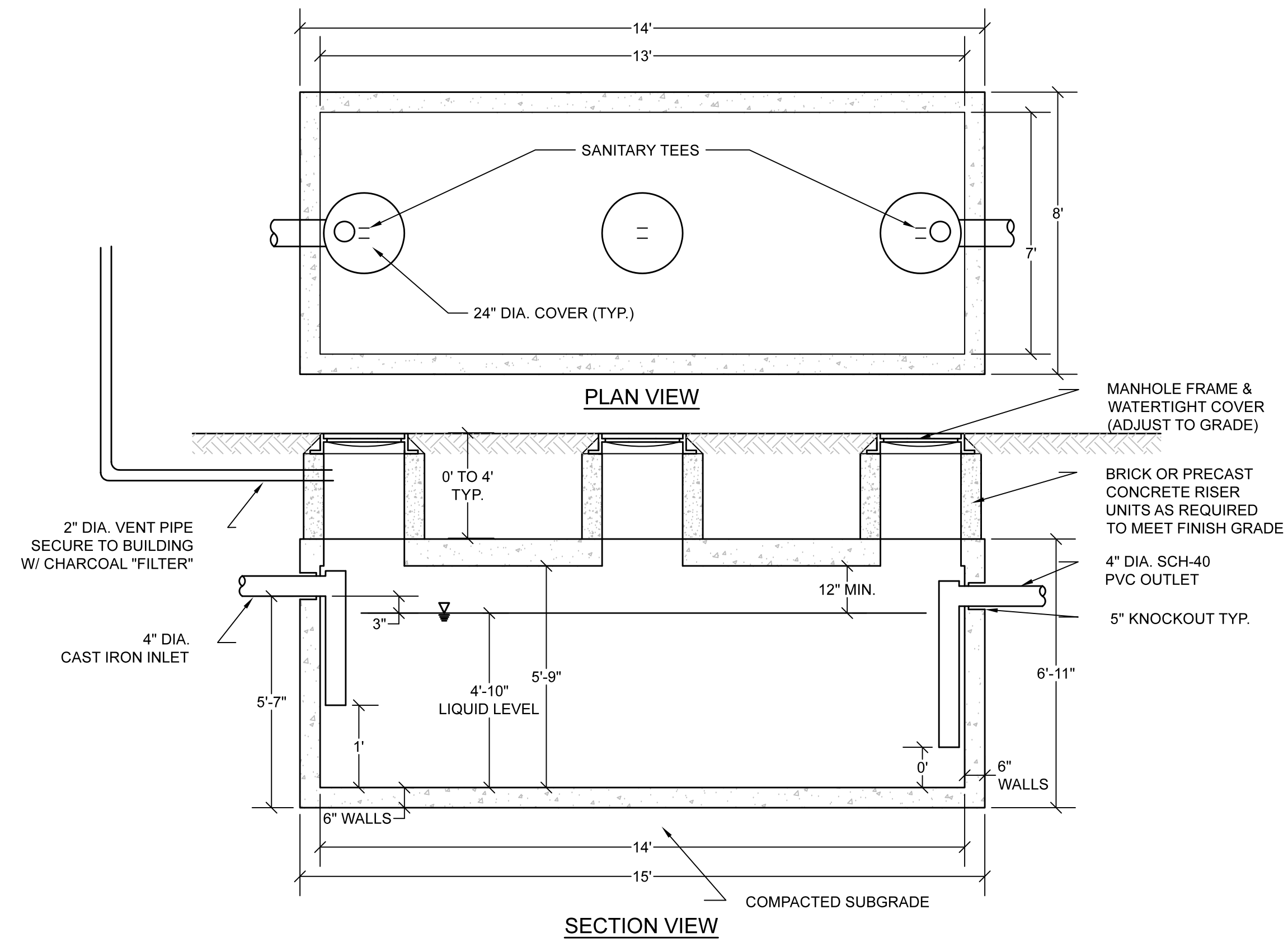


3 PRECAST SEWER MANHOLE
C-7.2 SCALE: N.T.S.



- NOTES:**
1. ALL SEWER INSTALLATION WORK SHALL CONFORM TO THE TOWN OF CHARLTON SEWER REGULATIONS.

4 SEWER TRENCH DETAIL
C-7.2 SCALE: N.T.S.



- NOTES:**
1. CONCRETE STRENGTH 5,000 PSI MINIMUM STRENGTH @ 28 DAYS
 2. STEEL REINFORCEMENT - ASTM A-615 GRADE 60
 3. COVER TO STEEL - 1" MINIMUM
 4. TANKS ARE DESIGNED TO MEET ASTM C1227 WITH AASHTO HS-20 LOADING
 5. EARTH COVER - 1 TO 5 FEET
 6. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
- NOTE: PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES.

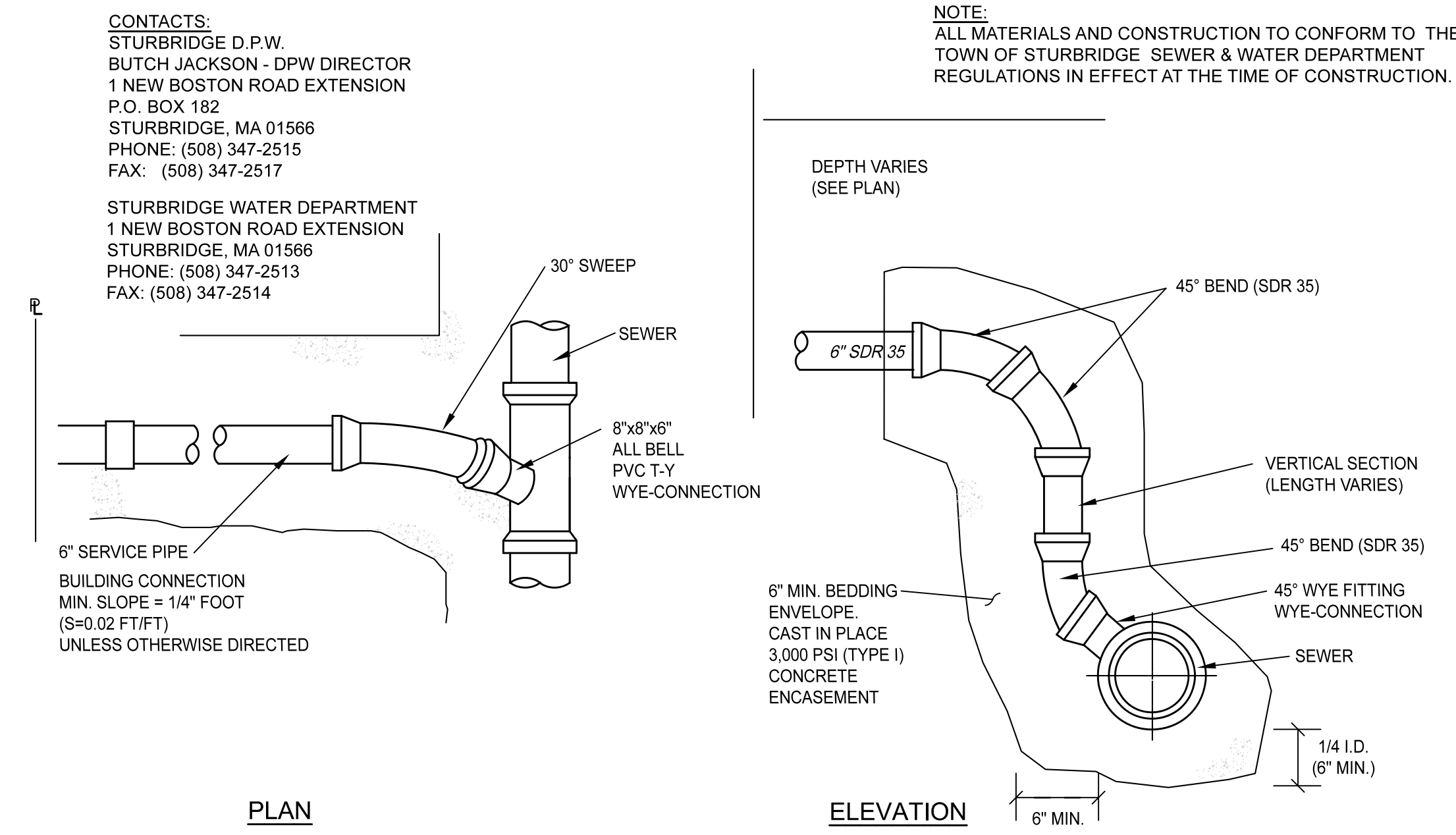
* NEENAH R-1594 W/SELF SEALING LIDS OR EQUIVALENT

- NOTES:**
1. KITCHEN WASTEWATER PIPING TO BE CARRIED BY SEPARATE SEWER PER 310 CMR 15.230.2
 2. TRAP SIZE BASED ON 15 GPD PER SEAT OR 1,000 GALLON MINIMUM (310 CMR 15.203):
PROPOSED RESTAURANT TENANTS = 120 SEATS (1,800 GPD)

= 1,800 GAL. CAPACITY (MIN.)
= 1,800 GAL. (X 1.5 FACTOR OF SAFETY)
USE = 3,000 GAL. CAPACITY GREASE TRAP

PRECAST CONC. GREASE TRAP MUST CONFORM TO ALL STATE & LOCAL PLUMBING CODES.

2 3,000 GAL. GREASE TRAP (H-20)
C-7.2 SCALE: N.T.S.



5 GRAVITY BUILDING SERVICE CONNECTION
C-7.2 SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY	CHKD
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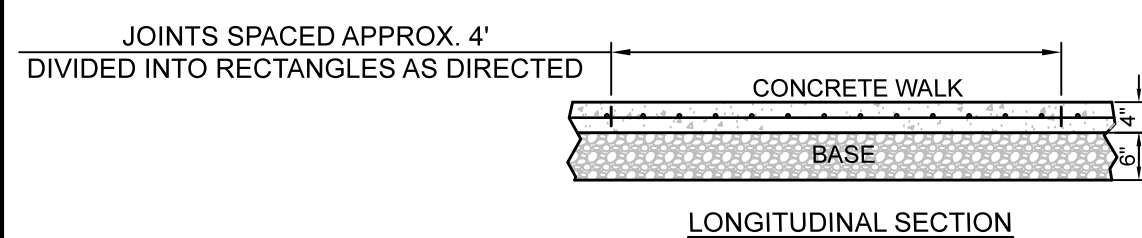
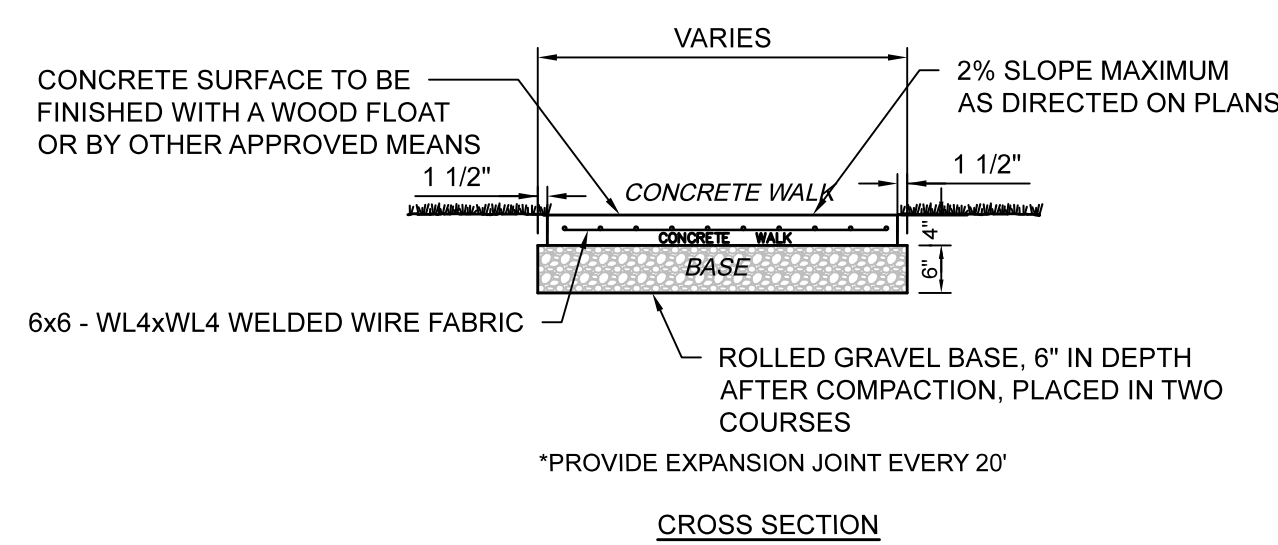
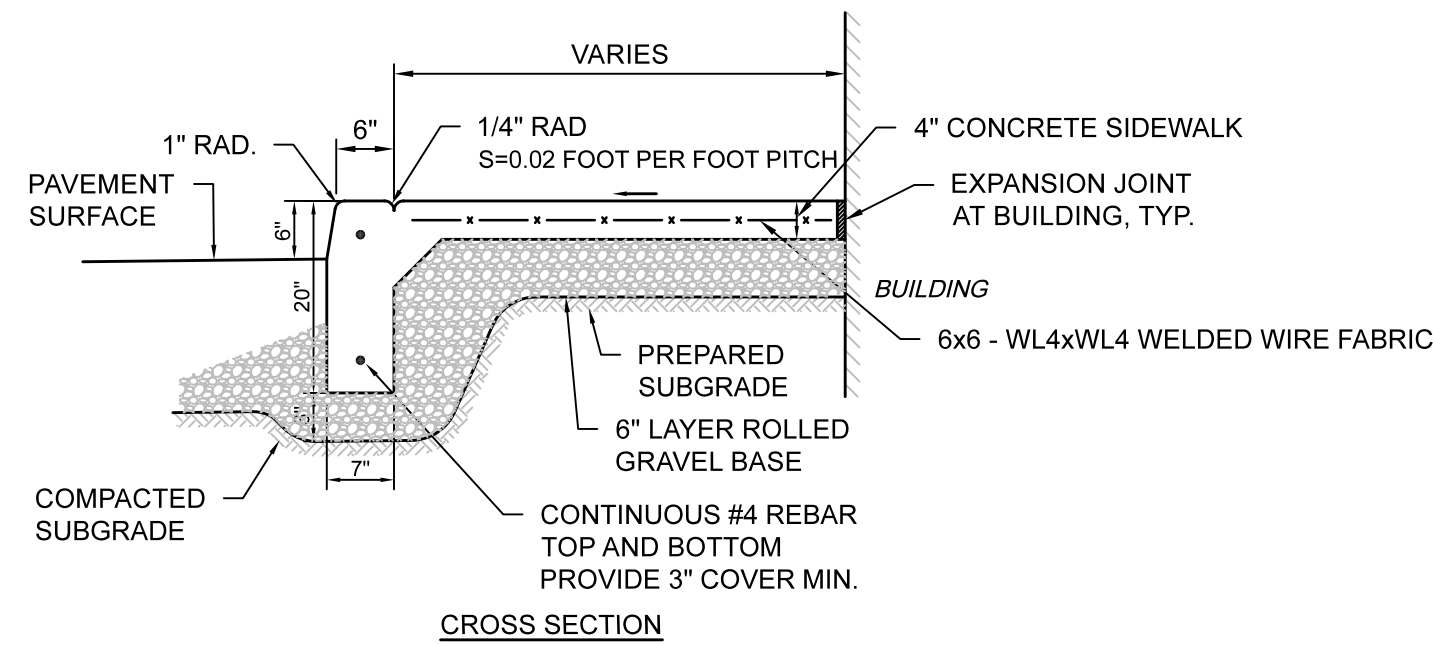
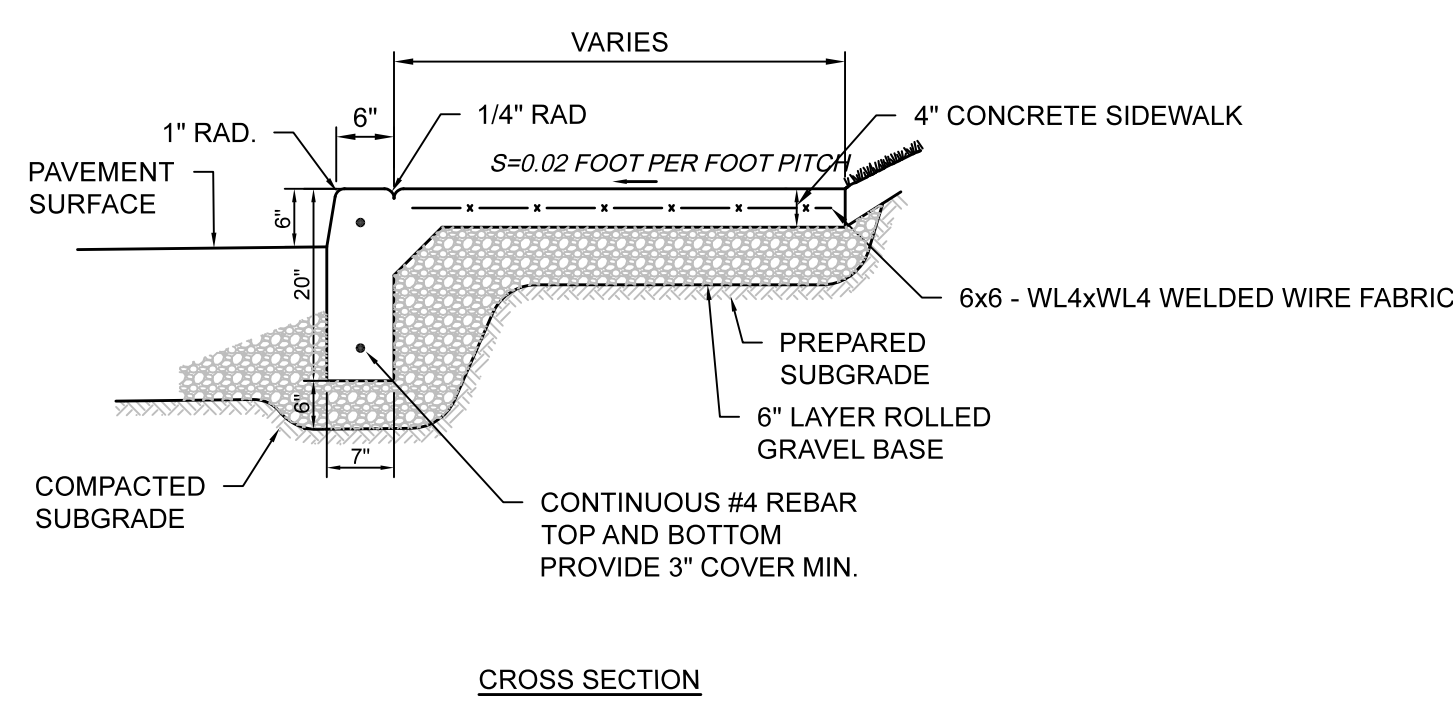
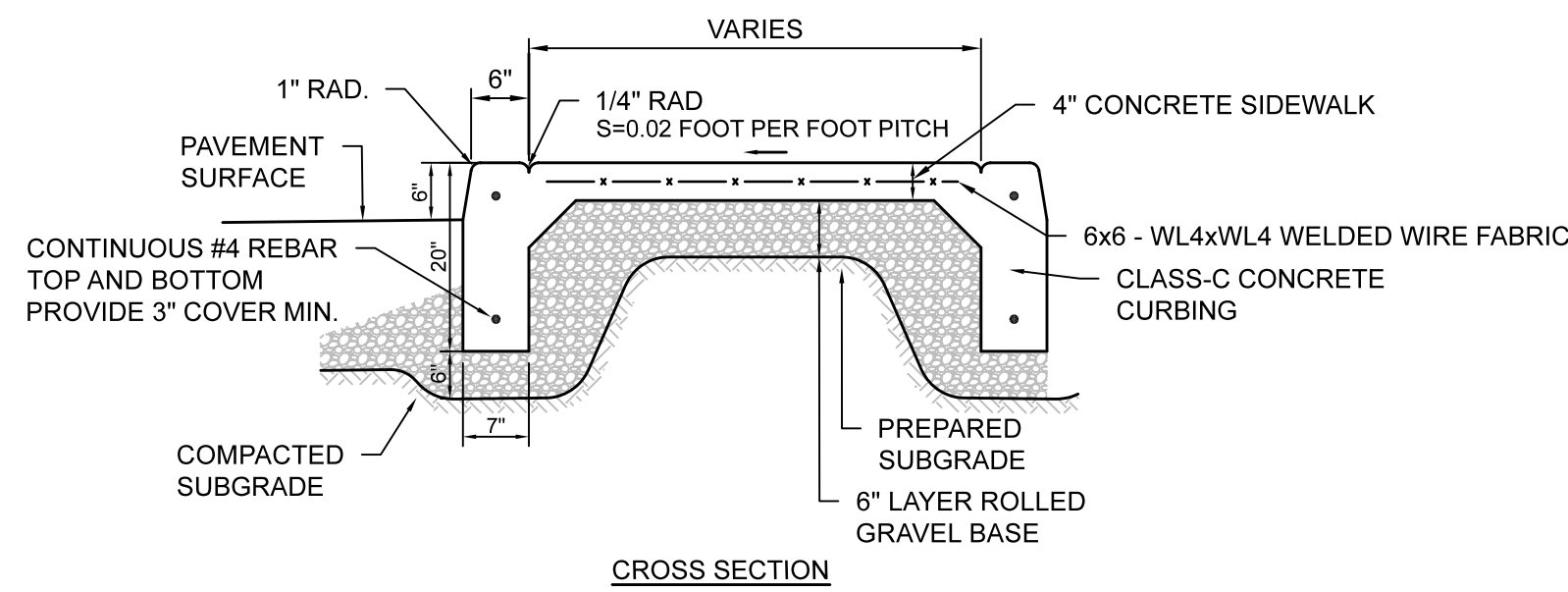


ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
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 PROJECT NO.: 2020-127

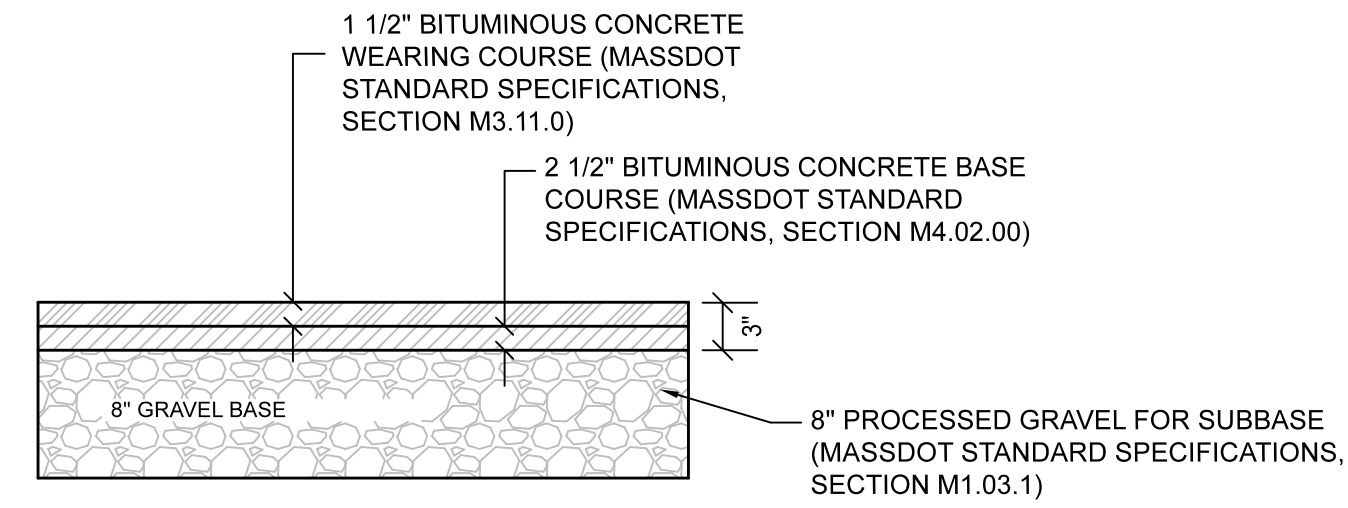
CONSTRUCTION DETAILS

C-7.2

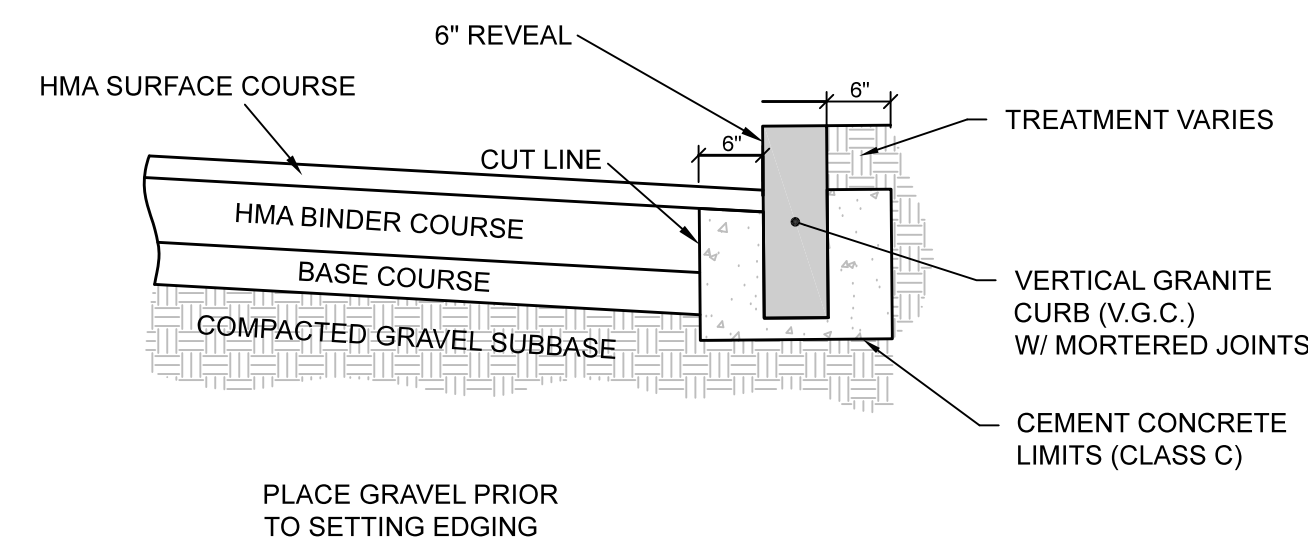
- NOTES:**
1. PROVIDE EXPANSION JOINTS EVERY 20 FT. ALONG SIDEWALK AND CURBING. EXPANSION JOINTS IN CURBING AND SIDEWALK SHALL BE COINCIDENT.
 2. PROVIDE CONSTRUCTION JOINTS EVERY 4 FT. ALONG SIDEWALK.
 3. PROVIDE CONTINUOUS CONSTRUCTION JOINT ALONG BACK OF CURBING.



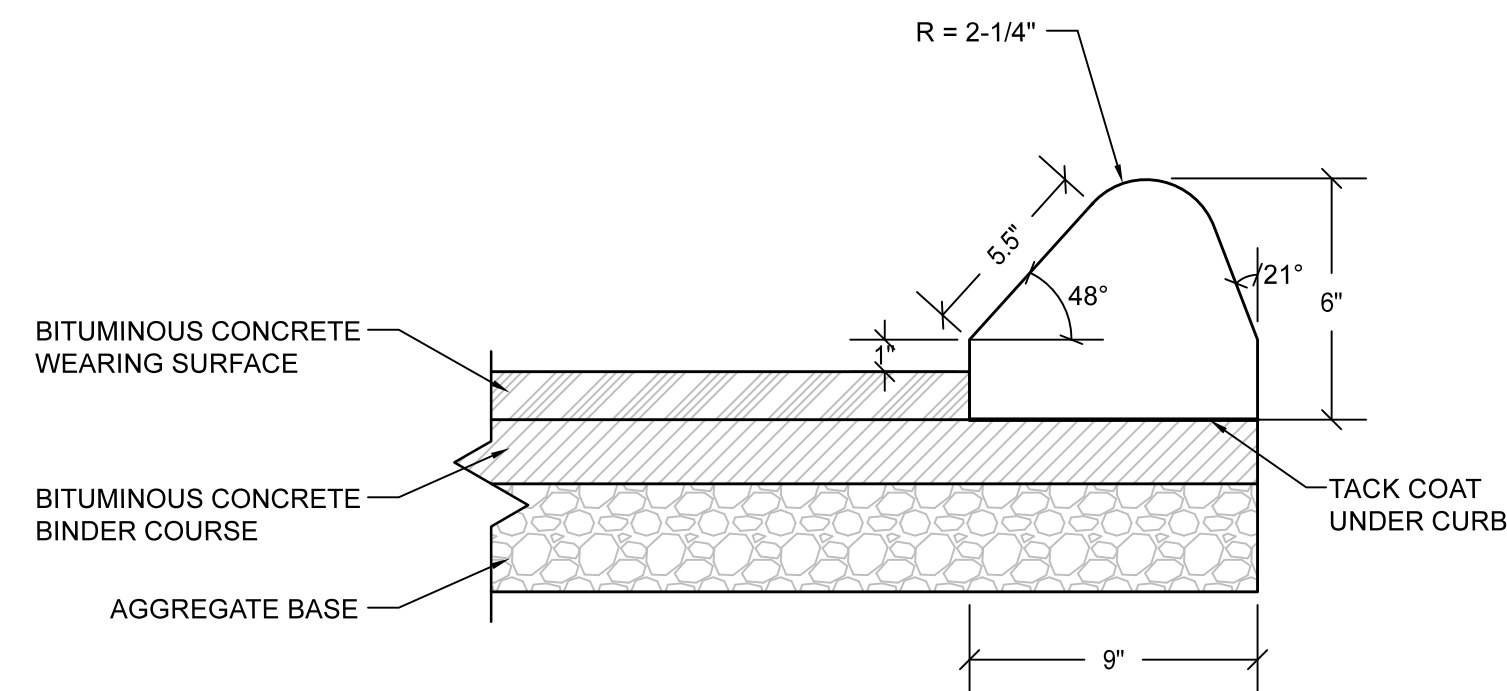
1 CONCRETE SIDEWALK
C-7.3 SCALE: N.T.S.



2 ASPHALT PAVEMENT DETAIL
C-7.3 SCALE: N.T.S.



3 VERTICAL GRANITE CURB
C-7.3 SCALE: N.T.S.



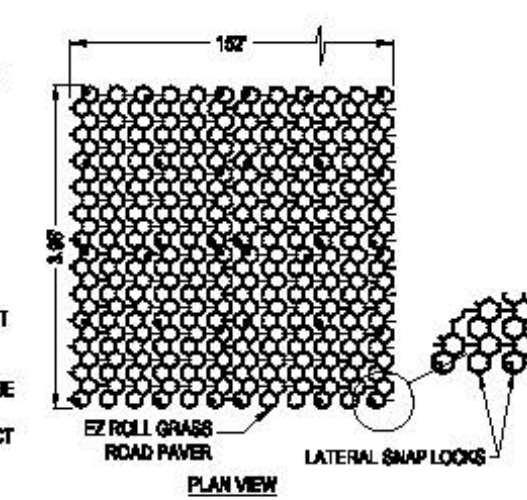
NOTE:
BITUMINOUS CONCRETE CURB TO BE PLACED ON TOP OF BINDER COURSE OF PAVEMENT AND BEFORE PLACING WEARING SURFACE LAYER

4 BITUMINOUS CURB DETAIL
C-7.3 SCALE: N.T.S.

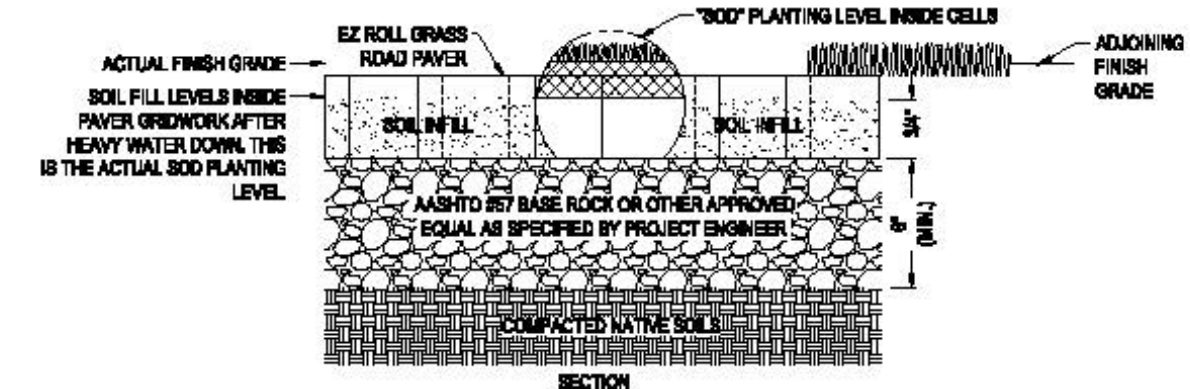


NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1894
PHONE: (559) 962-8888
FAX: (559) 962-4488
www.ndspro.com

EZ ROLL GRASS PAVER PRODUCT DESCRIPTION
STOCK ROLL SIZE: 3.8PW X 24L (96.1 SF)
3.8PW X 182L (69.8 SQ. FT.)
CUSTOM ROLLER AVAILABLE UPON REQUEST: 1-4" X 182" (28 SQ. FT.)
2" X 182" (28 SQ. FT.)
WEIGHT: HONEYCOMB CELL: 57,000 PPF
LAYOUT COMPRESSIVE: 402 PPF
STRENGTH (OPEN CELL NO FILL): EXCEEDS HD LOADS



GRASS SEED OR SOIL: TYPE TO BE AS SPECIFIED IN THE CONTRACT DOCUMENTS OR BY DESIGN LANDSCAPE ARCHITECT.
SOIL INFILL: THE COMPOSITION OF THE MATERIAL WILL BE BASED ON LOCAL CONDITIONS AND DETERMINED BY THE LANDSCAPE ARCHITECT OR AS SPECIFIED IN THE CONTRACT DOCUMENTS



- NOTE:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

EZ ROLL GRASS PAVERS
MEDIUM LOAD



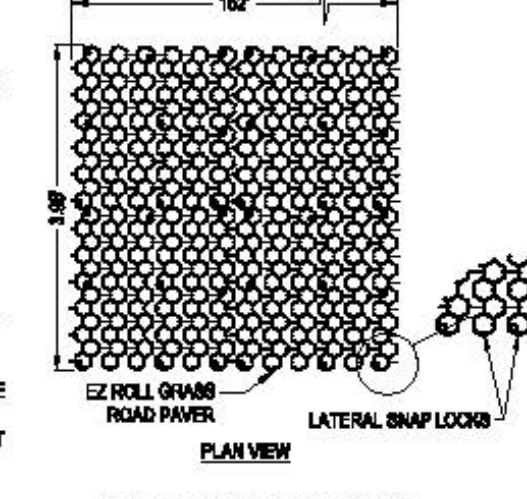
NOTE:
CONTRACTOR TO COORDINATE LOCATION OF HEAVY DUTY AND MEDIUM DUTY GRASS PAVERS WITH CIVIL ENGINEER.

5 MEDIUM DUTY GRASS PAVER
C-7.3 SCALE: N.T.S.

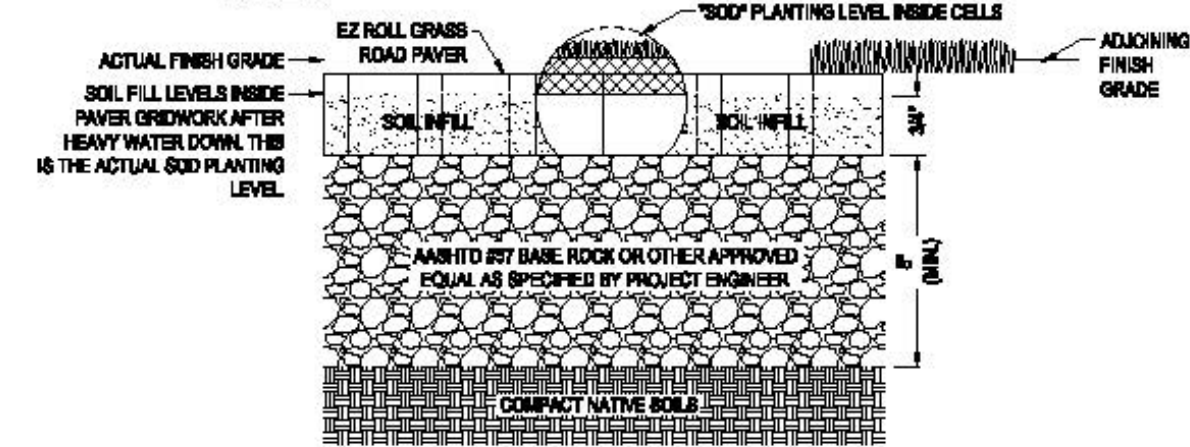


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WEIGHT: HONEYCOMB CELL: 57,000 PPF
LAYOUT COMPRESSIVE: 402 PPF
STRENGTH (OPEN CELL NO FILL): EXCEEDS HD LOADS



GRASS SEED OR SOIL: TYPE TO BE AS SPECIFIED IN THE CONTRACT DOCUMENTS OR BY DESIGN LANDSCAPE ARCHITECT.
SOIL INFILL: THE COMPOSITION OF THE MATERIAL WILL BE BASED ON LOCAL CONDITIONS AND DETERMINED BY THE LANDSCAPE ARCHITECT OR AS SPECIFIED IN THE CONTRACT DOCUMENTS



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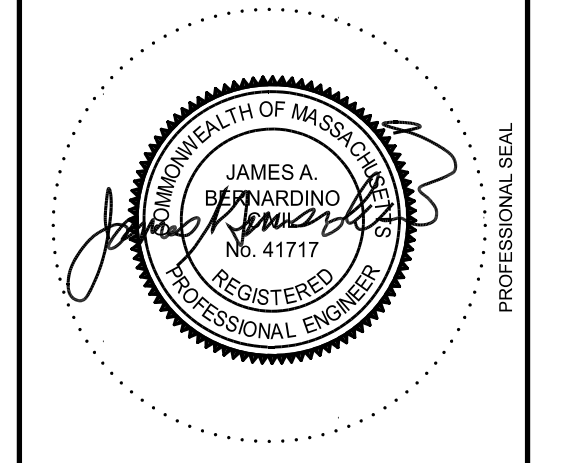
EZ ROLL GRASS PAVERS
FIRE HEAVY LOAD



NOTE:
CONTRACTOR TO COORDINATE LOCATION OF HEAVY DUTY AND MEDIUM DUTY GRASS PAVERS WITH CIVIL ENGINEER.

6 HEAVY DUTY GRASS PAVER
C-7.3 SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY	CHKD
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PROJECT:
NOBLE ENERGY
PROP. TRAVEL CENTER & E.V. DISCOVERY CENTER
#195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
STURBRIDGE, MA 01566
PREPARED FOR:
NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
131 BUCKINGHAM STREET, SUITE 301
HARTFORD, CT 06106

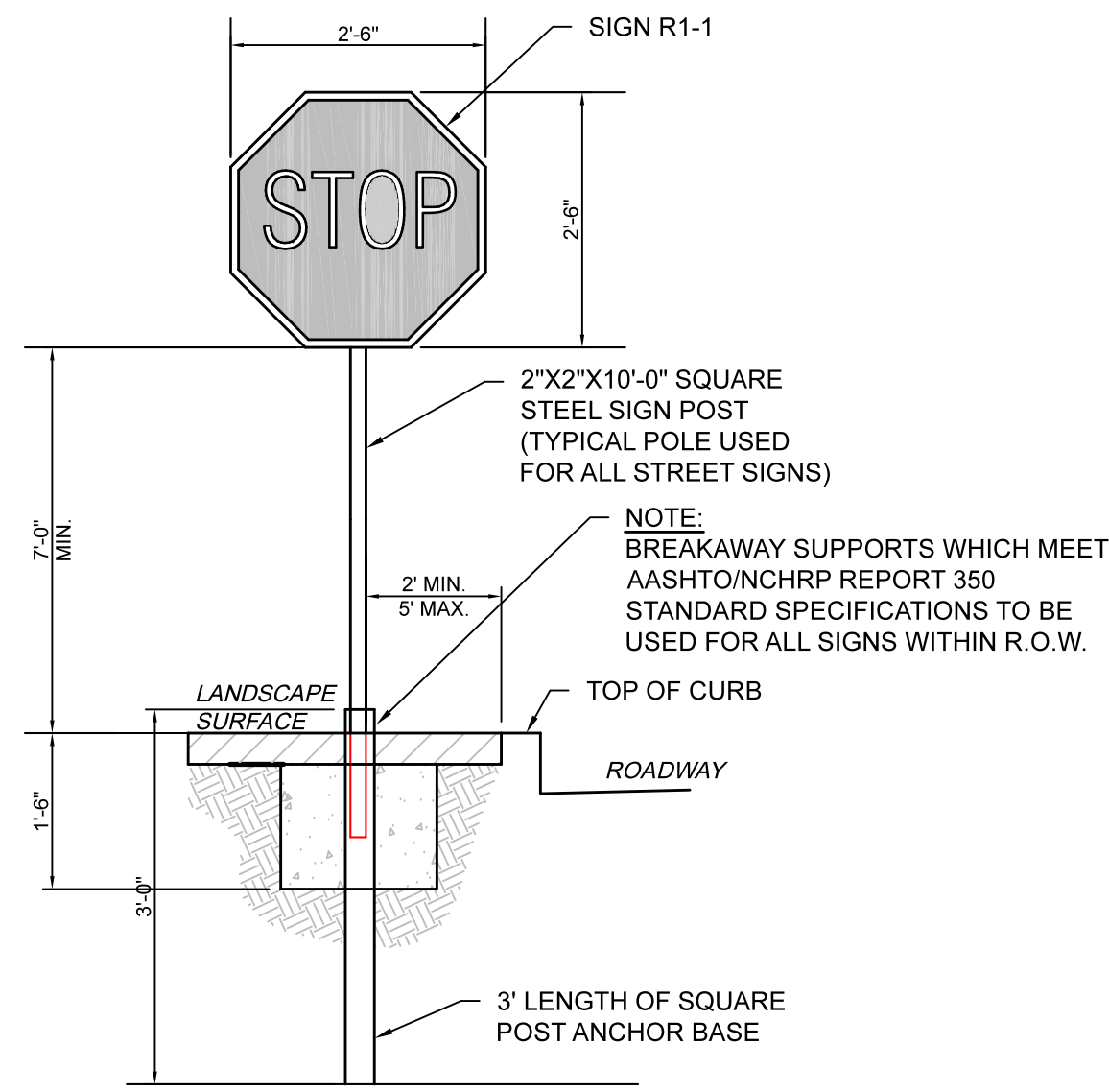
ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
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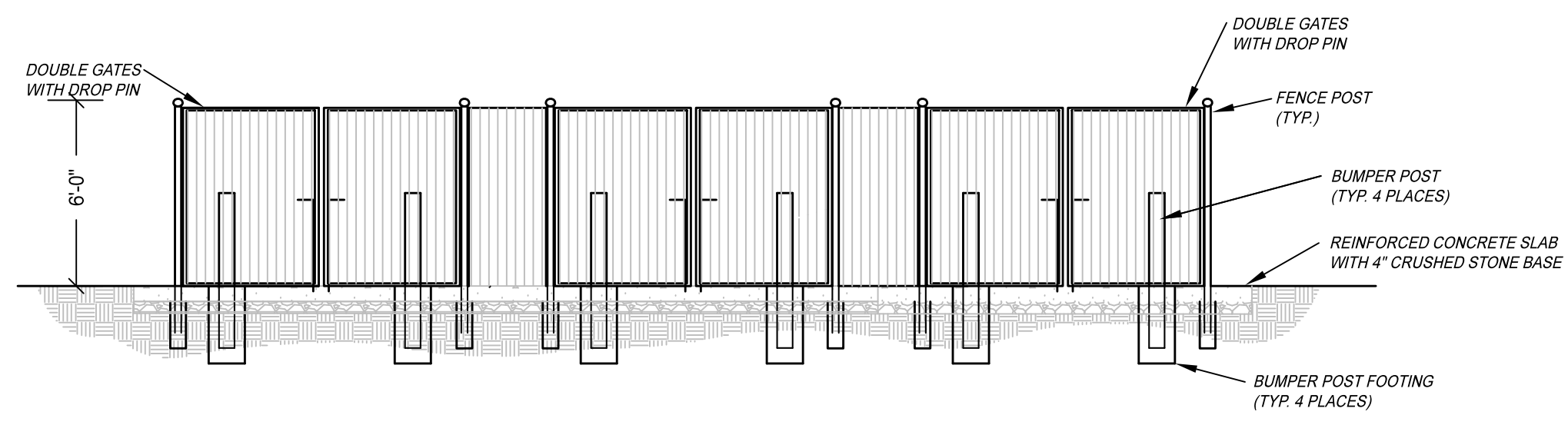
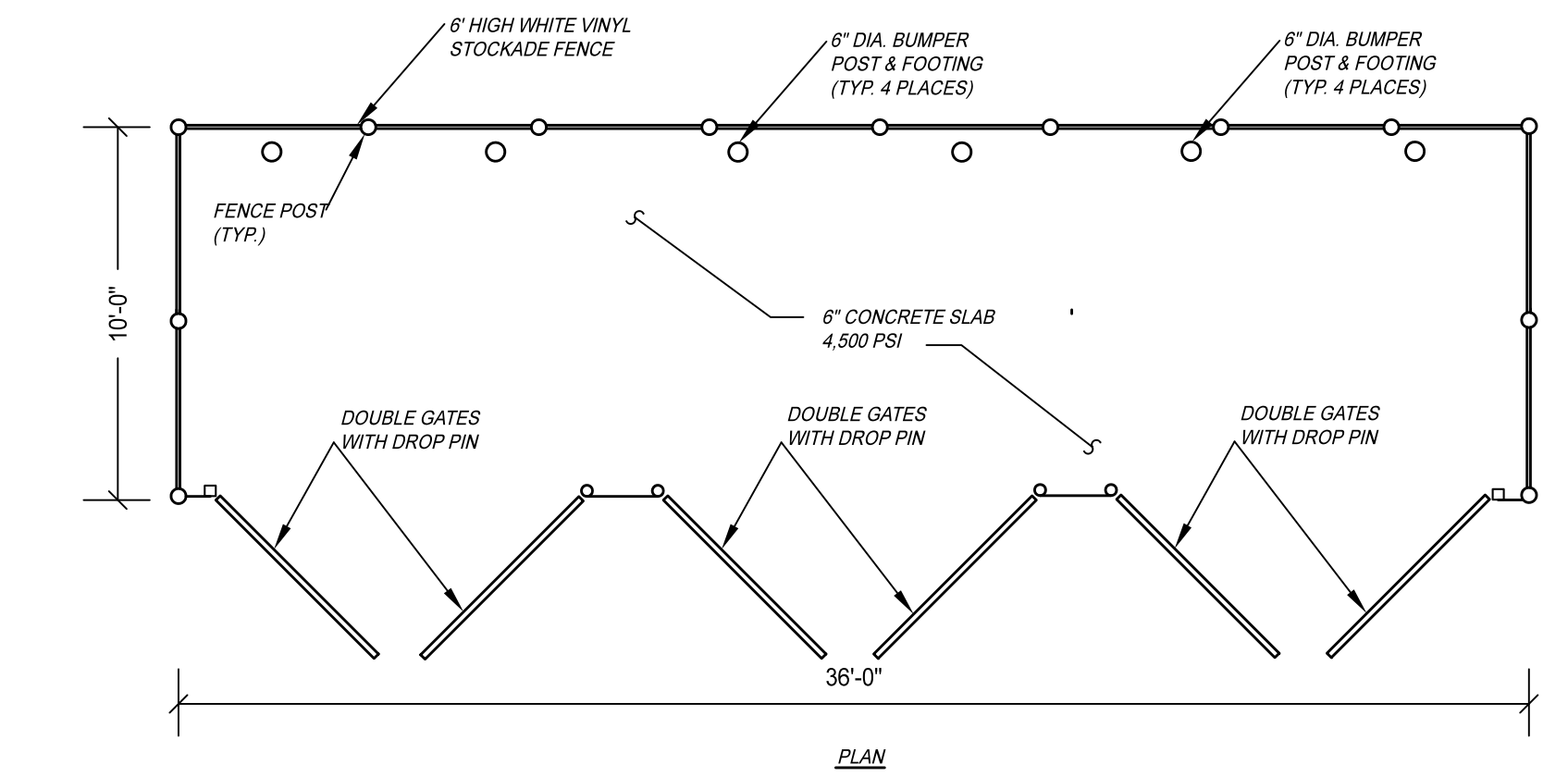
ISSUE DATE: 3/26/2021
DRAWN BY: RL CHECKED BY: JAB
SCALE: N.T.S.
PROJECT NO.: 2020-127

CONSTRUCTION DETAILS

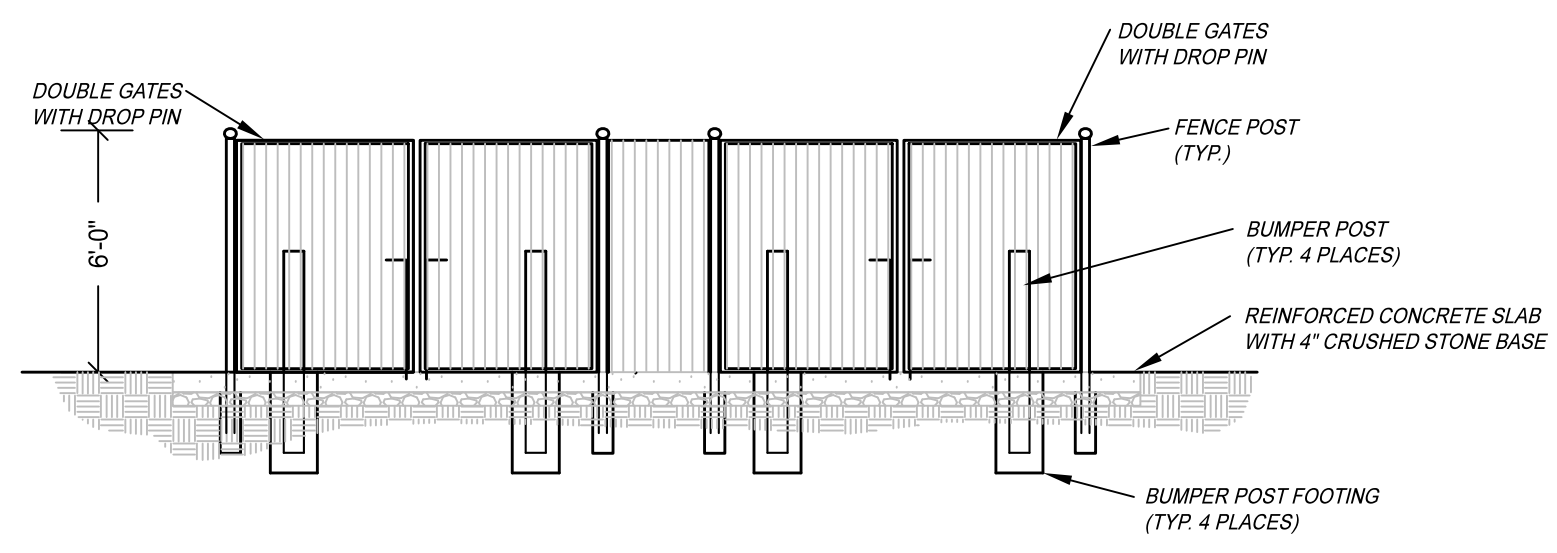
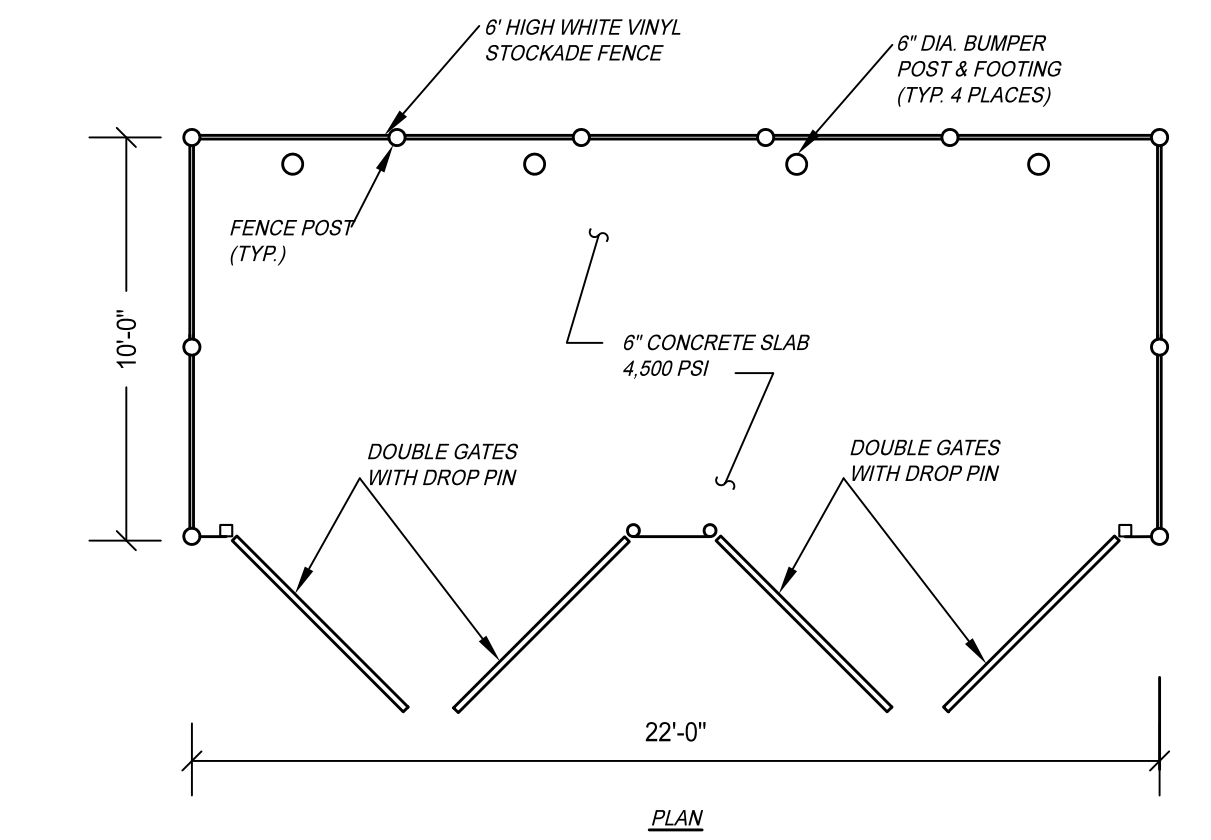
C-7.3



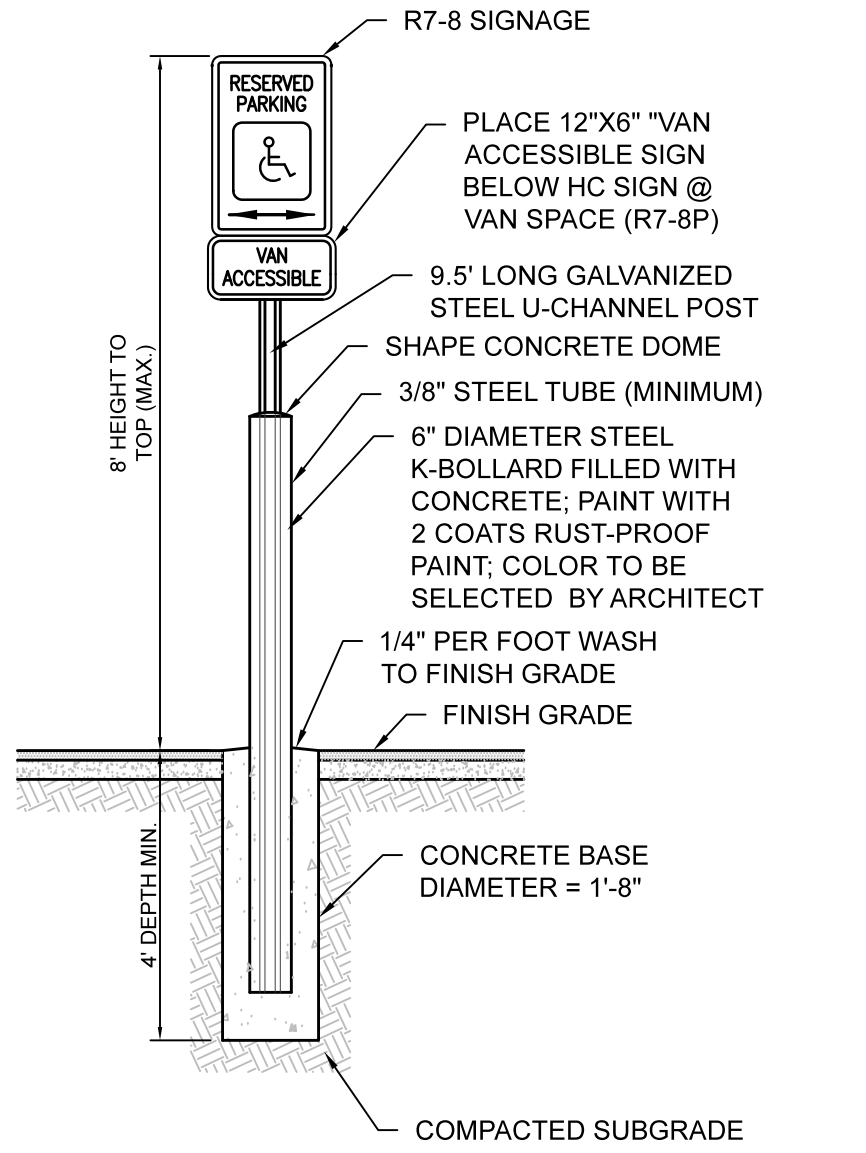
1 TYPICAL TRAFFIC SIGNS
C-7.4 SCALE: N.T.S.



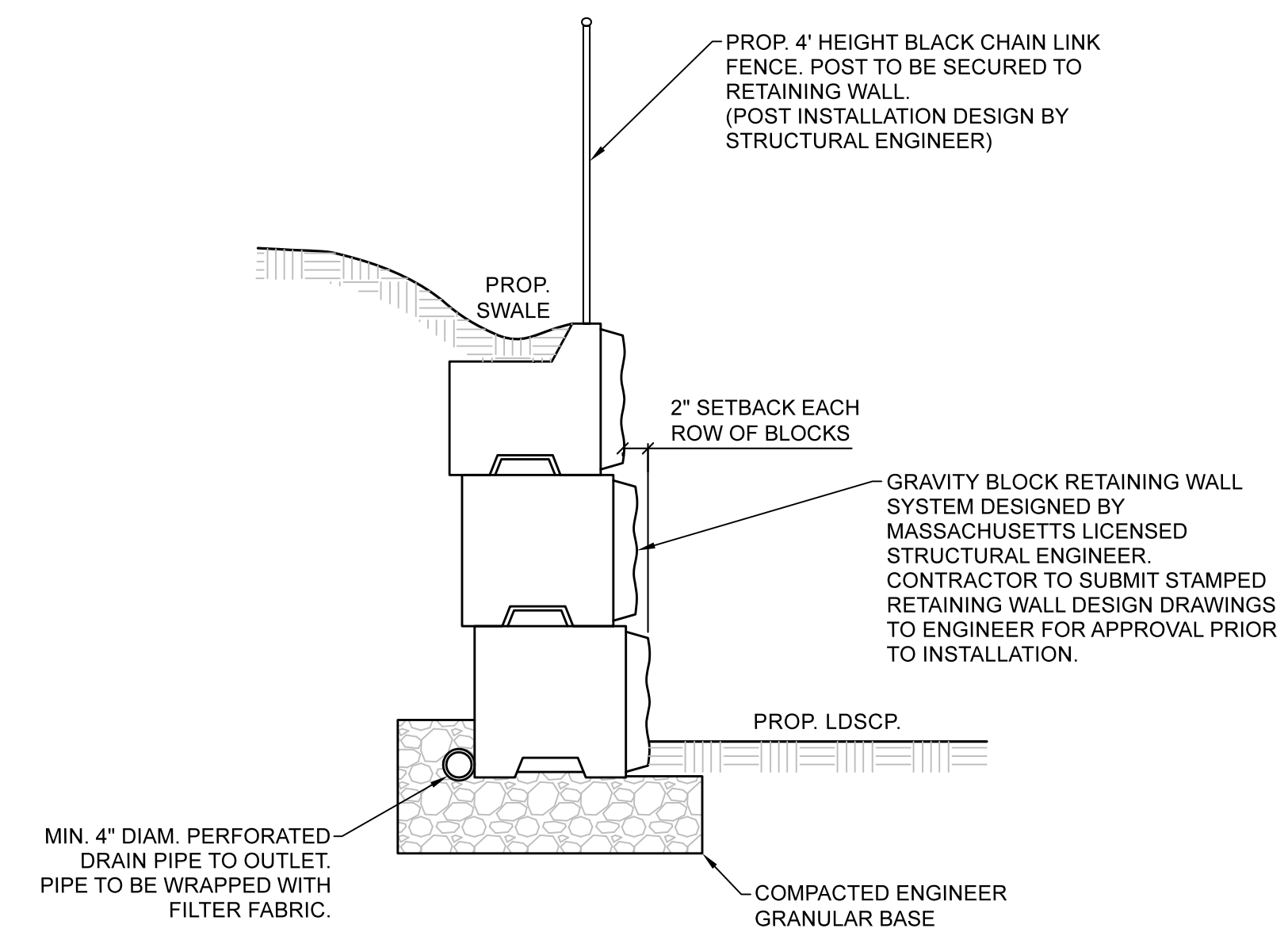
4 TRIPLE DUMPSTER ENCLOSURE
C-7.4 SCALE: N.T.S.



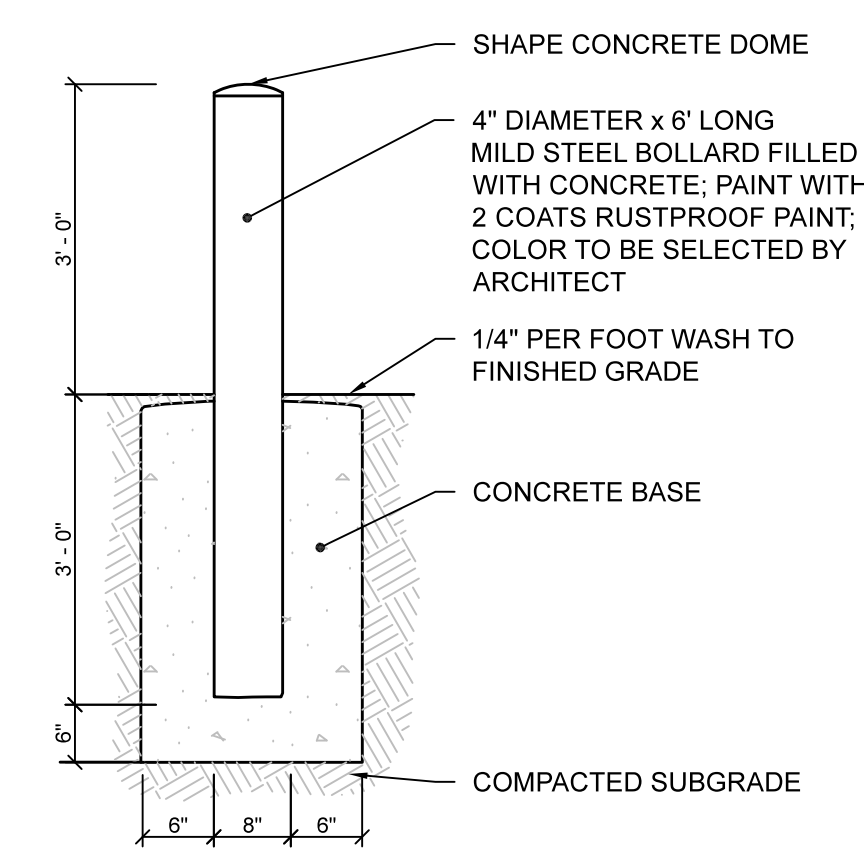
6 DOUBLE DUMPSTER ENCLOSURE
C-7.4 SCALE: N.T.S.



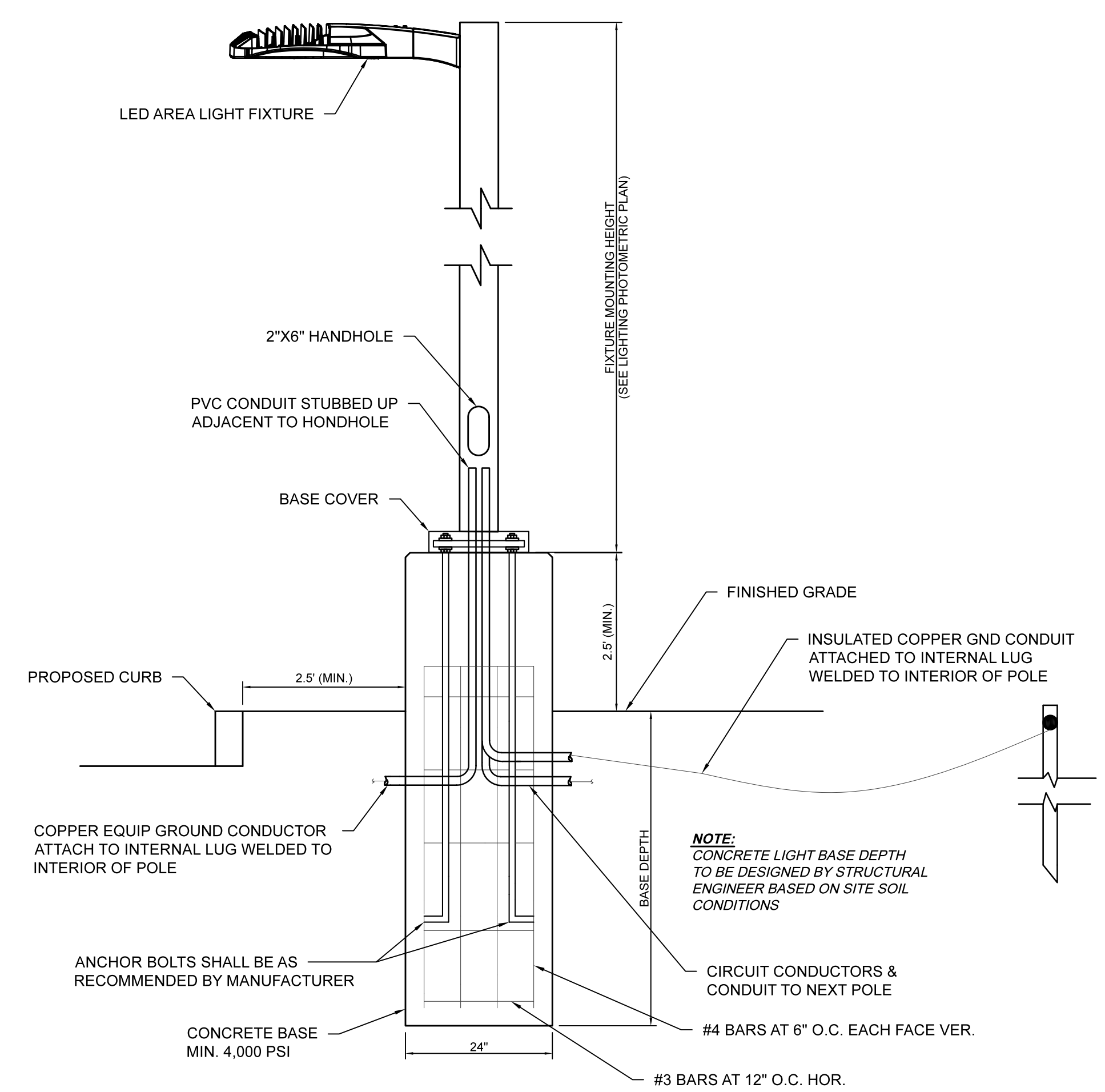
2 HANDICAP PARKING SIGNS
C-7.4 SCALE: N.T.S.



5 TYPICAL BLOCK RETAINING WALL DETAIL
C-7.4 SCALE: N.T.S.



3 STEEL PIPE BOLLARD
C-7.4 SCALE: N.T.S.



7 LIGHT POLE DETAIL (TYP.)
C-7.4 SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY	CHKD
1.	5/27/2021	PEER REVIEW TOWN STAFF COMMENTS	RL	JAB



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 131 BUCKINGHAM STREET, SUITE 301
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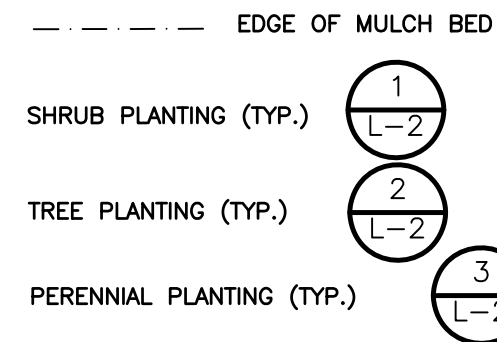


ISSUE DATE: 3/26/2021
 DRAWN BY: RL CHECKED BY: JAB
 SCALE: N.T.S.
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CONSTRUCTION DETAILS
 C-7.4

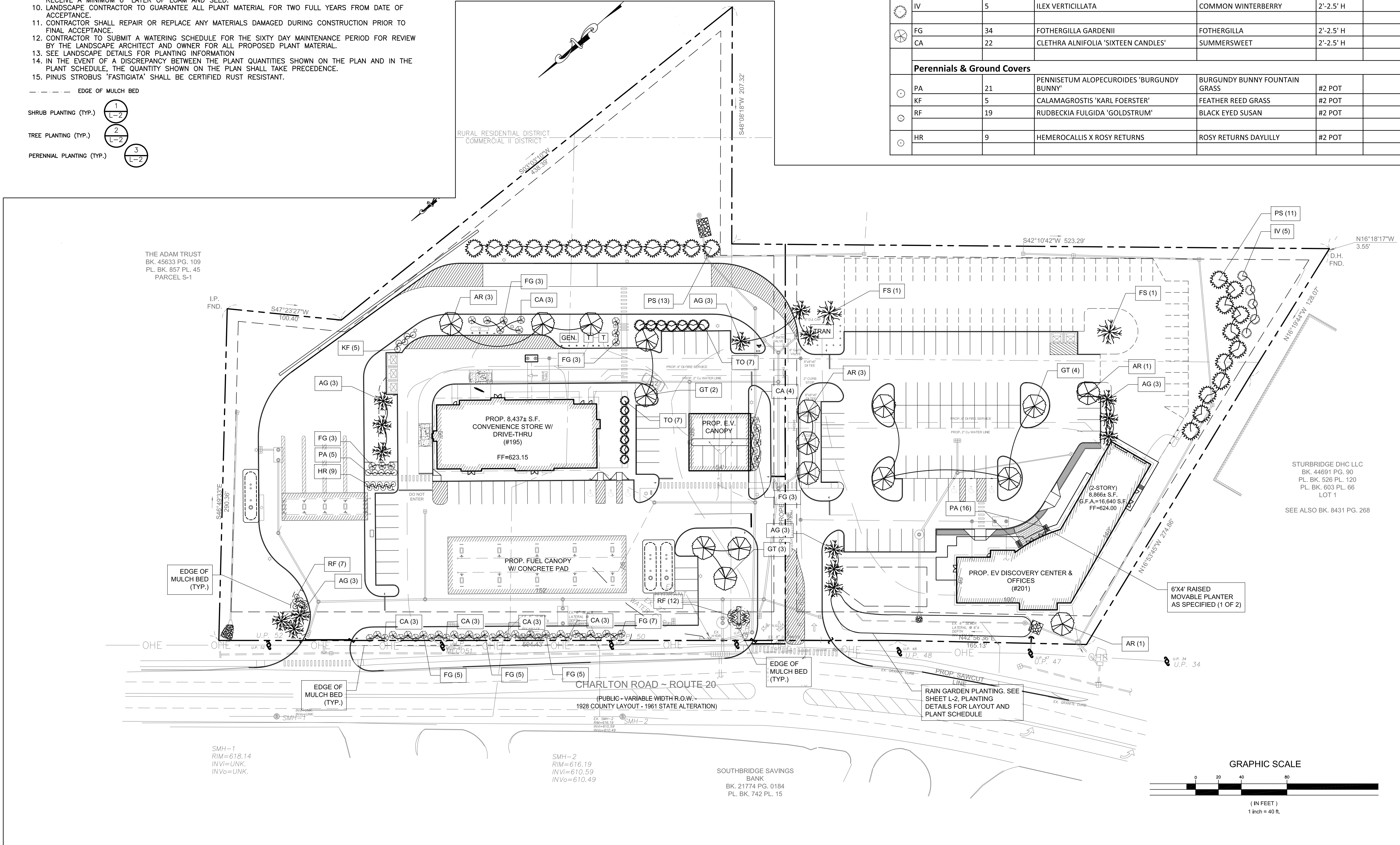
LANDSCAPE NOTES

- UNLESS OTHERWISE NOTED, ALL EXISTING TREES AND OTHER PLANT MATERIAL TO BE PROTECTED FOR THE DURATION OF THE PROJECT.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL CALL DIG SAFE (1-888-344-7233) TO HAVE EXISTING UTILITIES MARKED. CONTRACTOR SHALL MAINTAIN MARKINGS FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON THE PLANS.
- ALL PLANT MATERIAL TO CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1 -LATEST EDITION.
- ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT
- STAKE LOCATIONS OF PLANT MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL MULCH BEDS SHALL CONSIST OF A 6" LAYER SCREENED LOAM AND A 3" LAYER SHREDDED PINE BARK MULCH.
- EDGE OF MULCH BEDS TO BE MECHANICALLY EDGED.
- ALL DISTURBED AREAS NOT SHOWN AS PAVEMENT, MULCH BEDS, OR OTHER SPECIFIED MATERIAL SHALL RECEIVE A MINIMUM 6" LAYER OF LOAM AND SEED.
- LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY MATERIALS DAMAGED DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR TO SUBMIT A WATERING SCHEDULE FOR THE SIXTY DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER FOR ALL PROPOSED PLANT MATERIAL.
- SEE "LANDSCAPE DETAILS FOR PLANTING INFORMATION"
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE, THE QUANTITY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
- PINUS STROBUS 'FASTIGIATA' SHALL BE CERTIFIED RUST RESISTANT.



Plant Schedule					
Symbol	Quantity	Botanical Name	Common Name	Size	Root
Trees					
AR	8	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2-2.5" CAL.	BB
GT	9	GLEDITSIA TRICANTHOS 'INERMIS SHADEMASTER'	SHADEMASTER HONEY LOCUST	2-2.5" CAL.	BB
AG	15	ACER GRISEUM	PAPERBARK MAPLE	2-2.5" CAL.	BB
FS	2	FAGUS SYLVATICA 'RED OBELISK'	EUROPEAN BEECH	2-2.5" CAL.	BB
PS	24	PINUS STROBUS 'FASTIGIATA'	FASTIGIATA EASTERN WHIT PINE	7'-8" H	BB
TO	14	THUJA OCCIDENTALIS 'NIGRA'	AMERICAN ARBORVITAE	5'-6" H	BB
Shrubs					
IV	5	ILEX VERTICILLATA	COMMON WINTERBERRY	2'-2.5' H	
FG	34	FOTHERGILLA GARDENII	FOTHERGILLA	2'-2.5' H	
CA	22	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SUMMERSWEET	2'-2.5' H	
Perennials & Ground Covers					
PA	21	PENNISSETUM ALOPECUROIDES 'BURGUNDY BUNNY'	BURGUNDY BUNNY FOUNTAIN GRASS	#2 POT	
KF	5	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	#2 POT	
RF	19	RUDEBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	#2 POT	
HR	9	HEMEROCALLIS X ROSY RETURNS	ROSY RETURNS DAYLILLY	#2 POT	

NO.	DATE	DESCRIPTION	BY	
			CKD	DF
1	5/10/21	EDITS IN RESPONSE TO TOWN COMMENTS	JC	DF



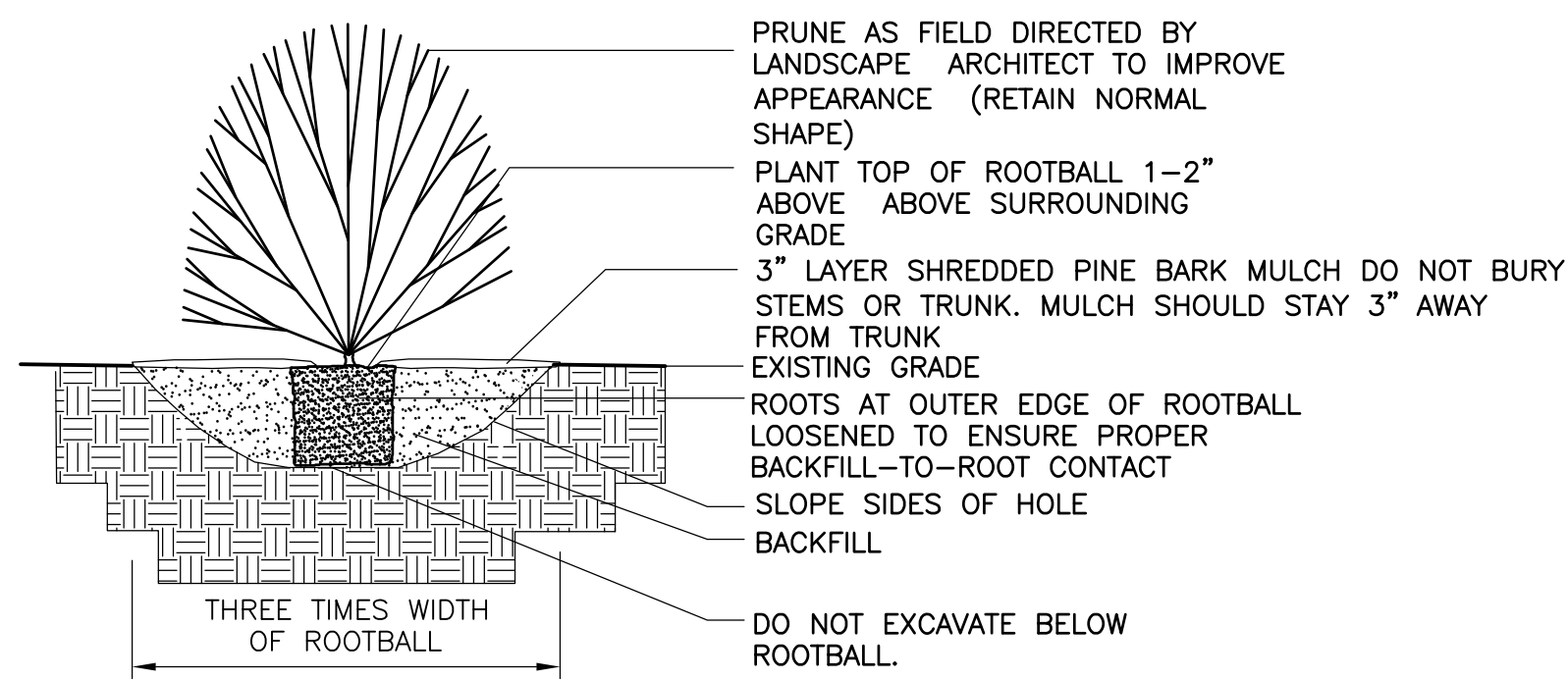
PROJECT: NOBLE ENERGY
 PROPOSED TRAVEL CENTER
 #195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20)
 STURBRIDGE, MA 01566

PREPARED FOR: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC.
 131 BUCKINGHAM STREET, SUITE 301
 HARTFORD, CT 06106



ISSUE DATE: 3/8/2021
 DRAWN BY: JC CHECKED BY: DF
 SCALE: 1" = 40'
 PROJECT NO.: 2020-127

LANDSCAPE PLAN

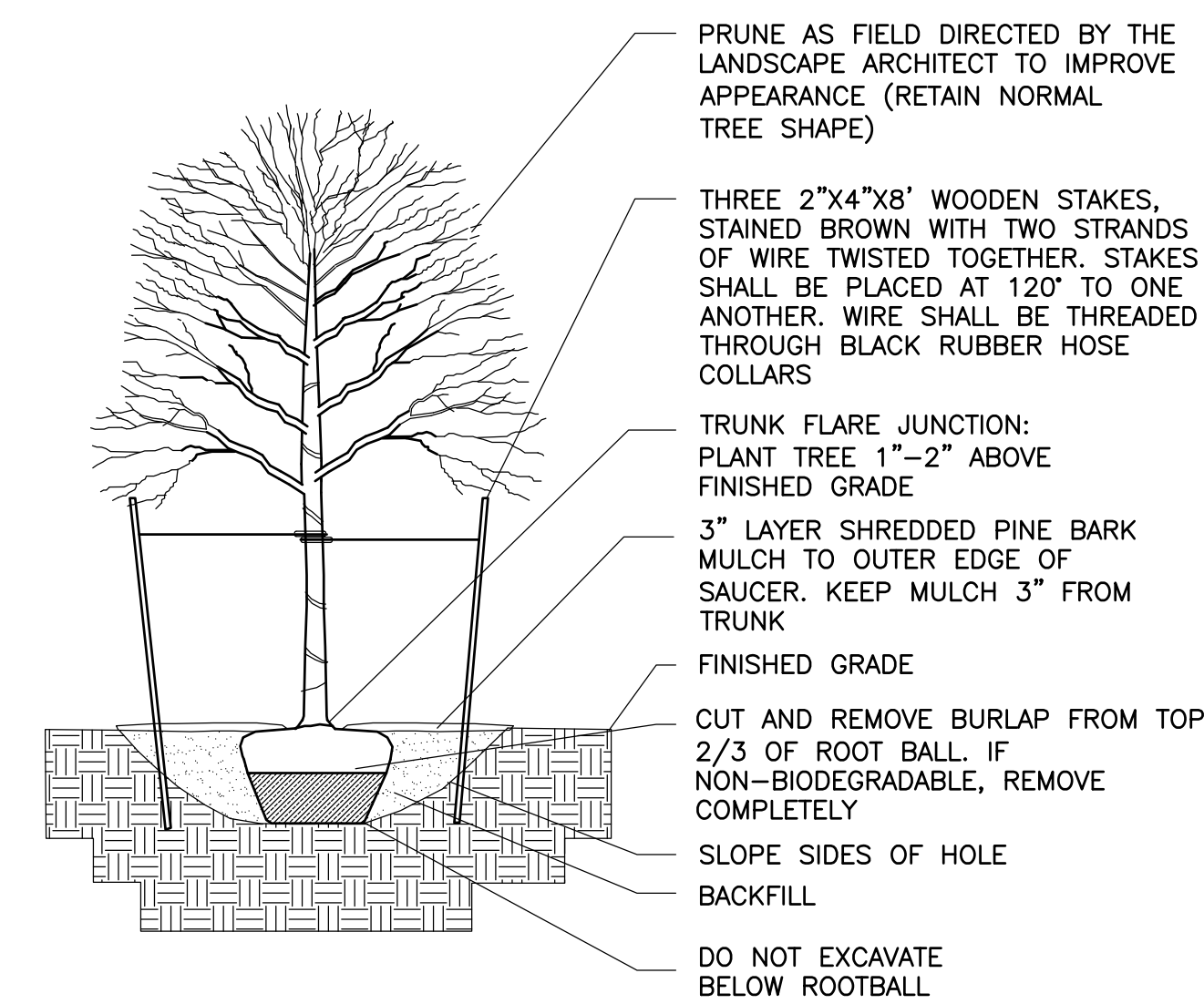


SHRUB PLANTING

DETAIL

1
L-2

NOT TO SCALE

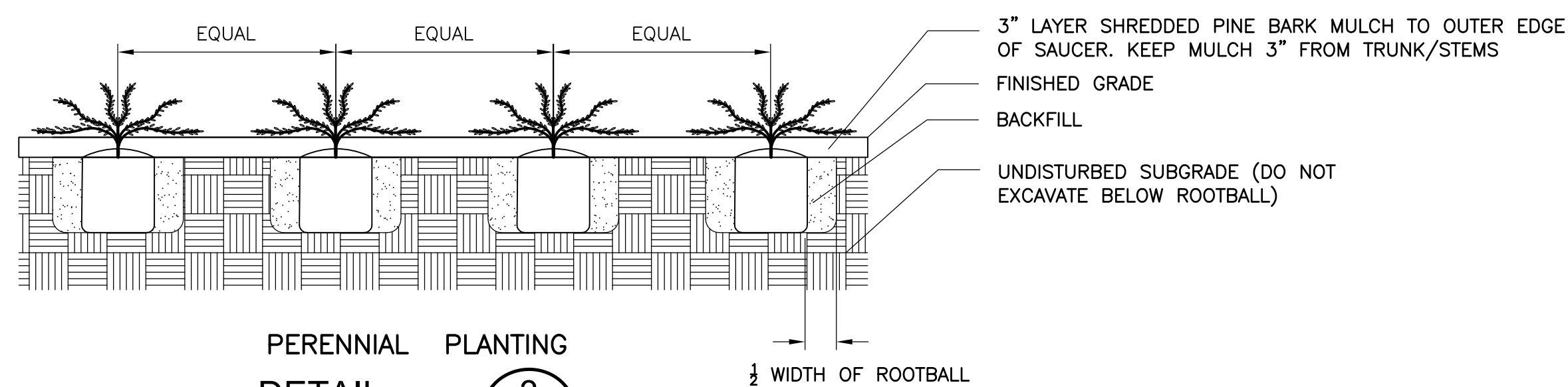


TREE PLANTING

DETAIL

2
L-2

NOT TO SCALE



PERENNIAL PLANTING

DETAIL

3
L-2

NOT TO SCALE



SHRUBS

AC	X	AMELANCHIER CANADENSIS	DOWNY SHADBLOW	2-2.5 FT.	BB	MULTI-STEM
VC	X	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-2.5 FT.	BB	

PERENNIALS AND GROUND COVERS

AT	X	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	#1 POT		
BF	X	IRIS VERSICOLOR	BLUE FLAG IRIS	#2 POT		
GM	X	GERANIUM MACULATAM	SPOTTED CRANES BILL	#1 POT		
MF	X	MONARDA FISTULOSA	WILD BERGAMOT (BEEBALM)	#2 POT		
RL	X	RUDBECKIA LACINIATA	CUTLEAF CONEFLOWER	#2 POT		
LC	X	LOBELIA CARDINALIS	CARDINAL FLOWER	#2 POT		
DM	X	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	#2 POT		
CP	X	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	#1 POT		
VM	X	VINCA MINOR	PERIWINKLE	#1 POT	12" O.C.	
GO	X	GALIUM ODORATUM	SWEET WOODRUFF	#1 POT	12" O.C.	

RAIN GARDEN PLANTING

DETAIL

4
L-2

NOT TO SCALE

NO.	DATE	DESCRIPTION	BY		CHKD	
			JC	DF	JC	DF
1	5/10/21	EDITS IN RESPONSE TO TOWN COMMENTS				



PROJECT: NOBLE ENERGY PROPOSED TRAVEL CENTER #195, 197, 201, & 201A CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA 01566

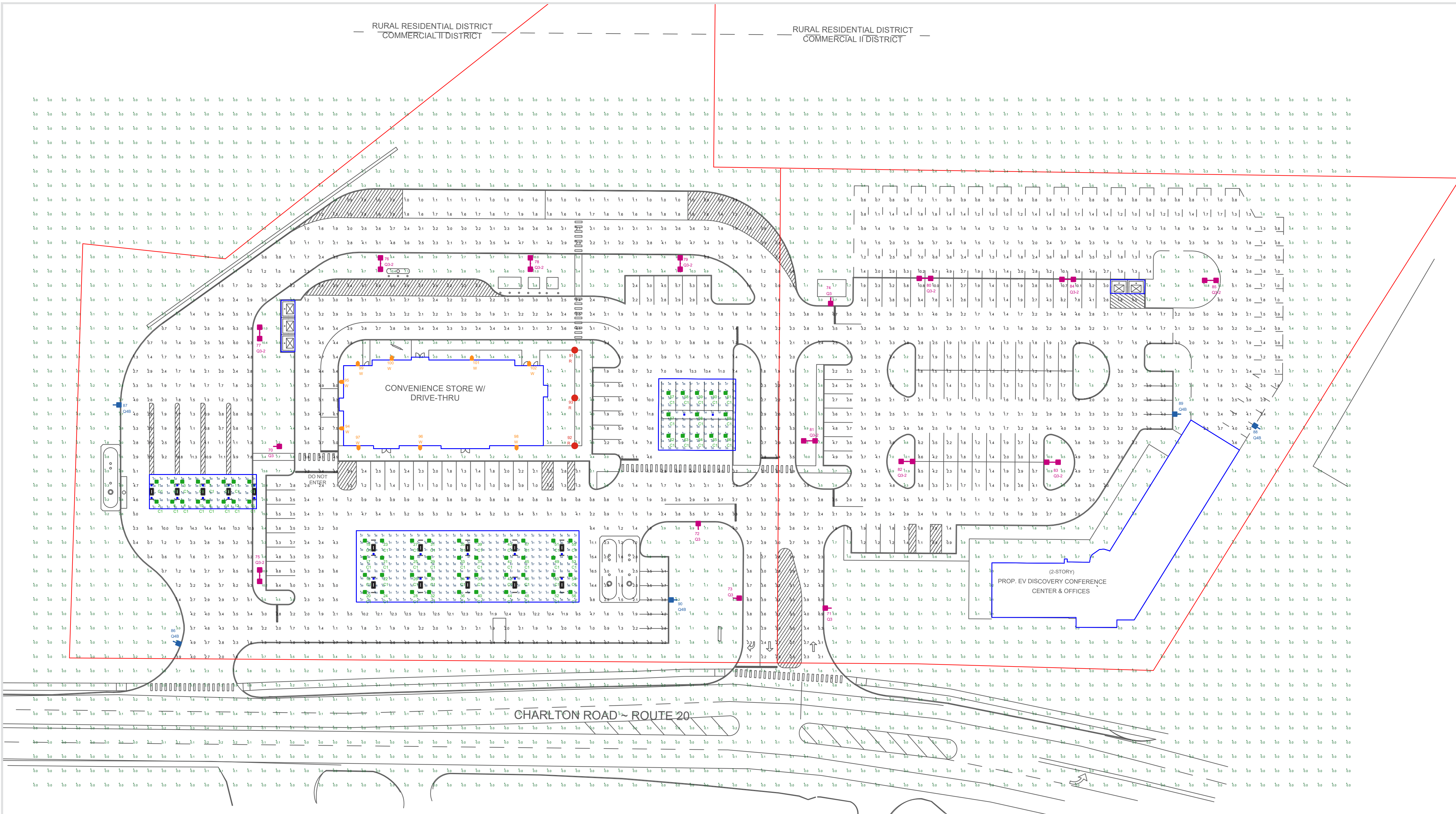
PREPARED FOR: NOBLE ENERGY REAL ESTATE HOLDINGS, LLC. 131 BUCKINGHAM STREET, SUITE 301 HARTFORD, CT 06106



ISSUE DATE: 3/8/2021
 DRAWN BY: JC CHECKED BY: DF
 SCALE: 1" = 40'
 PROJECT NO.: 2020-127

LANDSCAPE DETAILS

L-2.0



RURAL RESIDENTIAL DISTRICT
COMMERCIAL II DISTRICT

CONVENIENCE STORE W/
DRIVE-THRU

(2-STORY)
PROP. EV DISCOVERY CONFERENCE
CENTER & OFFICES

CHARLTON ROAD ~ ROUTE 20

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY, DIESEL	55.08	76	31	1.78	2.45
CANOPY, EV	41.81	58	19	2.20	3.05
CANOPY, GAS	45.91	67	27	1.70	2.48
PAVED	2.75	16.5	0.4	6.88	41.25
UNDEFINED	0.76	22.4	0.0	N.A.	N.A.

NOTES:
- ALL AREA LIGHTS ON NEW 20 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol]	69	C1	SINGLE	13696	0.786	B3-U0-G0	134	9246	CREE, INC.	CAN-304-PS-XX-06-E-UL-XX-700-30K (SPECIAL ORDER)
[Symbol]	5	Q3	SINGLE	15500	1.030	B3-U0-G3	104	520	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-16L-30K7-3M-UL-NM-XX
[Symbol]	11	Q3-2	D180	15500	1.030	B3-U0-G3	104	2288	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-16L-30K7-3M-UL-NM-XX
[Symbol]	5	Q4B	SINGLE	11924	1.030	B2-U0-G2	104	520	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-16L-30K7-4M-UL-NM-XX + OSQ-BLSMF
[Symbol]	3	R	SINGLE	8993	0.786	B3-U0-G2	93	279	Cree Inc.	ARE-EDR-5M-XX-04-E-UL-XX-700-30K (SPECIAL ORDER)
[Symbol]	9	W	SINGLE	4270	1.030	B1-U0-G1	33	297	Cree Inc	XSPW-B-WM-3ME-4L-30K-UL-XX

LUMINAIRE LOCATION SUMMARY

LUM NO.	LABEL	MTG. HT.
1	C1	15
2	C1	15
3	C1	15
4	C1	15
5	C1	15
6	C1	15
7	C1	15
8	C1	15
9	C1	15
10	C1	15
11	C1	15
12	C1	15
13	C1	15
14	C1	15
15	C1	15
16	C1	15
17	C1	15
18	C1	15
19	C1	15
20	C1	15
21	C1	15
22	C1	15
23	C1	15
24	C1	15
25	C1	15
26	C1	15
27	C1	15
28	C1	15
29	C1	15
30	C1	15
31	C1	15
32	C1	15
33	C1	15
34	C1	15
35	C1	15
36	C1	15
37	C1	15
38	C1	15
39	C1	15
40	C1	15
41	C1	15
42	C1	15
43	C1	15
44	C1	15
45	C1	15
46	C1	15
47	C1	15
48	C1	15
49	C1	15
50	C1	15
51	C1	15

LUMINAIRE LOCATION SUMMARY

LUM NO.	LABEL	MTG. HT.
52	C1	15
53	C1	15
54	C1	15
55	C1	15
56	C1	15
57	C1	15
58	C1	15
59	C1	15
60	C1	15
61	C1	15
62	C1	15
63	C1	15
64	C1	15
65	C1	15
66	C1	15
67	C1	15
68	C1	15
69	C1	15
70	Q3	22
71	Q3	22
72	Q3	22
73	Q3	22
74	Q3	22
75	Q3-2	22
76	Q3-2	22
77	Q3-2	22
78	Q3-2	22
79	Q3-2	22
80	Q3-2	22
81	Q3-2	22
82	Q3-2	22
83	Q3-2	22
84	Q3-2	22
85	Q3-2	22
86	Q4B	22
87	Q4B	22
88	Q4B	22
89	Q4B	22
90	Q4B	22
91	R	9.5
92	R	9.5
93	R	9.5
94	W	12
95	W	12
96	W	12
97	W	12
98	W	12
99	W	12
100	W	12
101	W	12
102	W	12

PROJECT NO : NBL-1446

SEAL :



DATE :

CONSULTANT :

CLIENT :



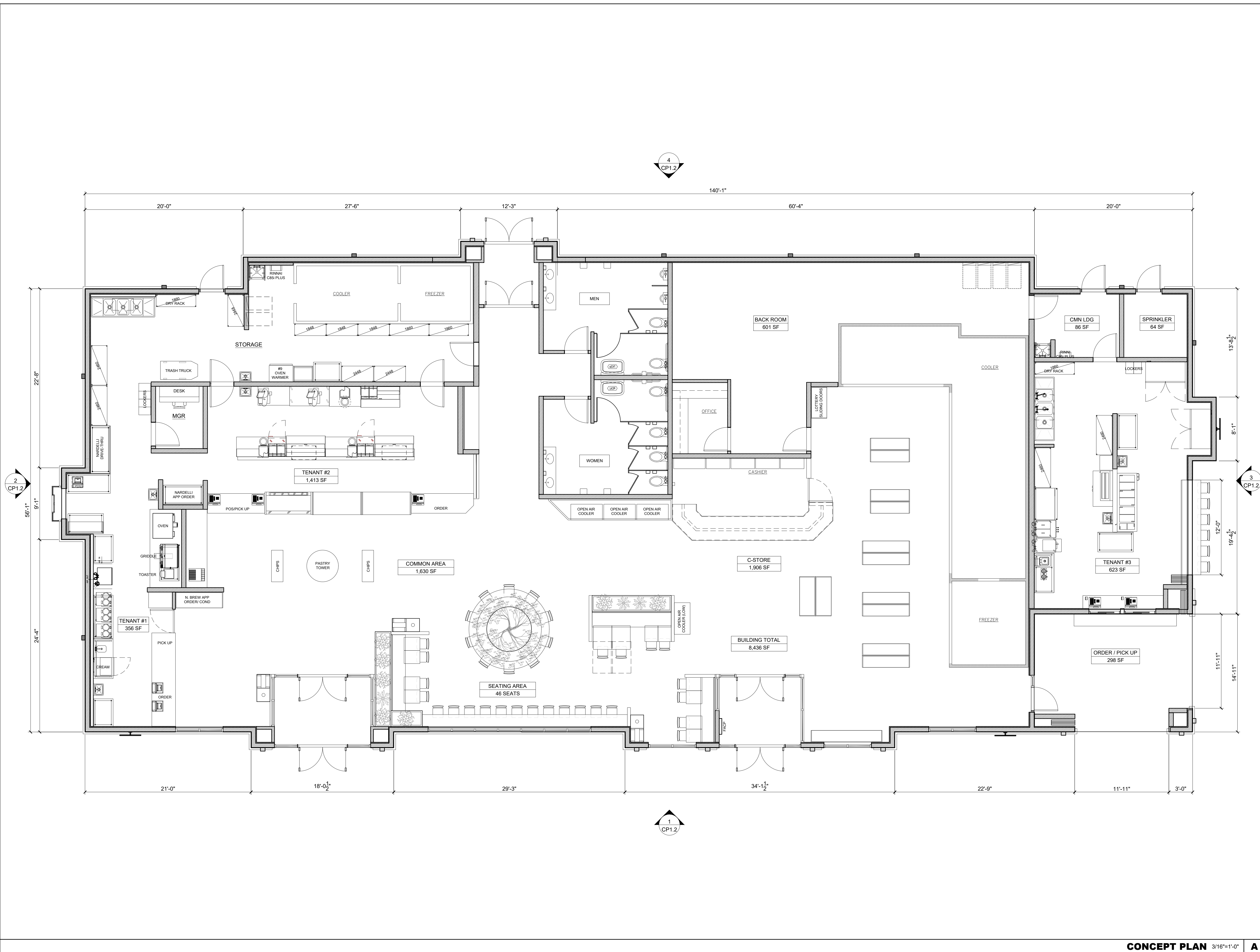
KEY PLAN :

PROJECT LOCATION :
**CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566**


ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 ---	---
2 DRC COMMENTS	05.05.21
3	
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DRAWING NAME :
**CONCEPT
 PLAN**

DRAWING NO :
CP1.1



PROJECT NO : NBL-1446

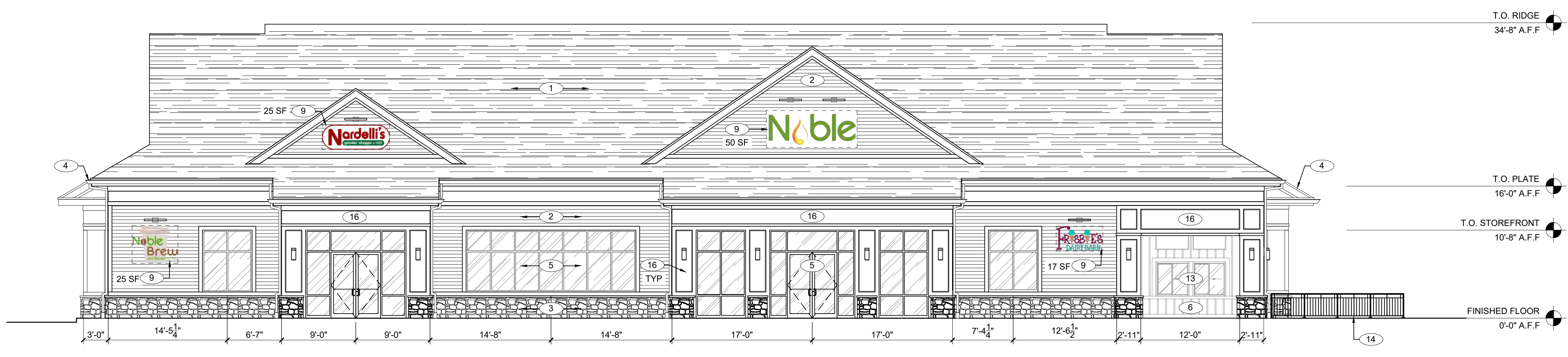
SEAL :

 DATE :

CONSULTANT :

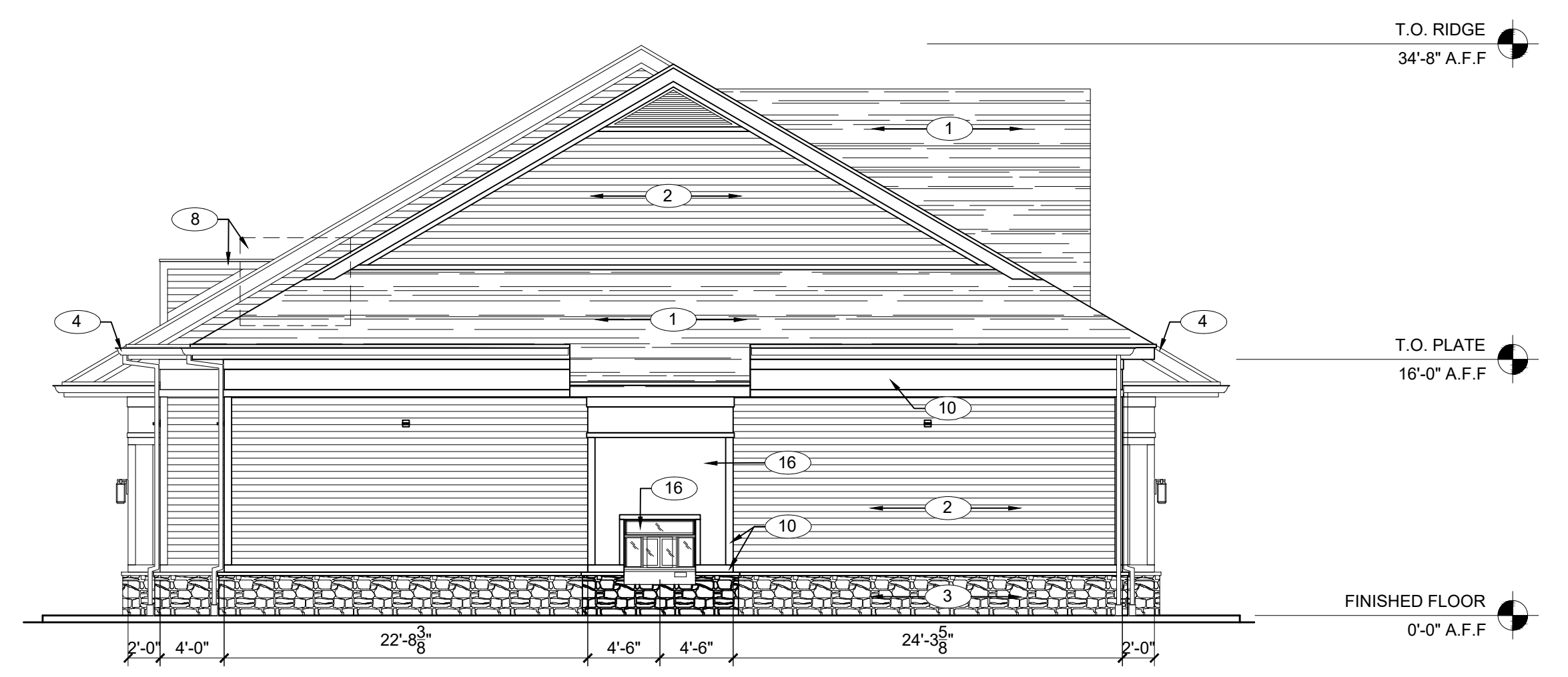
CLIENT :


KEY PLAN :

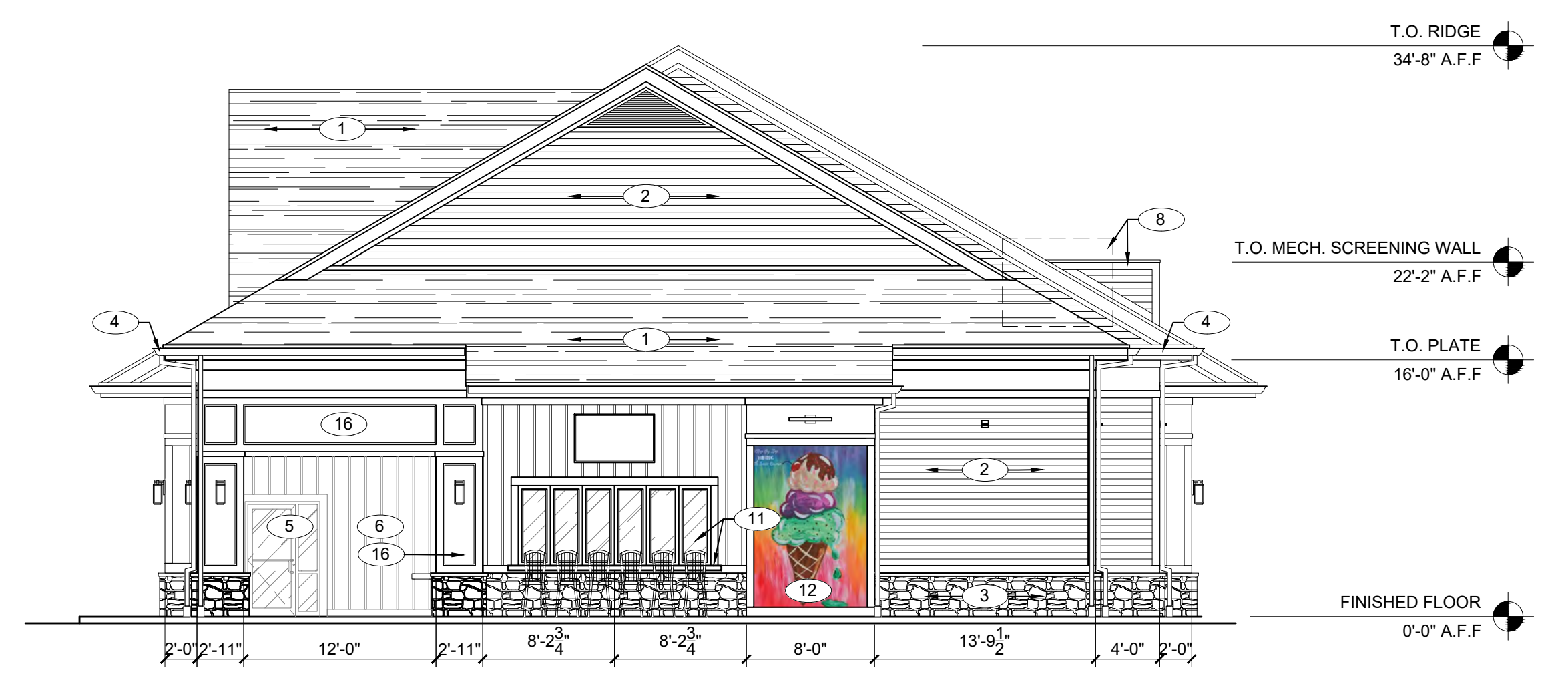
PROJECT LOCATION :
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566



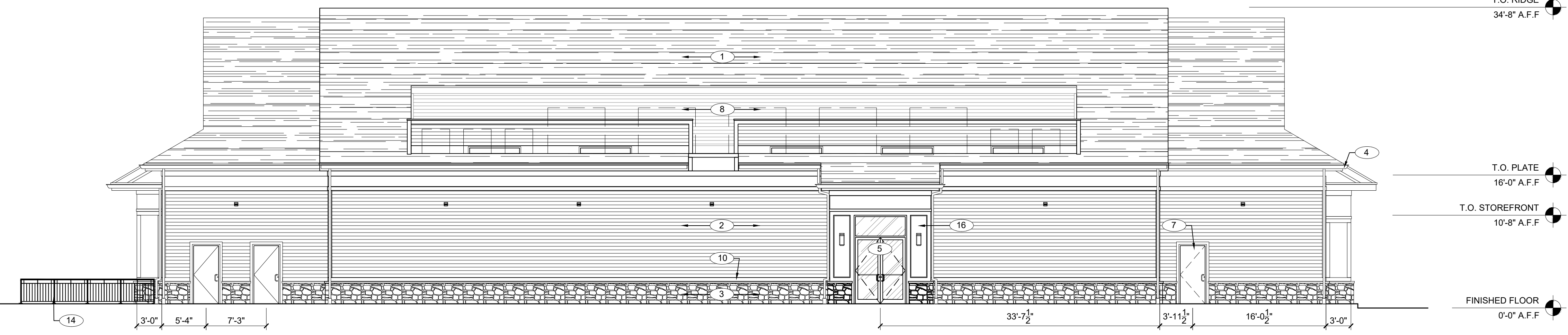
FRONT ELEVATION 1/8"-1'-0" **1**



LEFT ELEVATION 1/8"-1'-0" **2**



RIGHT ELEVATION 1/8"-1'-0" **3**



REAR ELEVATION 1/8"-1'-0" **4**


- KEY NOTE NUMBERS ON EXTERIOR ELEVATIONS DENOTED WITH THIS SYMBOL # → CORRESPOND TO THE FOLLOWING ITEMS:
1. TIMBERLINE 30 YEAR ARCHITECTURAL SHINGLES. COLOR: CHARCOAL
 2. PREFINISHED HARDIE PLANK SIDING. COLOR: EMBELLISHED CREAM
 3. PRO FIT CULTURED STONE - "ALPINE LEDGE" - PHEASANT" W/ 3"x5" STONE CAP.
 4. 6" WHITE ALUMINUM GUTTER / RAIN LEADER TIED INTO UNDERGROUND STORM WATER MANAGEMENT SYSTEM.
 5. ALUMINUM STOREFRONT SYSTEM WITH CLEAR GLAZING. COLOR: WHITE.
 6. 12" BOARD AND BATTEN SIDING. COLOR: WHITE.
 7. SERVICE DOORS - COLOR: WHITE.
 8. MECHANICAL EQUIPMENT WITH PARTIAL HEIGHT SCREEN WALL.
 9. EXTERNALLY ILLUMINATED SIGNAGE. SIZE AS PERMITTED BY LOCAL ZONING REGULATIONS.
 10. 1 X KLEER BOARD / TRIM - SMOOTH FINISH. COLOR: WHITE
 11. SOLID SURFACE SEASONAL ICE CREAM COUNTER WITH FOLDING WINDOW SYSTEM. COLOR: WHITE
 12. ICE CREAM MURAL.
 13. SLIDING ORDER AND PICK UP WINDOWS. COLOR: WHITE
 14. 36" HIGH DECORATIVE WROUGHT IRON PATIO FENCE. MANUFACTURER: FORTIN IRONWORKS. MODEL NO: R2S.
 15. DRIVE-THRU WINDOW. COLOR: WHITE.
 16. PVC SHEET STOCK SIDING - SMOOTH FINISH. COLOR: WHITE.

ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 TOWN COMMENTS	04.20.21
2 DRC COMMENTS	05.05.21
3	
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DRAWING NAME :
EXTERIOR ELEVATIONS

DRAWING NO :
CP1.2

PROJECT NO : NBL-1446

SEAL :

 DATE :

CONSULTANT :

CLIENT :


KEY PLAN :

PROJECT LOCATION :
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566

ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 TOWN COMMENTS	04.20.21
2 DRC COMMENTS	05.05.21
3	
4	
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6	
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8	

DRAWING NAME :
EXTERIOR ELEVATIONS - COLORED

DRAWING NO :
CP1.3



FRONT ELEVATION NTS **A**



LEFT ELEVATION NTS **B**



RIGHT ELEVATION NTS **C**



REAR ELEVATION NTS **D**

PROJECT NO : NBL-1446

SEAL : 
 DATE :

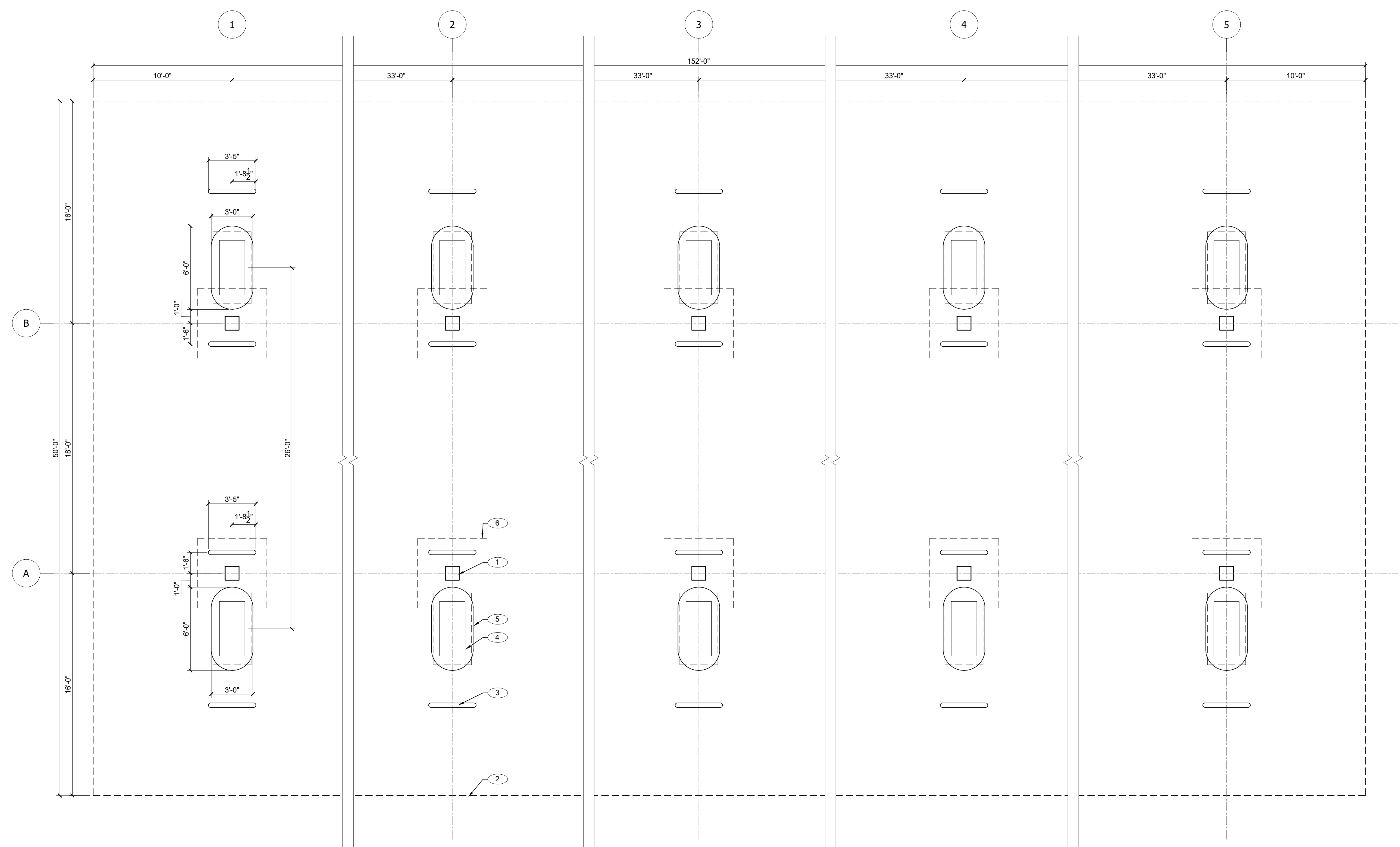
CONSULTANT :

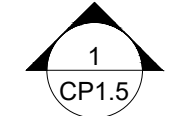
CLIENT :


KEY PLAN :

PROJECT LOCATION :
**CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566**

ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 ---	---
2 DRC COMMENTS	05.05.21
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 1
 CP1.5
 CHARLTON ROAD (RTE 20)

CANOPY PLAN 1/4" = 1'-0" **A**


- KEY NOTE NUMBERS ON ABOVE CANOPY PLAN DENOTED WITH THIS SYMBOL (#) → CORRESPOND TO THE FOLLOWING ITEMS:
1. SQUARE STEEL CANOPY COLUMN, PAINTED OUTRAGEOUS GREEN, SEMI-GLOSS FINISH #SW6922.
 2. 30" HIGH ALUMINUM CLAD PRE-ENGINEERED STEEL FRAMED CANOPY - PAINTED WHITE IN SATIN FINISH. SEE ELEVATIONS ON CP1.5 FOR ADDITIONAL INFORMATION.
 3. 36" HIGH X 4" DIA. PIPE BOLLARDS PAINTED WHITE ON BASE AND ORANGE ON ROUNDED TOP.
 4. FUEL DISPENSERS - TYPE, SIZE AND GRAPHICS - TBD.
 5. 6" HIGH CONCRETE DISPENSER ISLAND.
 6. REINFORCED CONCRETE FOOTING.

CANOPY PLAN KEY NOTES

DRAWING NAME :
CANOPY PLAN

DRAWING NO :
CP1.4

PROJECT NO : NBL-1446

SEAL : 
 DATE :

CONSULTANT :

CLIENT :

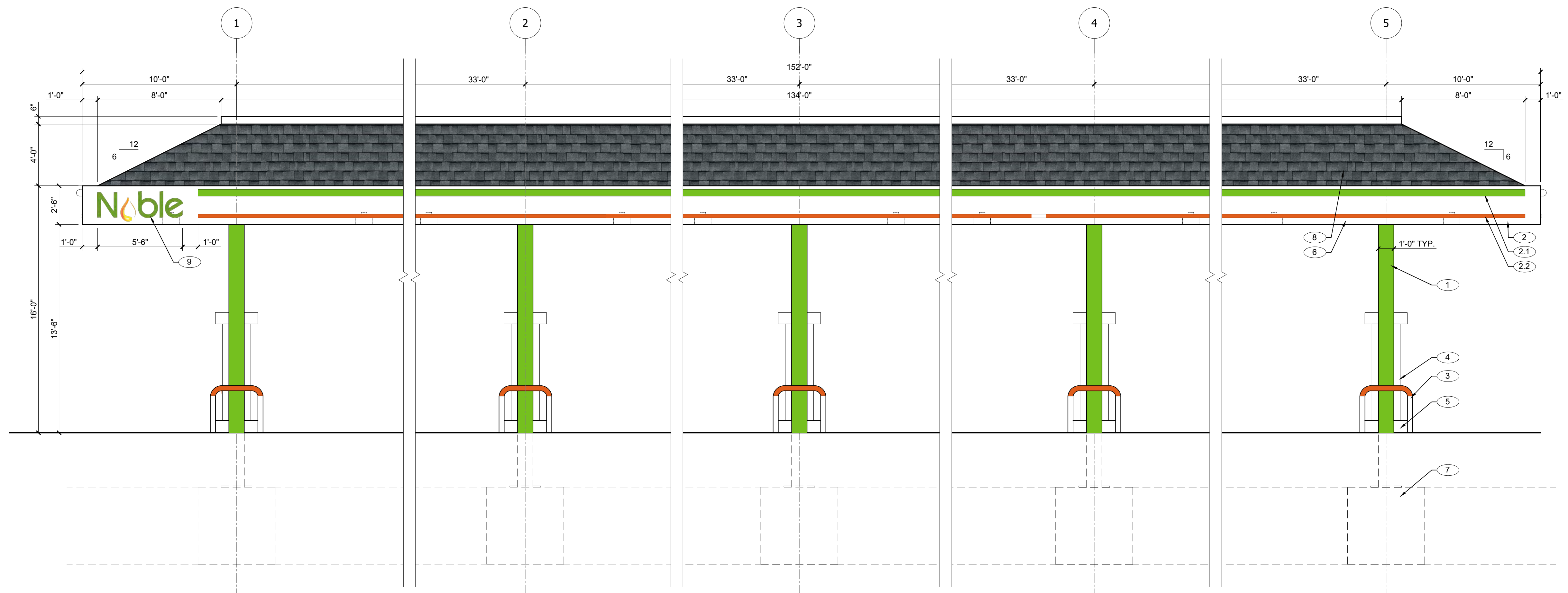

KEY PLAN :

PROJECT LOCATION :
**CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566**

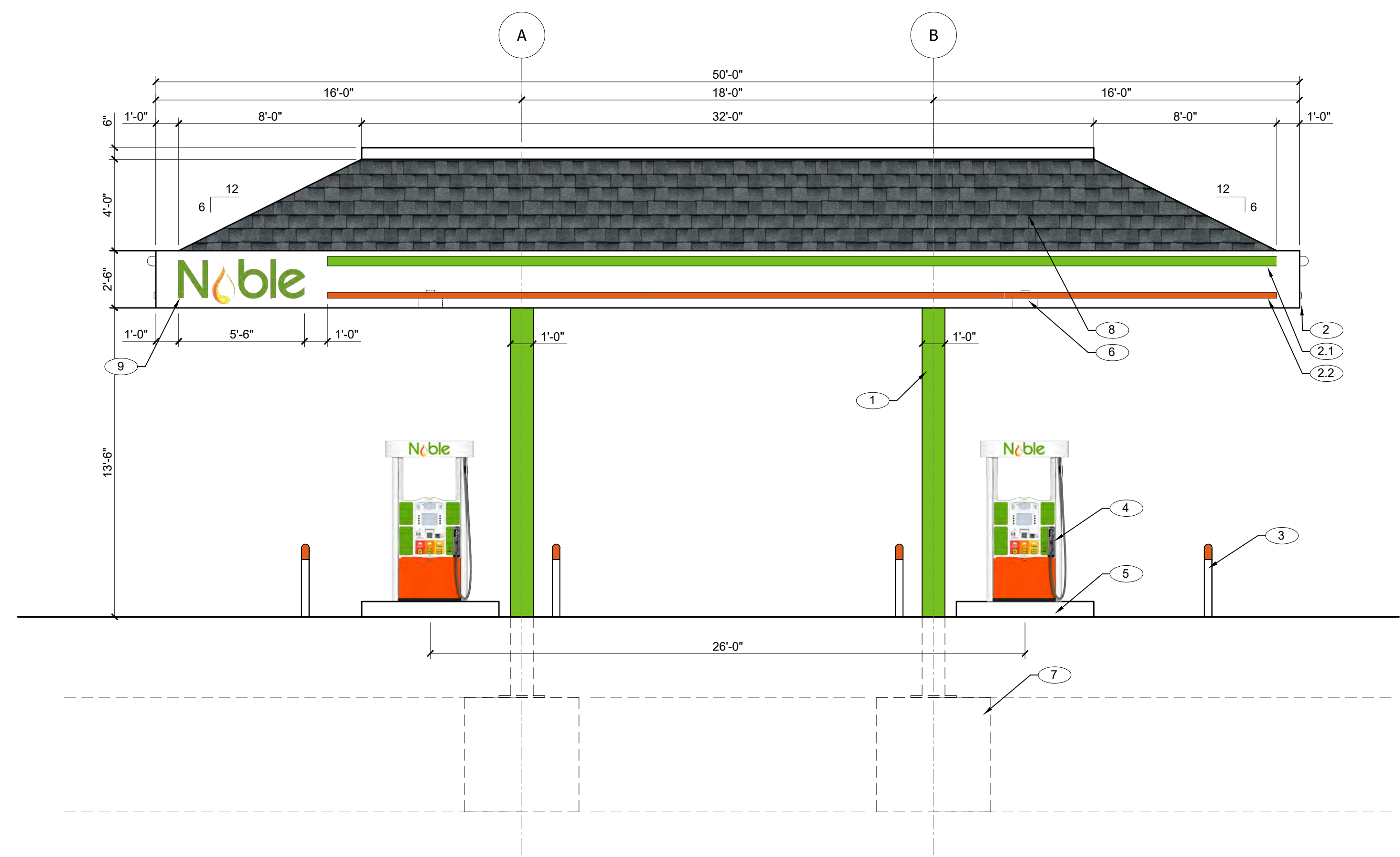
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ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1	---
2	---
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5	---
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9	---
DRC COMMENTS	05.05.21

DRAWING NAME :
**CANOPY
 ELEVATIONS**

DRAWING NO :
CP1.5



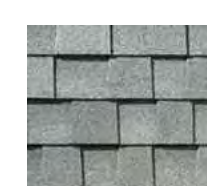


NORTH WEST ELEVATION 1/4" = 1'-0" **1**



SOUTH WEST ELEVATION 1/4" = 1'-0" **2**

ELEVATION KEY NOTES

-  - GREEN BAND PMS #368C
-  - ORANGE BAND PMS #1655C
-  - FOX HOLLOW GRAY ARCHITECTURAL SHINGLES

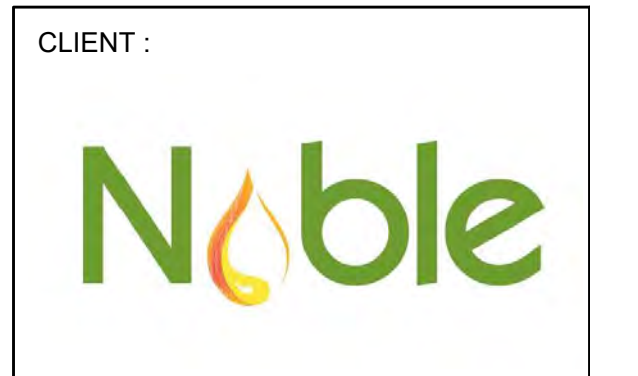
- KEY NOTE NUMBERS ON CANOPY ELEVATIONS DENOTED WITH THIS SYMBOL (#) → CORRESPOND TO THE FOLLOWING ITEMS:
1. SQUARE STEEL CANOPY COLUMN, PAINTED OUTRAGEOUS GREEN, SEMI-GLOSS FINISH #SW6922.
 2. 30" HIGH ALUMINUM CLAD PRE-ENGINEERED STEEL FRAMED CANOPY - PAINTED WHITE IN SATIN FINISH.
 - 2.1. 5" HIGH GREEN BAND PMS# 368C
 - 2.2. 2" HIGH ORANGE BAND PMS# 1655C.
 3. 36" HIGH X 4" DIA. PIPE BOLLARDS PAINTED WHITE ON BASE AND ORANGE ON ROUNDED TOP
 4. FUEL DISPENSERS - TYPE, SIZE AND GRAPHICS - TBD.
 5. 6" HIGH CONCRETE DISPENSER ISLAND.
 6. LED RECESSED CANOPY LIGHT FIXTURE. REFER TO SITE PACKAGE FOR ADDITIONAL INFORMATION.
 7. REINFORCED CONCRETE FOOTING.
 8. MANSARD STYLE CANOPY ROOF WITH ARCHITECTURAL SHINGLES. COLOR TO BE 'FOX HOLLOW GRAY'.
 9. 5'-6" WIDE 'NOBLE' CHANNEL LETTER SIGN CENTERED VERTICALLY ON CANOPY 12" FROM SIDE EDGE. SIGN SF TOTAL = 11 SF.

ELEVATION KEY NOTES

PROJECT NO : NBL-1446



CONSULTANT :



KEY PLAN :

PROJECT LOCATION :

**CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566**

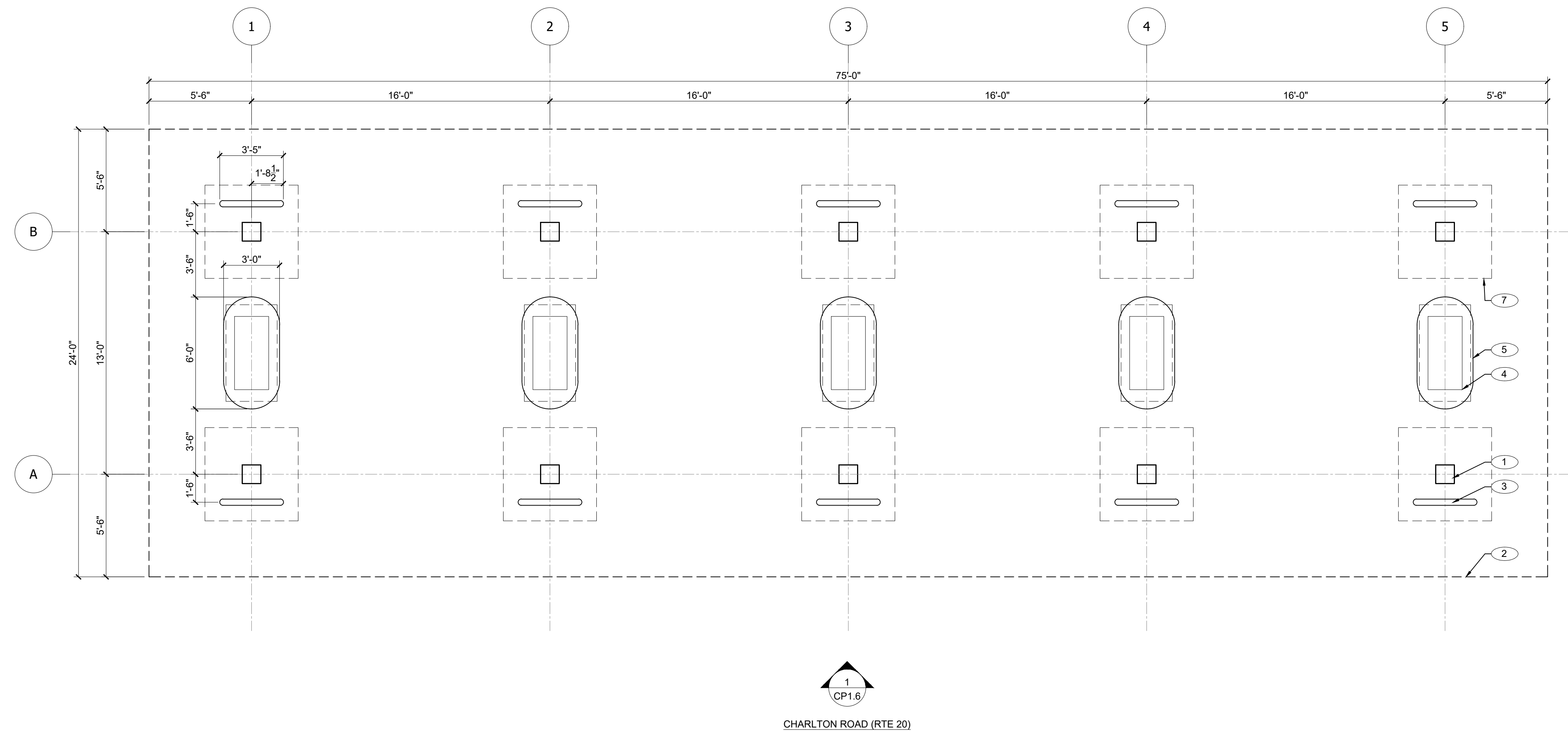
ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1	---
2	DRC COMMENTS
3	05.05.21
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DRAWING NAME :

HIGH SPEED DIESEL CANOPY PLAN & ELEVATION

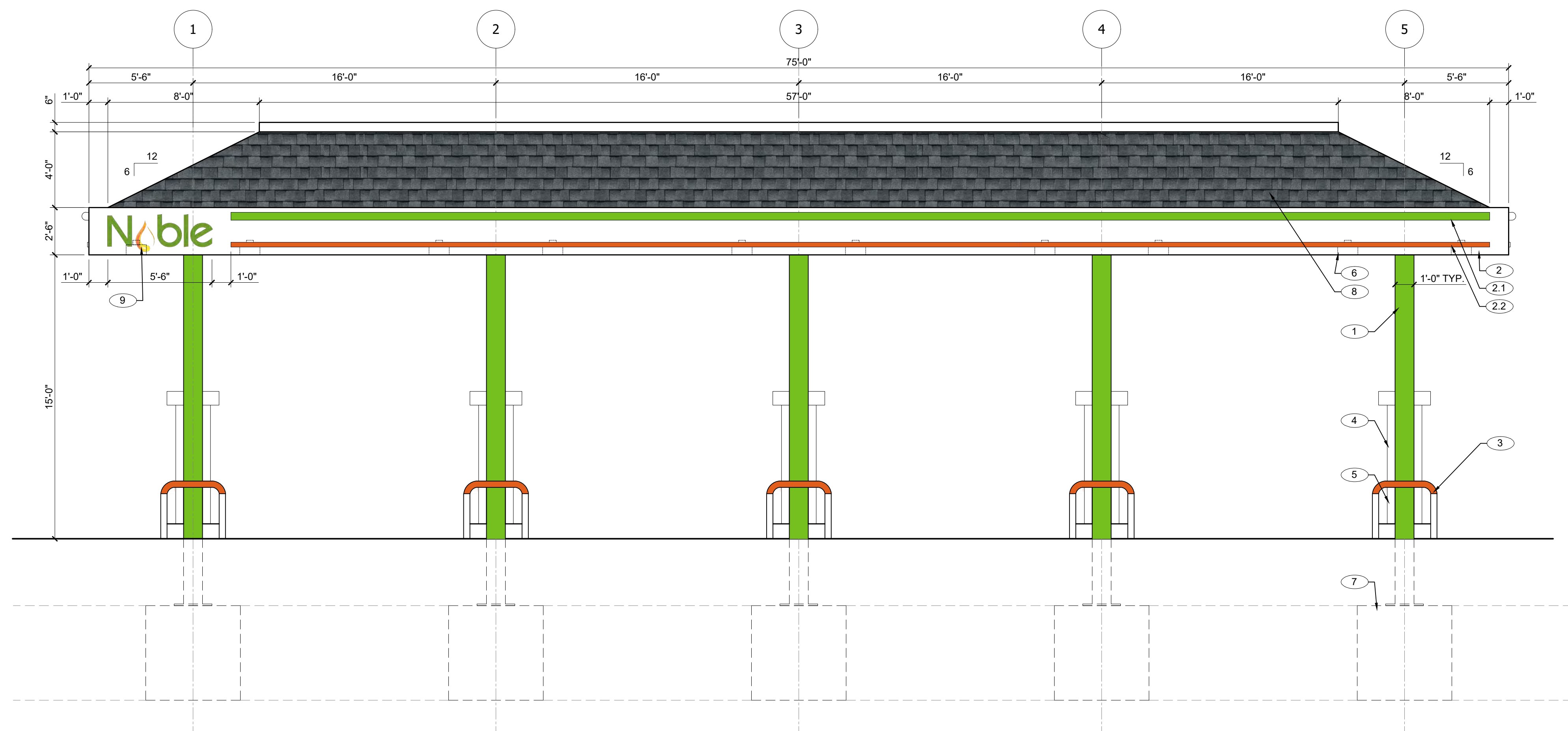
DRAWING NO :

CP1.6



HIGH SPEED DIESEL CANOPY PLAN 1/4" = 1'-0" **A**

- CANOPY INCLUDES (4) HIGH SPEED DIESEL FUELING POSITIONS AND (2) FUTURE SEMI TRUCK ELECTRIC CHARGING STATIONS. REFER TO SITE PLAN.




NORTH WEST ELEVATION 1/4" = 1'-0" **1**

- GREEN BAND / LOGO
PMS #368C
- ORANGE BAND / LOGO
PMS #1655C
- ARCHITECTURAL SHINGLES
FOX HOLLOW GRAY


- KEY NOTE NUMBERS ON CANOPY & SIGN ELEVATIONS DENOTED WITH THIS SYMBOL (#) → CORRESPOND TO THE FOLLOWING ITEMS:
1. SQUARE STEEL CANOPY COLUMN, PAINTED OUTRAGEOUS GREEN, SEMI-GLOSS FINISH #SW6922.
 2. 30" HIGH ALUMINUM CLAD PRE-ENGINEERED STEEL FRAMED CANOPY - PAINTED WHITE IN SATIN FINISH.
 - 2.1. 5" HIGH GREEN BAND PMS# 368C
 - 2.2. 2" HIGH ORANGE BAND PMS# 1655C.
 3. 36" HIGH X 4" DIA. PIPE BOLLARDS PAINTED WHITE ON BASE AND ORANGE ON ROUNDED TOP.
 4. FUEL DISPENSERS - TYPE, SIZE AND GRAPHICS - TBD.
 5. 6" HIGH CONCRETE DISPENSER ISLAND.
 6. LED RECESSED CANOPY LIGHT FIXTURE. REFER TO SITE PACKAGE FOR ADDITIONAL INFORMATION.
 7. REINFORCED CONCRETE FOOTING.
 8. MANSARD STYLE CANOPY ROOF WITH ARCHITECTURAL SHINGLES. COLOR TO BE 'FOX HOLLOW GRAY'.
 9. 5'-6" WIDE 'NOBLE' CHANNEL LETTER SIGN CENTERED VERTICALLY ON CANOPY 12" FROM SIDE EDGE

ELEVATION KEY NOTES

PROJECT NO : NBL-1446

SEAL : 
 DATE :

CONSULTANT :

CLIENT :


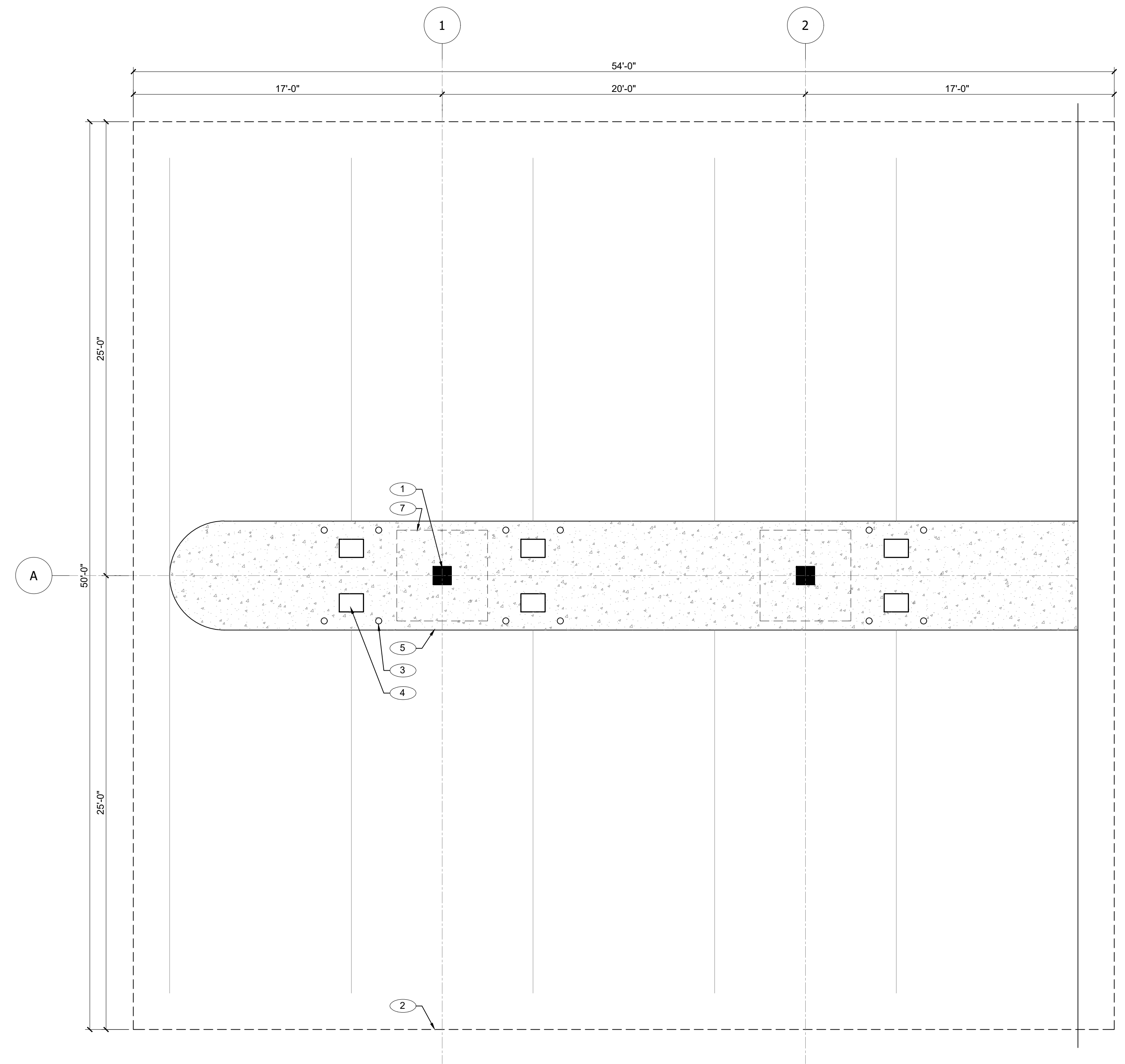
KEY PLAN :

PROJECT LOCATION :
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566

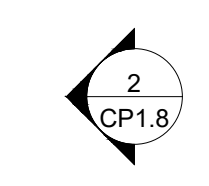
ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1	---
2	DRC COMMENTS 05.05.21
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DRAWING NAME :
ELECTRIC VEHICLE CANOPY PLAN

DRAWING NO :
CP1.7



- CANOPY INCLUDES (6) DOUBLE SIDED ELECTRIC CHARGING STATIONS



ELECTRIC VEHICLE CANOPY PLAN 1/4" = 1'-0" **A**

- KEY NOTE NUMBERS ON CANOPY & SIGN ELEVATIONS DENOTED WITH THIS SYMBOL (#) → CORRESPOND TO THE FOLLOWING ITEMS:
- SQUARE STEEL CANOPY COLUMN, PAINTED OUTRAGEOUS GREEN, SEMI-GLOSS FINISH #SW6922.
 - 30" HIGH ALUMINUM CLAD PRE-ENGINEERED STEEL FRAMED CANOPY - PAINTED WHITE IN SATIN FINISH.
 - 5" HIGH GREEN BAND PMS# 368C
 - 2" HIGH ORANGE BAND PMS# 1655C.
 - 36" HIGH X 4" DIA. PIPE BOLLARDS PAINTED WHITE ON BASE AND ORANGE ON ROUNDED TOP.
 - JUICEBAR GEN 3 400 SERIES - 40A LEVEL 2 CHARGING STATION.
 - 6" HIGH CONCRETE ISLAND.
 - LED RECESSED CANOPY LIGHT FIXTURE. REFER TO SITE PACKAGE FOR ADDITIONAL INFORMATION.
 - REINFORCED CONCRETE FOOTING.

PLAN KEY NOTES

PROJECT NO: NBL-1446


SEAL:



DATE:

CONSULTANT:

CLIENT:



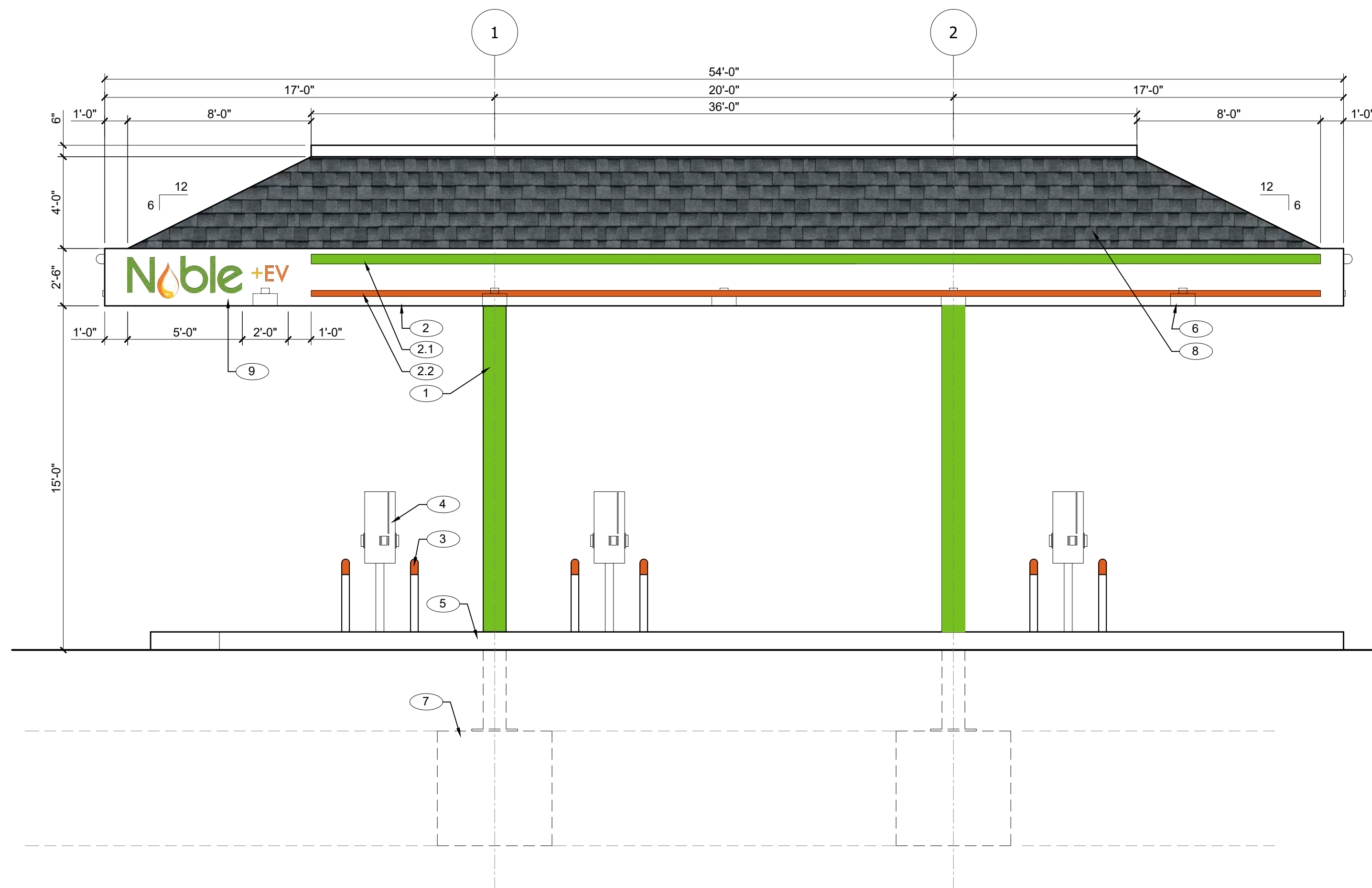
KEY PLAN:

PROJECT LOCATION:
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566

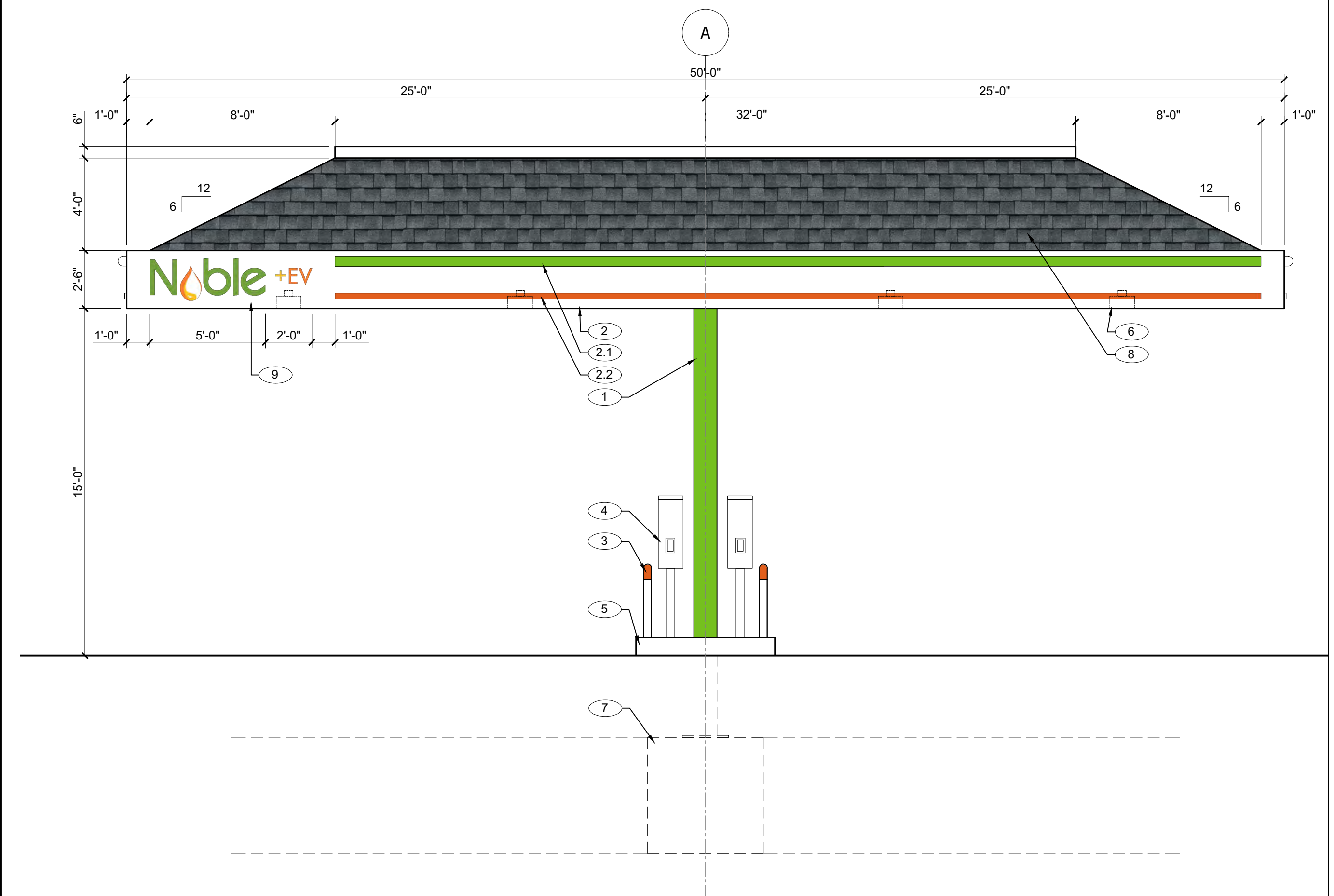
ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1	---
2	DRC COMMENTS 05.05.21
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DRAWING NAME:
**ELECTRIC VEHICLE
 CANOPY
 ELEVATIONS**




DRAWING NO:
CP1.8



NORTH WEST ELEVATION 1/4" = 1'-0" **1**



SOUTH WEST ELEVATION 1/4" = 1'-0" **2**

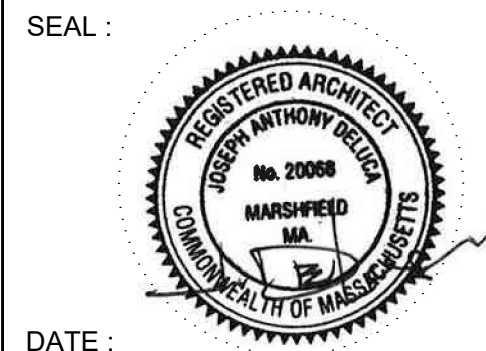
-  - GREEN BAND / LOGO
PMS #368C
-  - ORANGE BAND / LOGO
PMS #1655C
-  - ARCHITECTURAL SHINGLES
FOX HOLLOW GRAY

KEY NOTE NUMBERS ON CANOPY & SIGN ELEVATIONS DENOTED WITH THIS SYMBOL (#) → CORRESPOND TO THE FOLLOWING ITEMS:

1. SQUARE STEEL CANOPY COLUMN, PAINTED OUTRAGEOUS GREEN, SEMI-GLOSS FINISH #SW6922.
2. 30" HIGH ALUMINUM CLAD PRE-ENGINEERED STEEL FRAMED CANOPY - PAINTED WHITE IN SATIN FINISH.
 - 2.1. 5" HIGH GREEN BAND PMS# 368C
 - 2.2. 2" HIGH ORANGE BAND PMS# 1655C.
3. 36" HIGH X 4" DIA. PIPE BOLLARDS PAINTED WHITE ON BASE AND ORANGE ON ROUNDED TOP.
4. JUICEBAR GEN 3 400 SERIES - 40A LEVEL 2 CHARGING STATION.
5. 6" HIGH CONCRETE ISLAND.
6. LED RECESSED CANOPY LIGHT FIXTURE. REFER TO SITE PACKAGE FOR ADDITIONAL INFORMATION.
7. REINFORCED CONCRETE FOOTING.
8. MANSARD STYLE CANOPY ROOF WITH ARCHITECTURAL SHINGLES. COLOR TO BE 'FOX HOLLOW GRAY'.
9. 7'-0" WIDE 'NOBLE EV' CHANNEL LETTER SIGN CENTERED VERTICALLY ON CANOPY 12" FROM SIDE EDGE.

ELEVATION KEY NOTES

PROJECT NO : NBL-1446



DATE :

CONSULTANT :

CLIENT :



KEY PLAN :

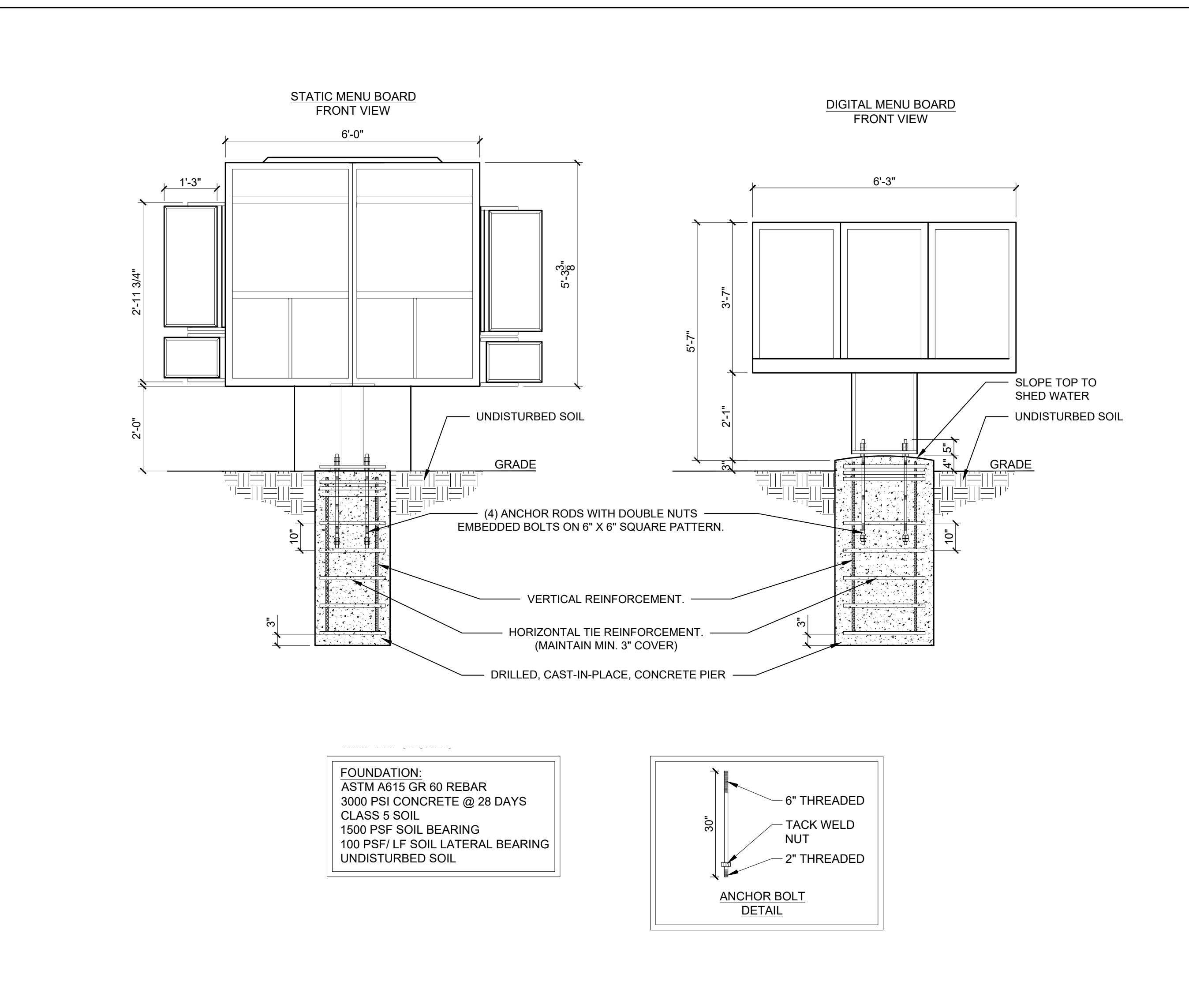
PROJECT LOCATION :
**CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566**

ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 ---	---
2 DRC COMMENTS	05.05.21
3	
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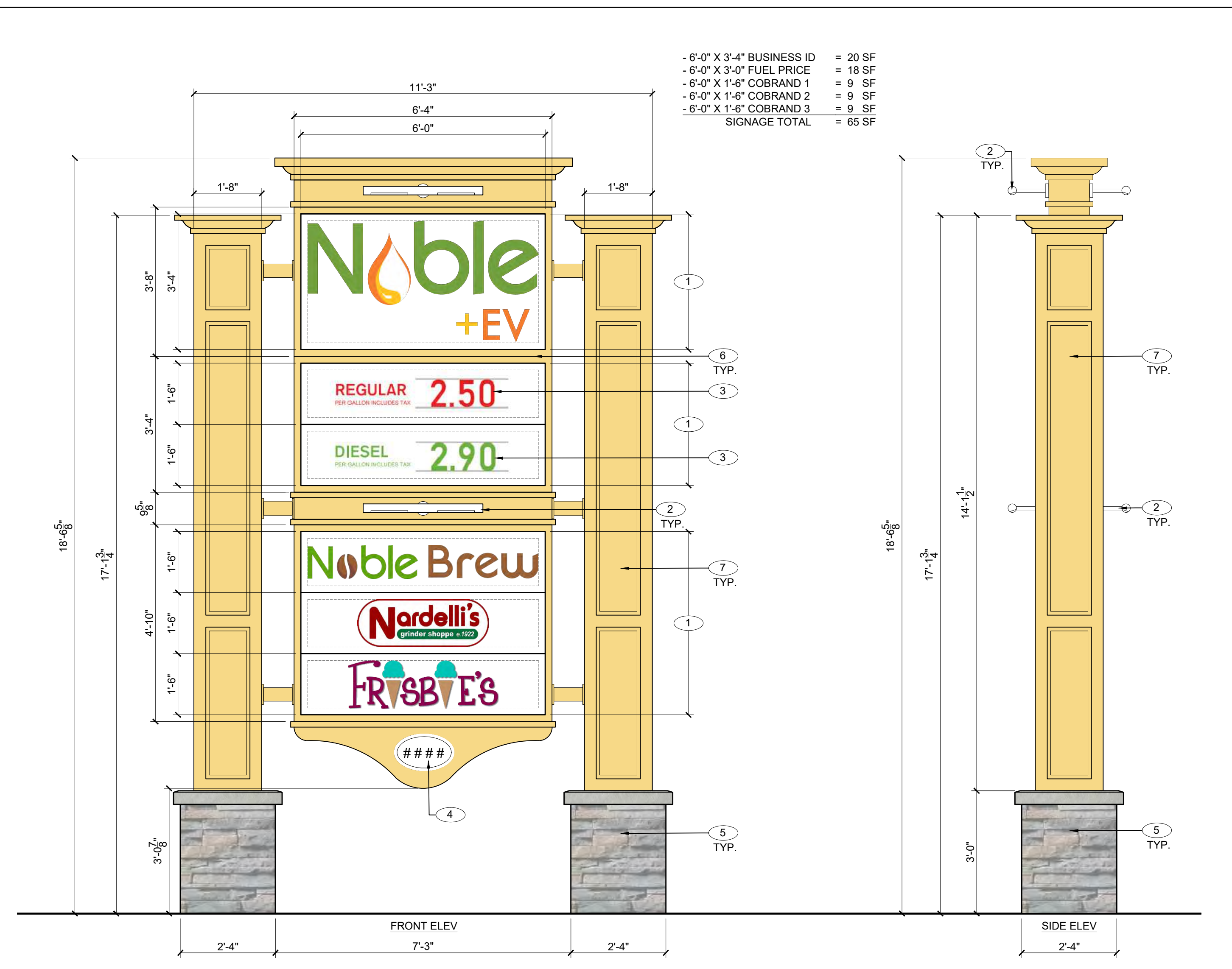
DRAWING NAME :
**PYLON SIGN,
 LIGHTING SPECS &
 DRIVE-THRU MENU BOARD**

DRAWING NO :

CP1.9

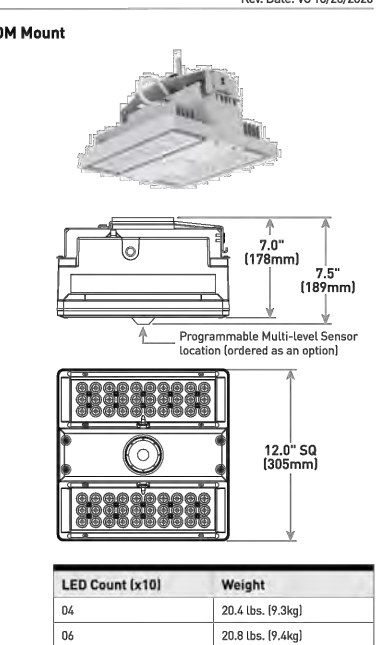


DRIVE-THRU MENU BOARD 1/2" = 1'-0" 2



PYLON SIGN 1/2" = 1'-0" 1

304 Series™
 LED Parking Structure Luminaire
 Product Description
 Performance Summary
 Accessories



NEXUS LG.T SIGN LIGHT
 NEXUS SIGN LIGHT LARGE T-STYLE
 154528Z
 The Nexus LED collection offers a contemporary silhouette that is fully dimmable, with built-in flexibility and a breeze head that rotates 360° for precise adjustments.

FINISH: Bronze
HEIGHT: 31.3"
LIGHT SOURCE: Integrated LED
WATTAGE: 14.5W LED Included

Project:
 Location:
 Fixture Type:
 Catalog Number:
 AVAILABLE FINISHES:

Two If By Sea
 WS-W41925

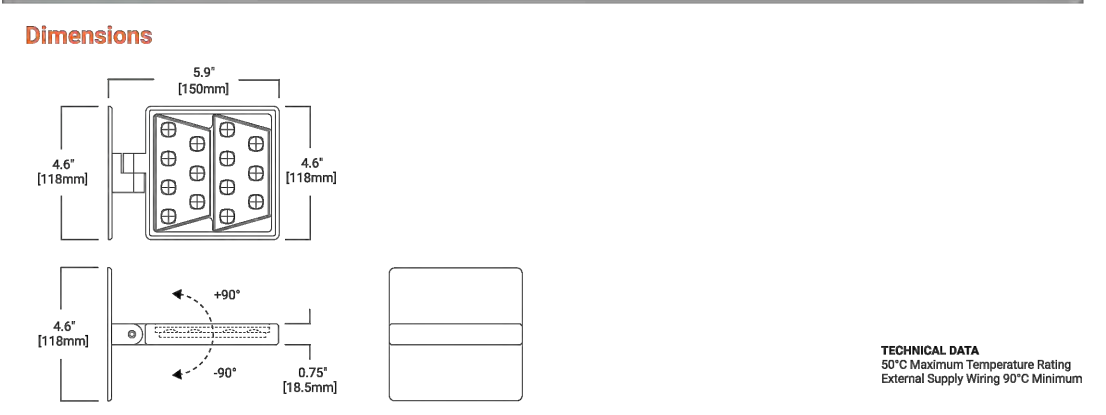
PRODUCT DESCRIPTION
FEATURES
REPLACEMENT PARTS

Project	Catalog #	Type
Proposed by	Revised	Date



Lumiere
EON 303-W1-LEDB2
 Ceiling / Wall Mount
 Direct / Indirect

Top Product Features
 - Adjustable direct or indirect luminaire - 180° Adjustable at knuckle
 - 2700K, 3000K or 3500K or 4000K Color Temperature and Amber (85-595nm)
 - Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens
 - Patented AccuLED Optics™ System
 - Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
 - ELV or 0-10 Dimming



COOPER
 Lighting Solutions

	- GREEN FUEL PUMP GRAPHIC / LOGO PMS #368C
	- ORANGE FUEL PUMP GRAPHIC / LOGO PMS #1655C
	- YELLOW FUEL PUMP GRAPHIC / LOGO PMS #485C
	- FUEL PRICE LETTERING PMS #485C
	- PRO FIT CULTURED STONE VENEER ALPINE LEDGE 'PHEASANT'

KEY NOTE NUMBERS ON ABOVE ELEVATIONS DENOTED WITH THIS SYMBOL # → CORRESPOND TO THE FOLLOWING ITEMS:

- EXTERNALLY ILLUMINATED SIGNAGE WITH 1-1/2" THICK SOLID ACRYLIC CHANNEL LETTERS ON WHITE PVC BACKGROUND. COLOR OF LETTERING SHALL BE THE SAME ON THE FACE AND SIDES.
- SIGN TO BE EXTERNALLY ILLUMINATED WITH HINKLEY LINEAR LED BAR LIGHTS.
- ACRYLIC FUEL PRICE LETTERING - REGULAR COLOR RED PMS 485C, DIESEL COLOR GREEN PMS #368C.
- CHANNEL LETTER ADDRESS ID PLACARD MOUNTED ON DECORATIVE PVC BASE.
- SIGN BASE - PRO FIT CULTURED STONE - 'ALPINE LEDGE' - 'PHEASANT' W/ 3"x5" STONE CAP.
- 2" H PVC DIVIDERS BETWEEN SIGN CABINETS - COLOR TO MATCH BUILDING.
- ARCHITECTURAL GRADE PVC PICTURE FRAMED PANELS - COLOR TO MATCH BUILDING.

ELEVATION KEY NOTES

PROJECT NO : NBL-1446

SEAL :

 DATE :

CONSULTANT :

CLIENT :

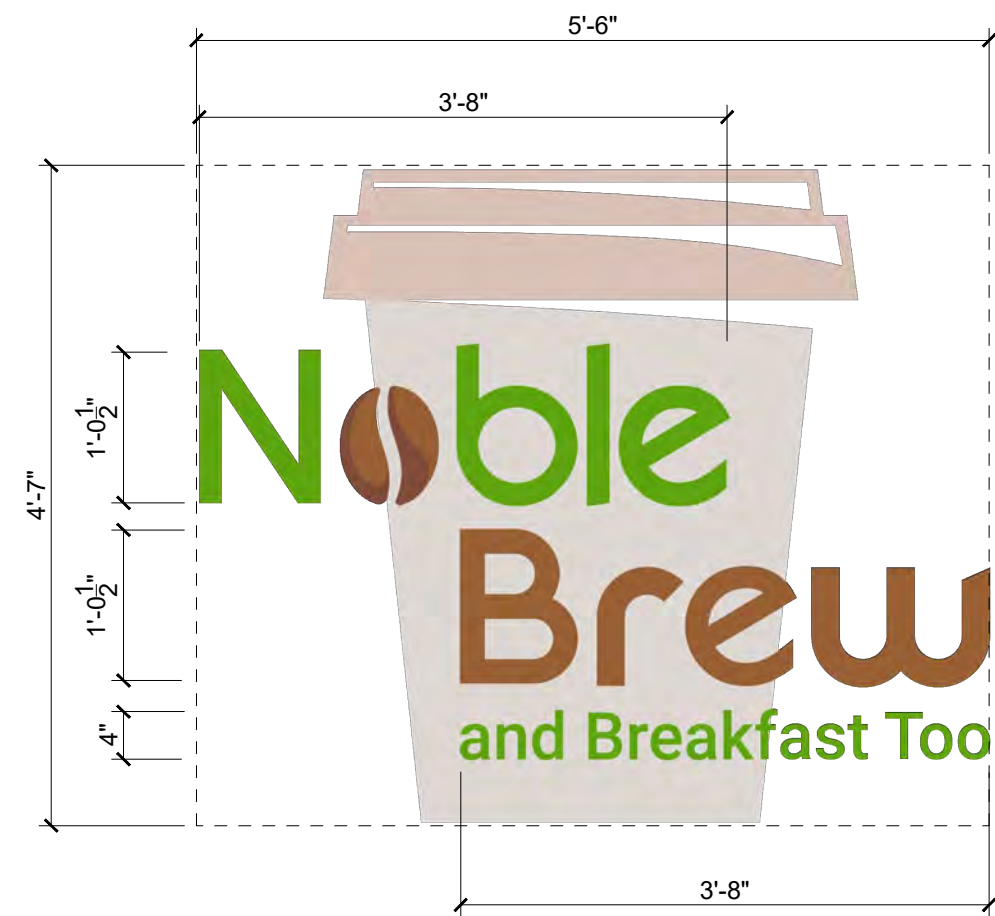

KEY PLAN :

PROJECT LOCATION :
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566

ORIGINAL ISSUE	DATE
ZONING SUBMISSION	03.26.21
REVISIONS & SUBMISSIONS	DATE
1 ---	---
2 DRC COMMENTS	05.05.21
3	
4	
5	
6	
7	
8	

DRAWING NAME :
ENLARGED SIGNAGE

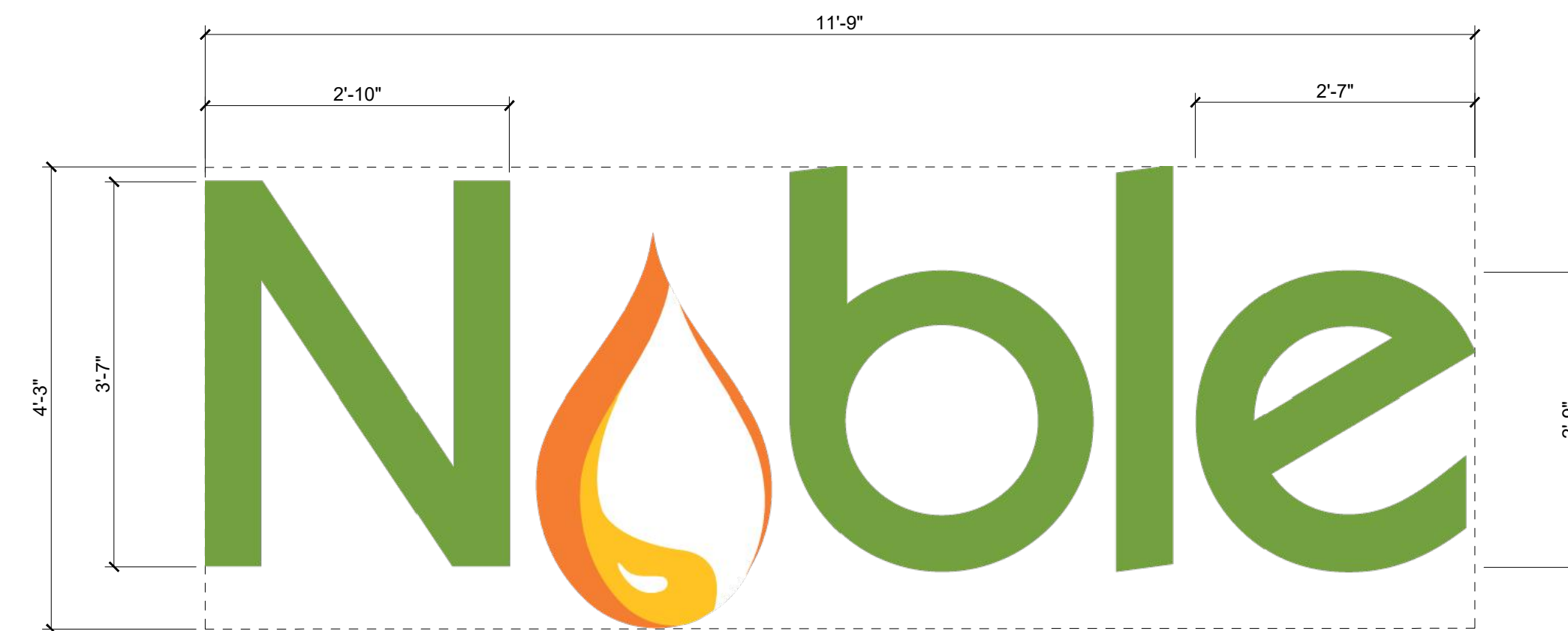
DRAWING NO :
CP1.10



SIGN 1 - NOBLE BREW ID SIGN 3/4" = 1'-0" **A**



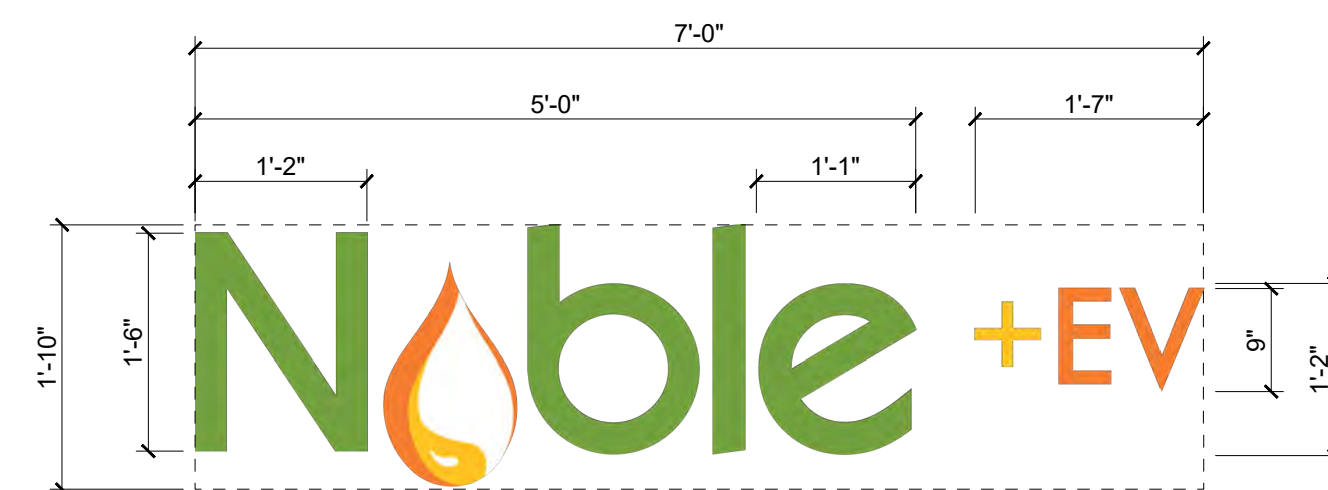
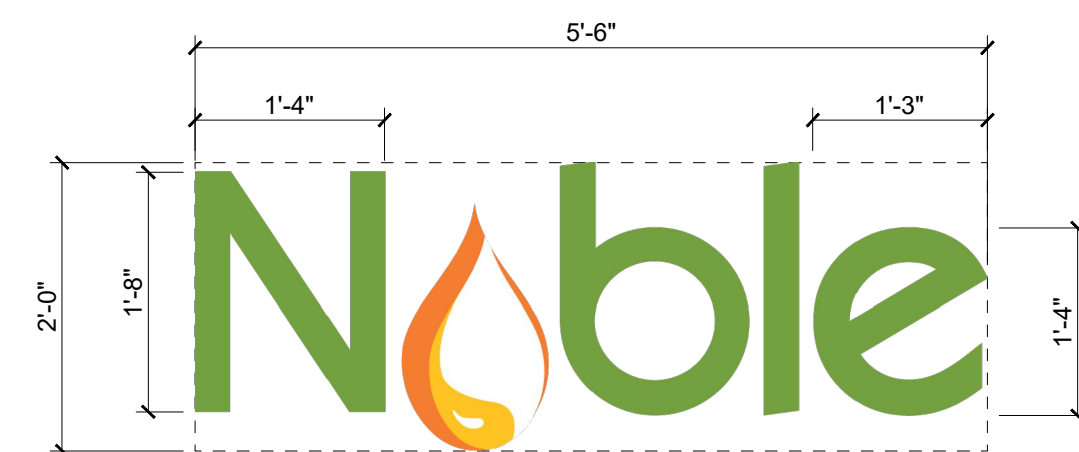
SIGN 2 - NARDELLI'S ID SIGN 3/4" = 1'-0" **B**



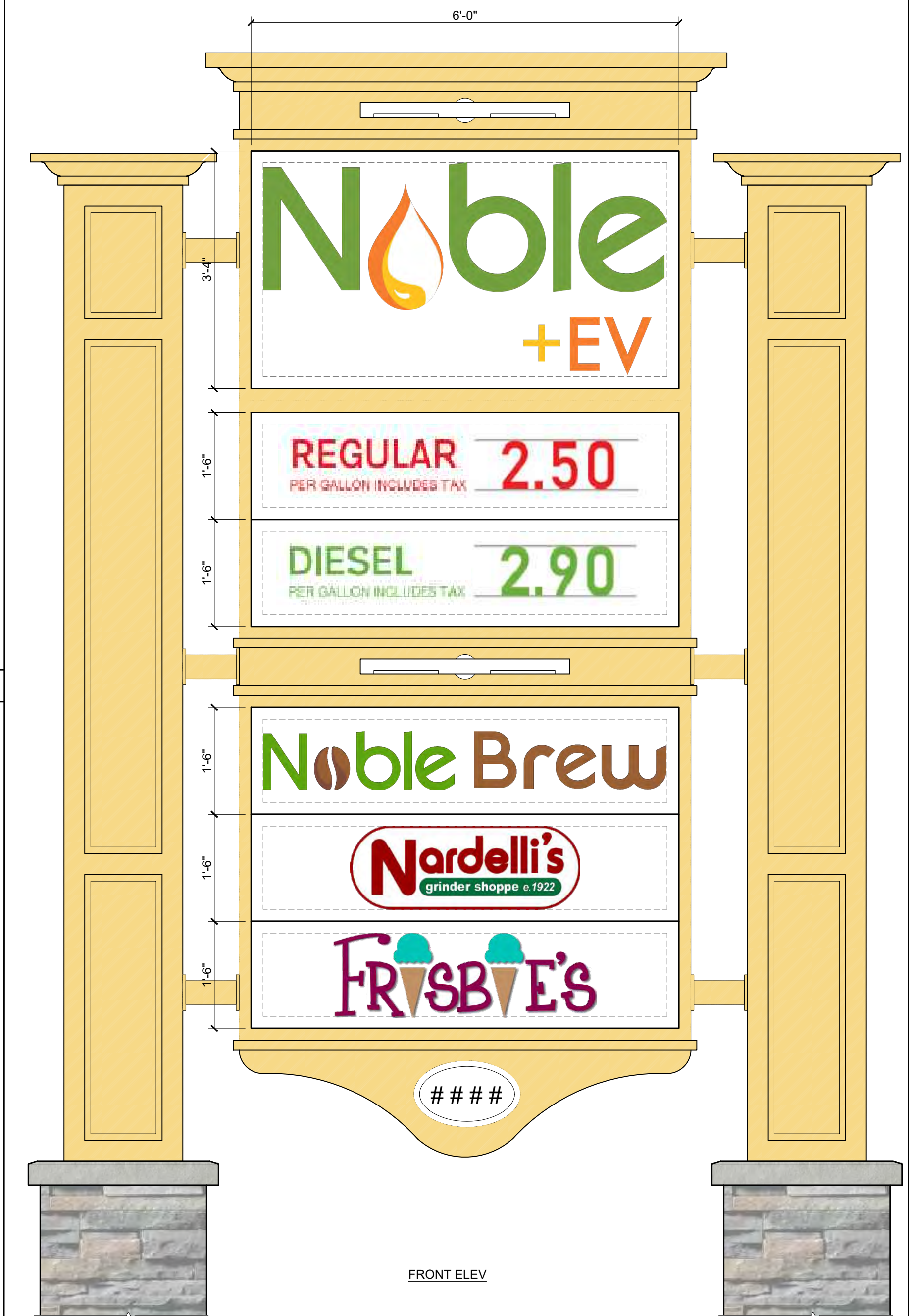
SIGN 3 - NOBLE ENERGY ID SIGN 3/4" = 1'-0" **C**



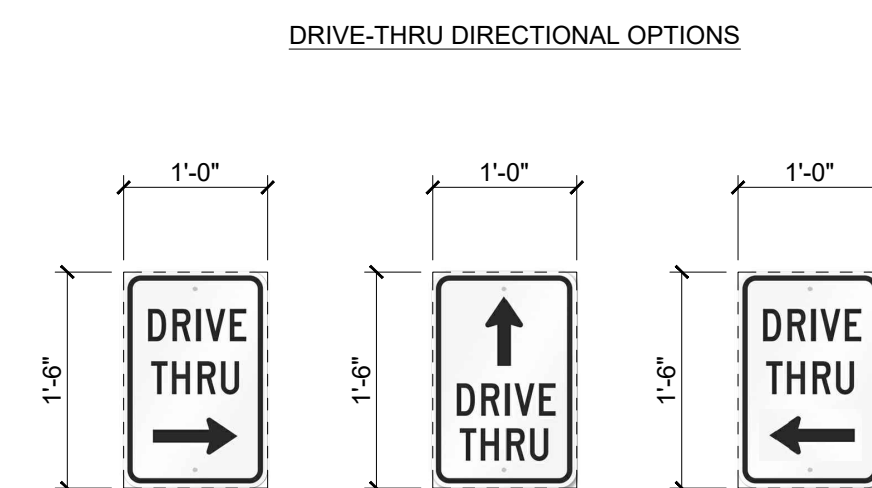
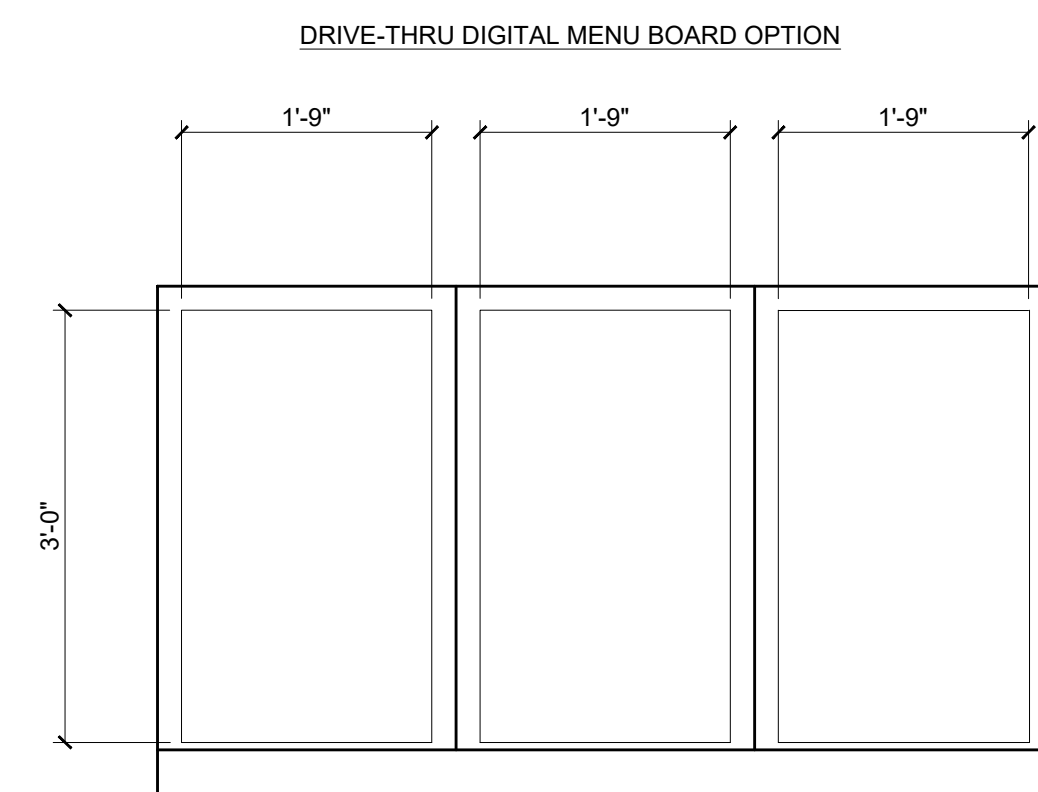
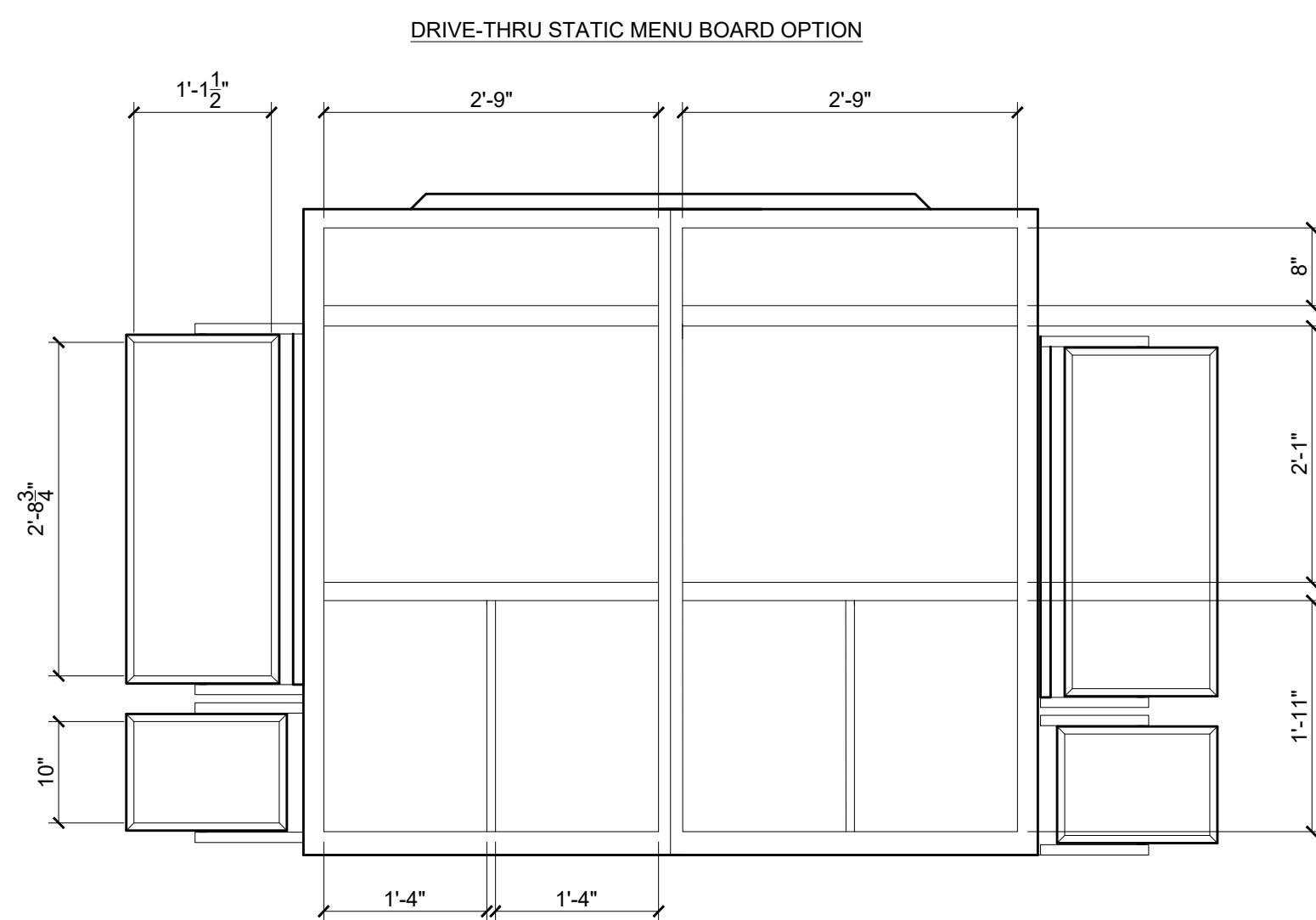
SIGN 4 - FRISBIE'S DAIRY BARN ID SIGN 3/4" = 1'-0" **D**



SIGN 5 - NOBLE ENERGY CANOPY SIGNS 3/4" = 1'-0" **E**



SIGN 6 - NOBLE ENERGY PYLON SIGN 3/4" = 1'-0" **F**



SIGN 7 - DRIVE-THRU MENU BOARD 3/4" = 1'-0" **G**

SIGN 8 - DRIVE-THRU DIRECT. SIGN 3/4" = 1'-0" **H**

SIGN 7 - DRIVE-THRU MENU BOARD 3/4" = 1'-0" **G**

SIGN 8 - DRIVE-THRU DIRECT. SIGN 3/4" = 1'-0" **H**

SIGN 6 - NOBLE ENERGY PYLON SIGN 3/4" = 1'-0" **F**

PROJECT NO : NBL-1446

SEAL :

 DATE :

CONSULTANT :

CLIENT :


KEY PLAN :

PROJECT LOCATION :
 CHARLTON ROAD
 (ROUTE 20)
 STURBRIDGE, MA
 01566

ORIGINAL ISSUE	DATE
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REVISIONS & SUBMISSIONS	DATE
1 TOWN COMMENTS	04.20.21
2 DRC COMMENTS	05.05.21
3	
4	
5	
6	
7	
8	

DRAWING NAME :
RENDERED VIEWS

DRAWING NO :
CP1.11



FRONT VIEW AT FRISBIE'S



FRONT VIEW AT NARDELLI'S



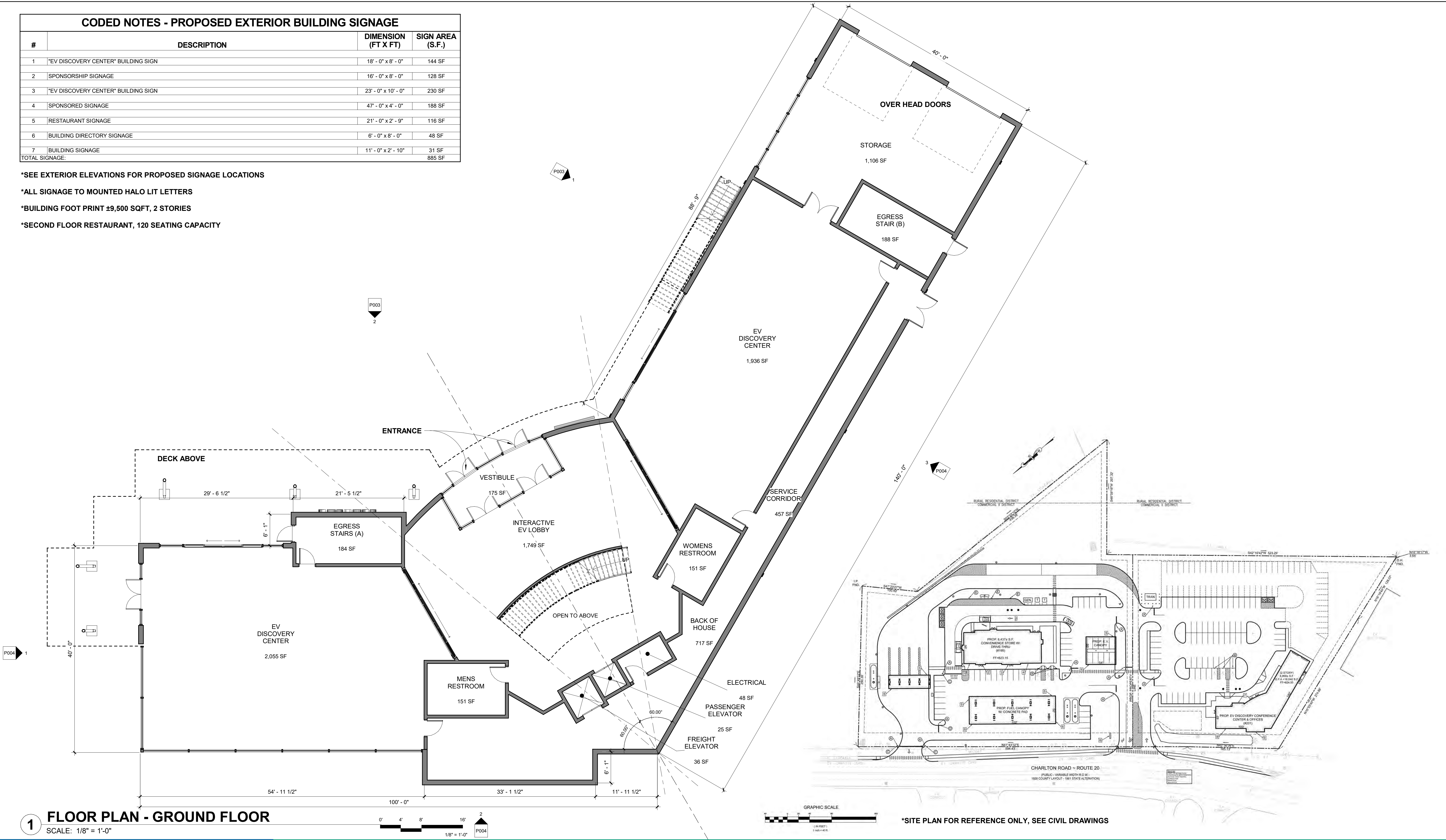
PATIO VIEW FROM PARKING



PATIO VIEW AT FRISBIE'S

CODED NOTES - PROPOSED EXTERIOR BUILDING SIGNAGE			
#	DESCRIPTION	DIMENSION (FT X FT)	SIGN AREA (S.F.)
1	"EV DISCOVERY CENTER" BUILDING SIGN	18' - 0" x 8' - 0"	144 SF
2	SPONSORSHIP SIGNAGE	16' - 0" x 8' - 0"	128 SF
3	"EV DISCOVERY CENTER" BUILDING SIGN	23' - 0" x 10' - 0"	230 SF
4	SPONSORED SIGNAGE	47' - 0" x 4' - 0"	188 SF
5	RESTAURANT SIGNAGE	21' - 0" x 2' - 9"	116 SF
6	BUILDING DIRECTORY SIGNAGE	6' - 0" x 8' - 0"	48 SF
7	BUILDING SIGNAGE	11' - 0" x 2' - 10"	31 SF
TOTAL SIGNAGE:			885 SF

- *SEE EXTERIOR ELEVATIONS FOR PROPOSED SIGNAGE LOCATIONS
- *ALL SIGNAGE TO MOUNTED HALO LIT LETTERS
- *BUILDING FOOT PRINT ±9,500 SQFT, 2 STORIES
- *SECOND FLOOR RESTAURANT, 120 SEATING CAPACITY



1 FLOOR PLAN - GROUND FLOOR
SCALE: 1/8" = 1'-0"

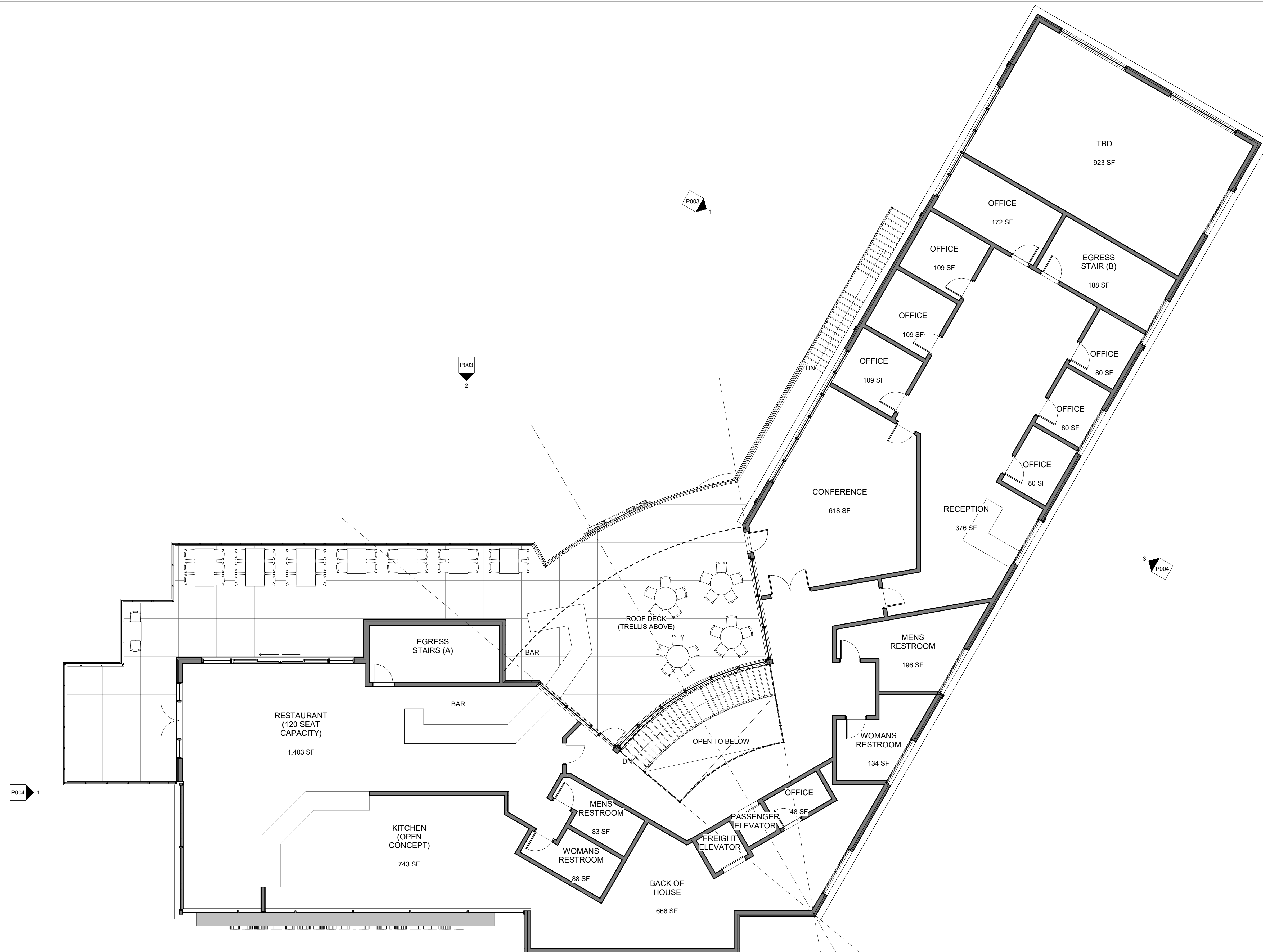


8 WILCOX STREET
SIMSBURY, CT 06070
P: 860.264.1624
www.phasezerodesign.com

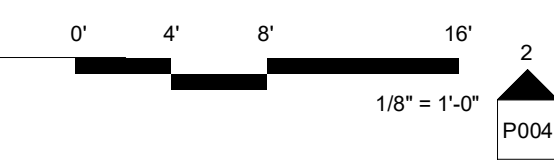
NOBLE ENERGY REAL ESTATE HOLDINGS

EV DISCOVERY CENTER

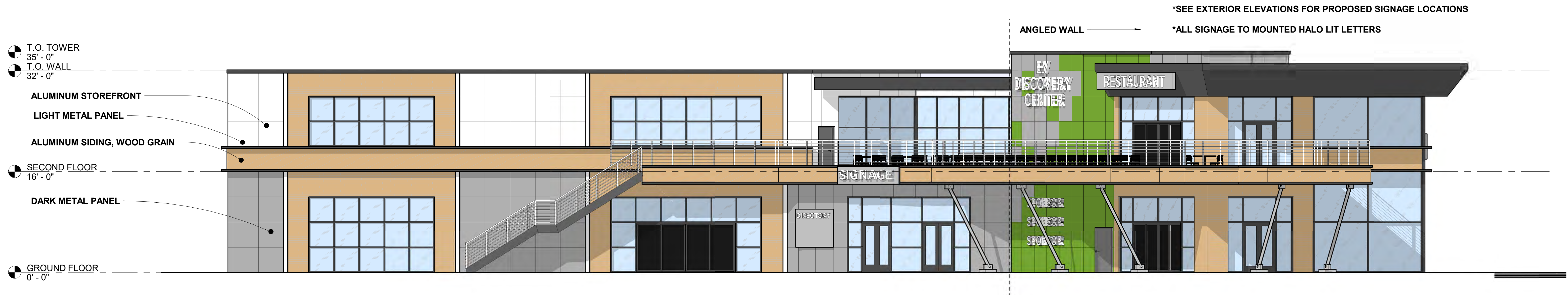
LOCATION: CHARLTON RD,
STURBRIDGE, MA 01566
DATE: 4.20.2021



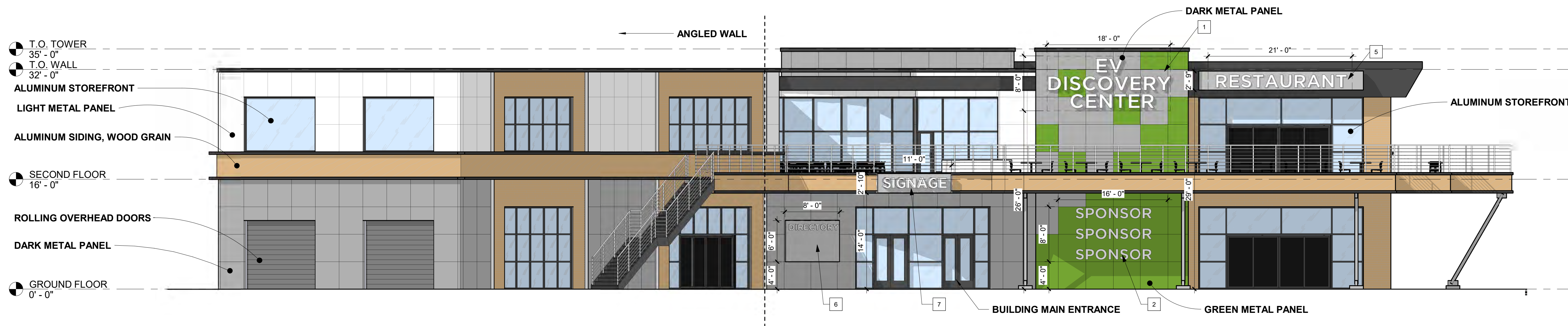
1 FLOOR PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"



CODED NOTES - PROPOSED EXTERIOR BUILDING SIGNAGE			
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TOTAL SIGNAGE:			885 SF



1 EXTERIOR ELEVATION - NORTH (FACING PARKING) (2)
SCALE: 1/8" = 1'-0"

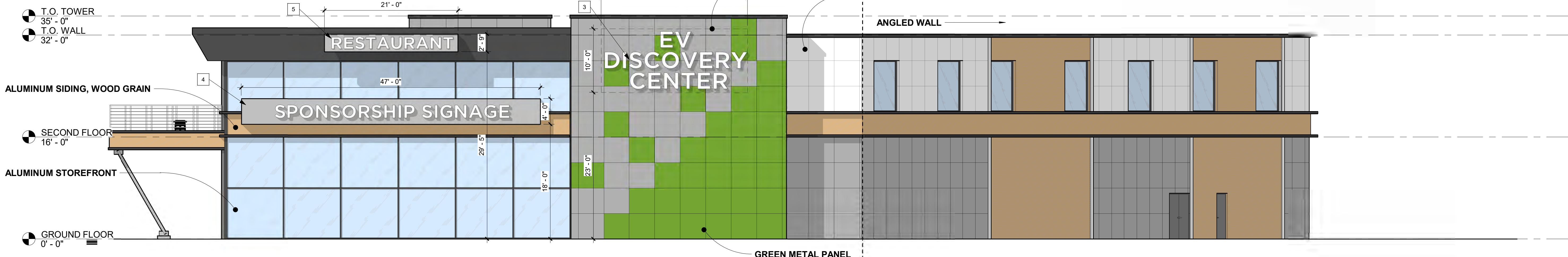


2 EXTERIOR ELEVATION - NORTH (FACING PARKING)
SCALE: 1/8" = 1'-0"



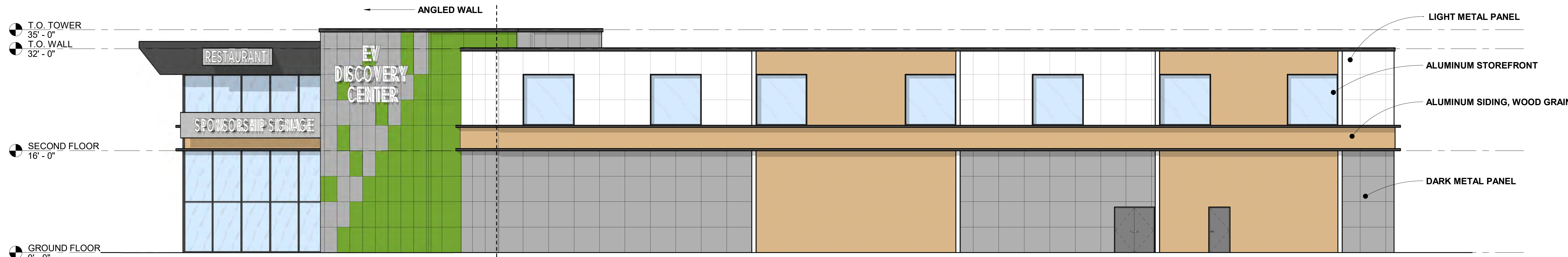
1 EXTERIOR ELEVATION - WEST

SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH (FACING CHARLTON RD)

SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH (2)

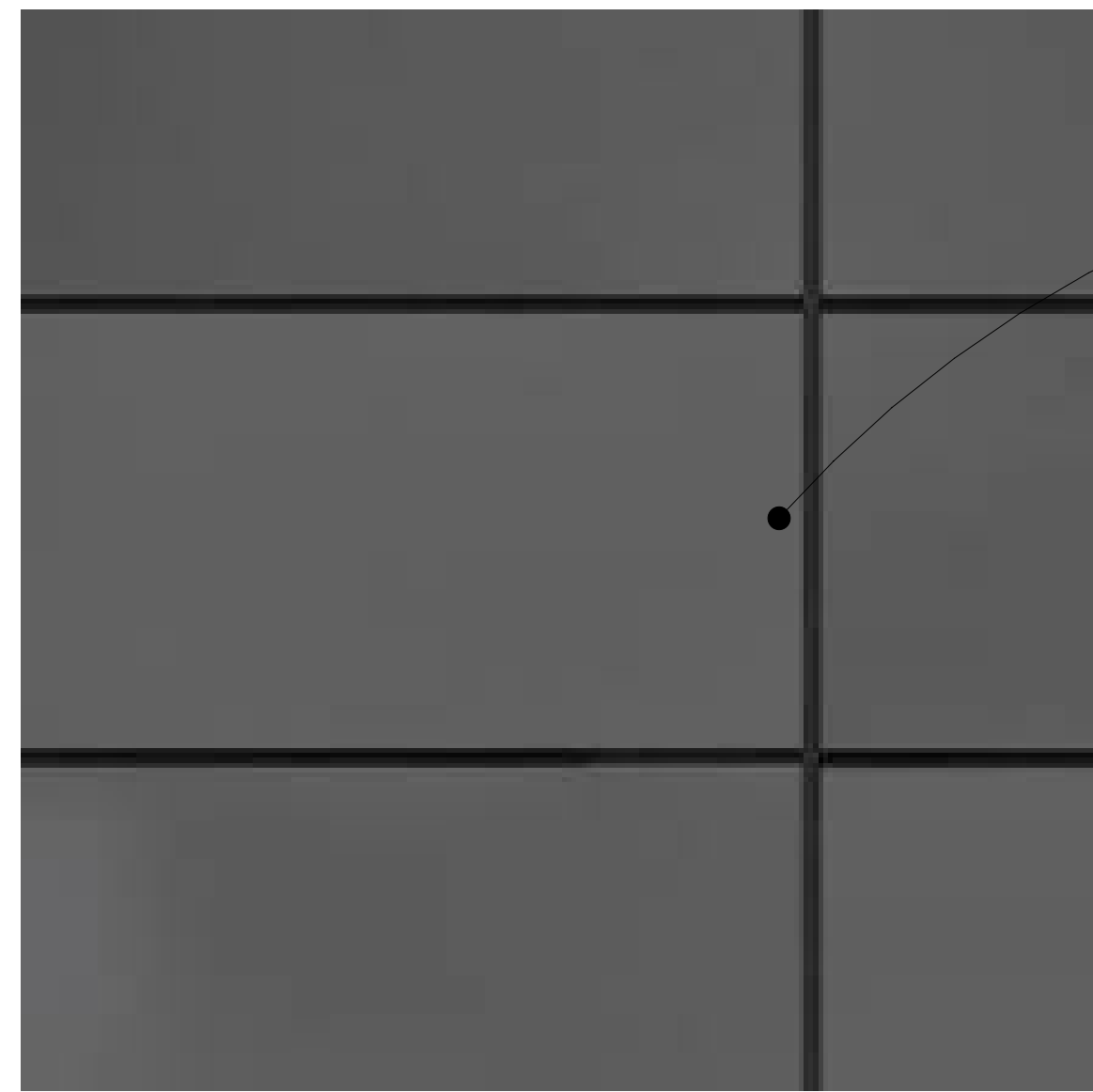
SCALE: 1/8" = 1'-0"

CODED NOTES - PROPOSED EXTERIOR BUILDING SIGNAGE			
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TOTAL SIGNAGE:			885 SF

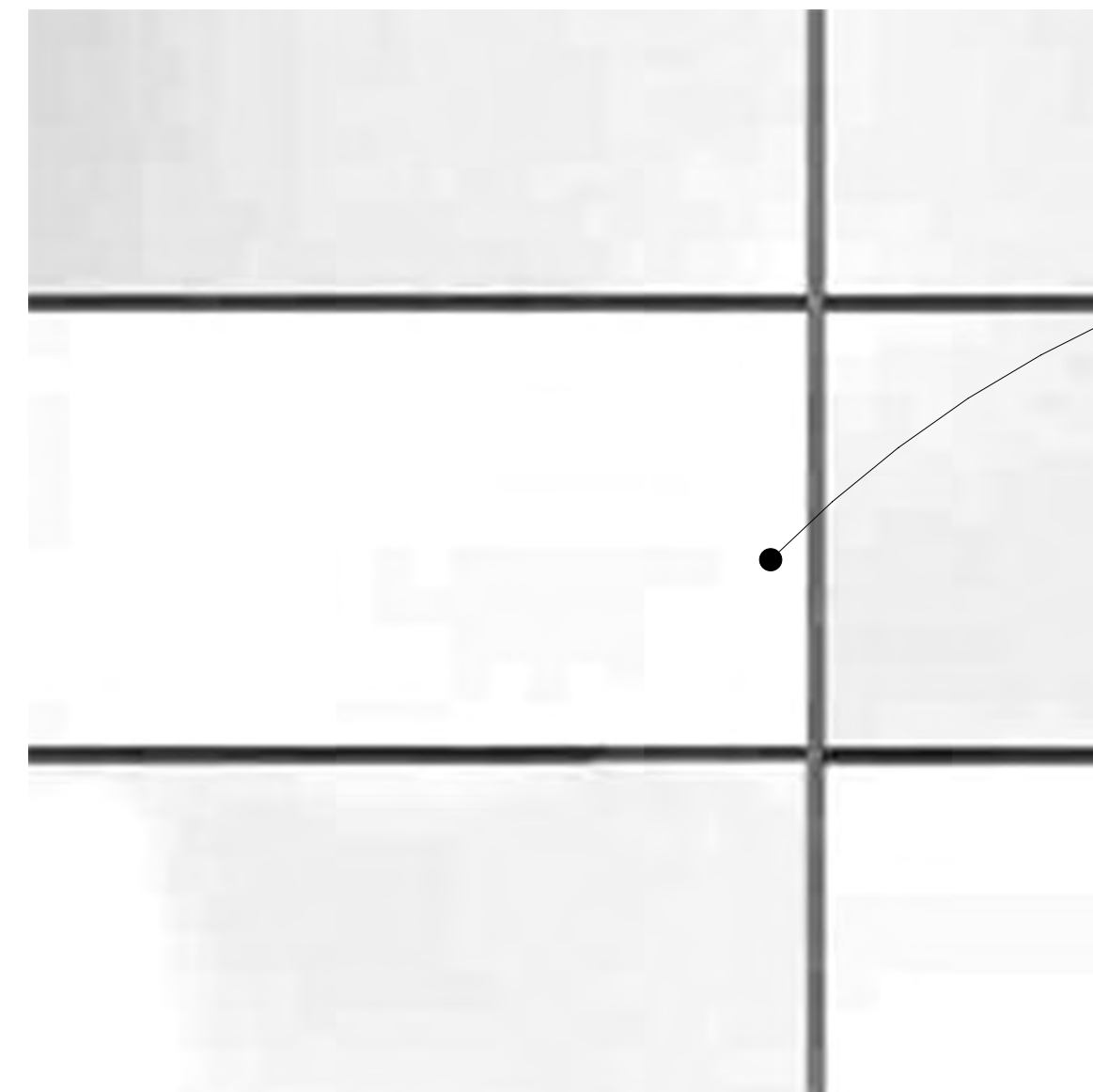
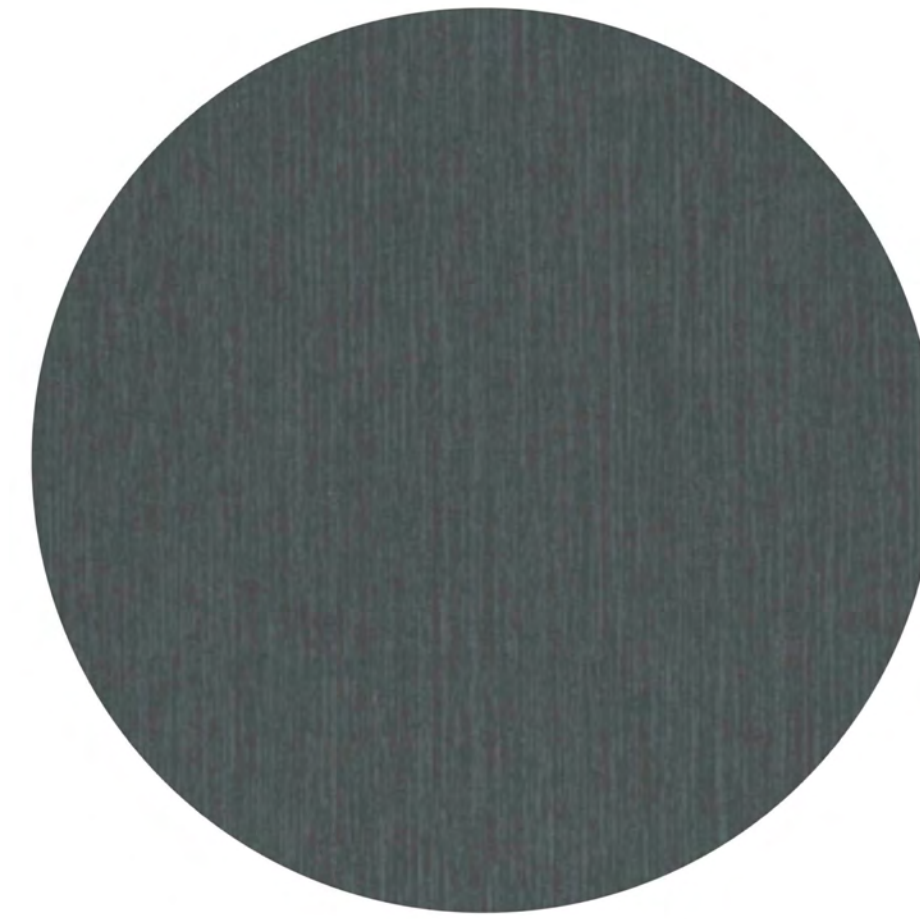
*SEE EXTERIOR ELEVATIONS FOR PROPOSED SIGNAGE LOCATIONS

*ALL SIGNAGE TO MOUNTED HALO LIT LETTERS

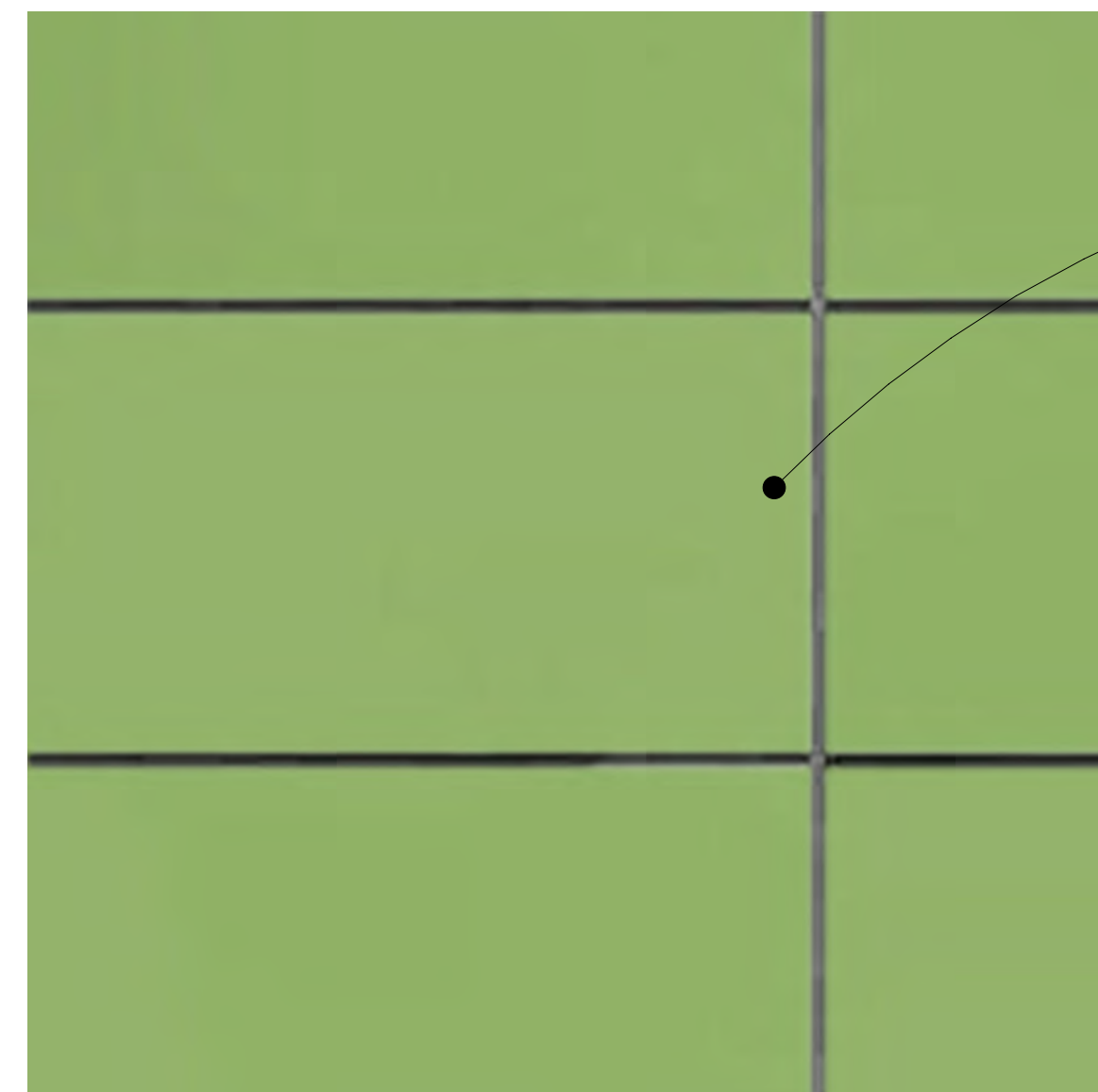
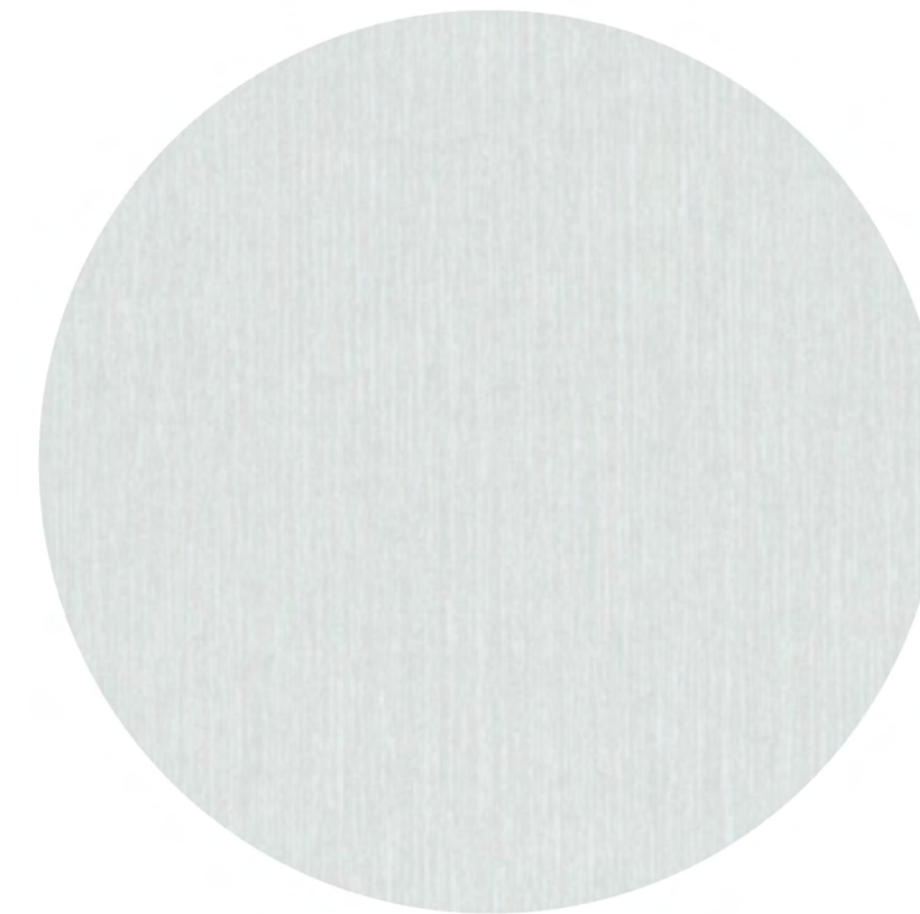
EXTERIOR MATERIALS LIST



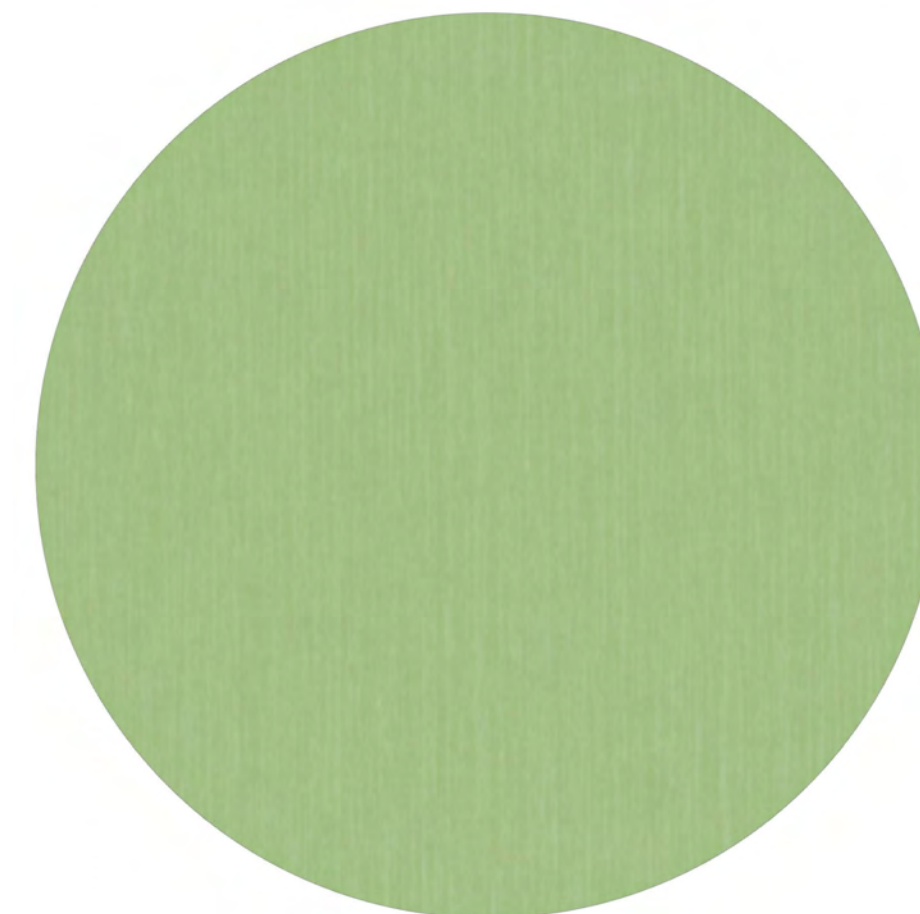
1) - DARK METAL PANEL



2) - LIGHT METAL PANEL



3) - GREEN METAL PANEL



4) - ALUMINUM SIDING, WOOD GRAIN



5) - ALUMINUM STOREFRONT

