

RESERVED FOR USE BY THE REGISTRY OF DEEDS

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

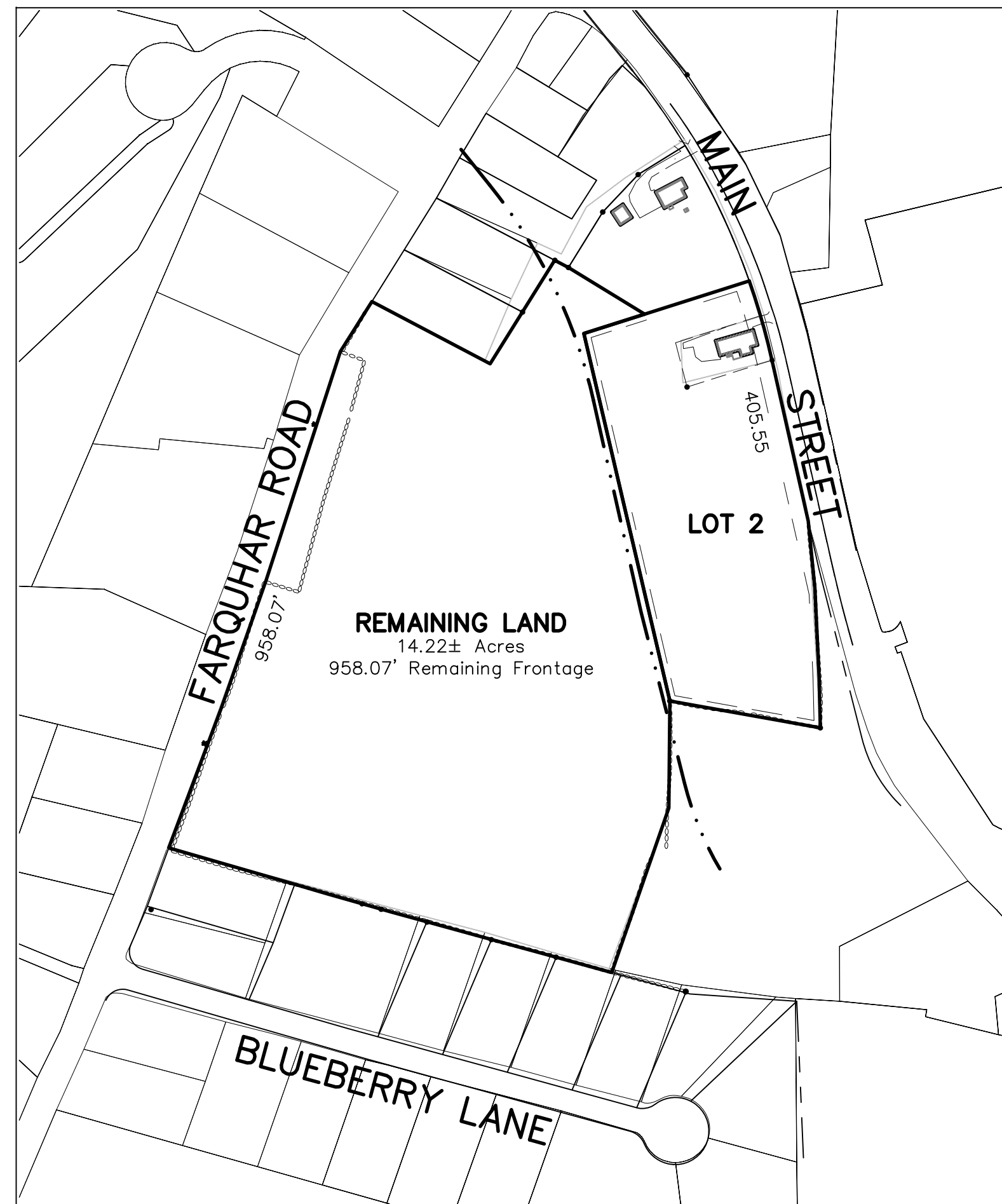
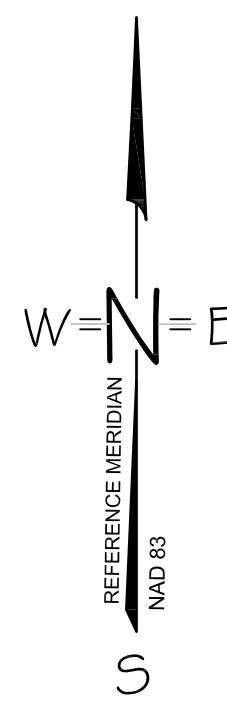
I HEREBY CERTIFY THAT THIS IS A TRUE PLAN BASED ON FIELD SURVEYS AND THE LATEST DEEDS AND PLANS OF RECORD AND THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

JEREMY S. CROTEAU

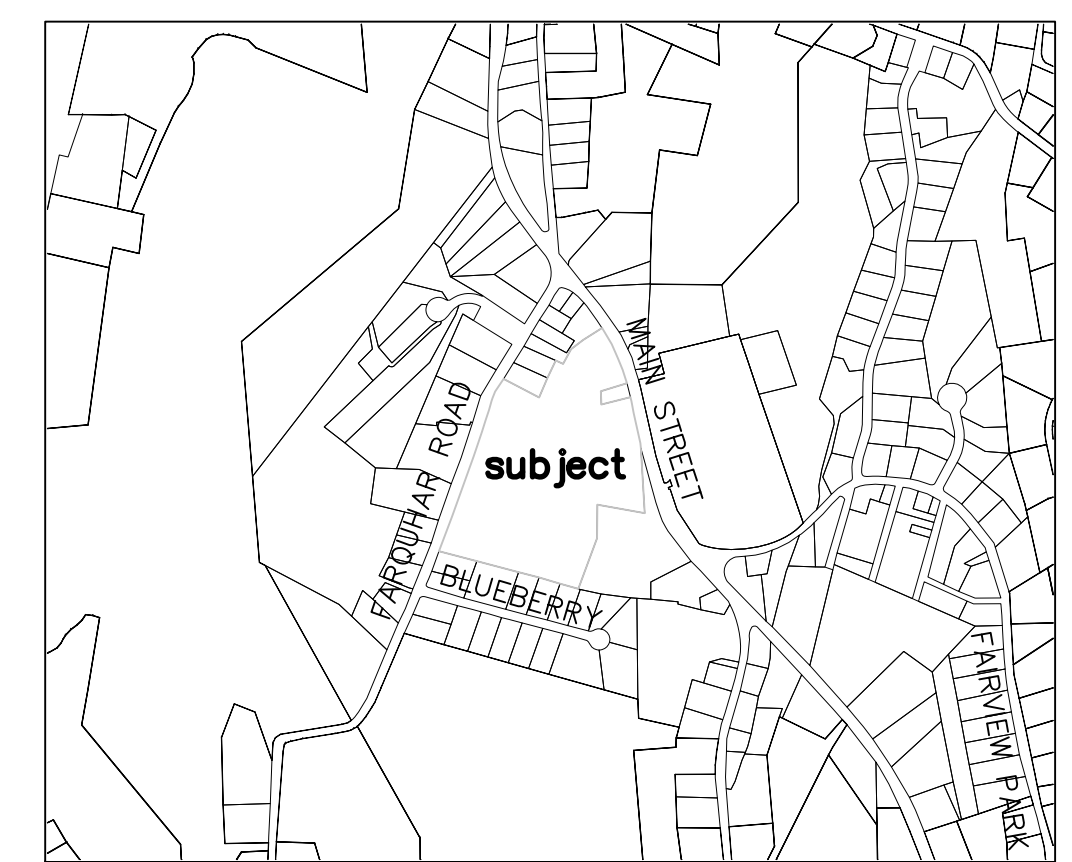
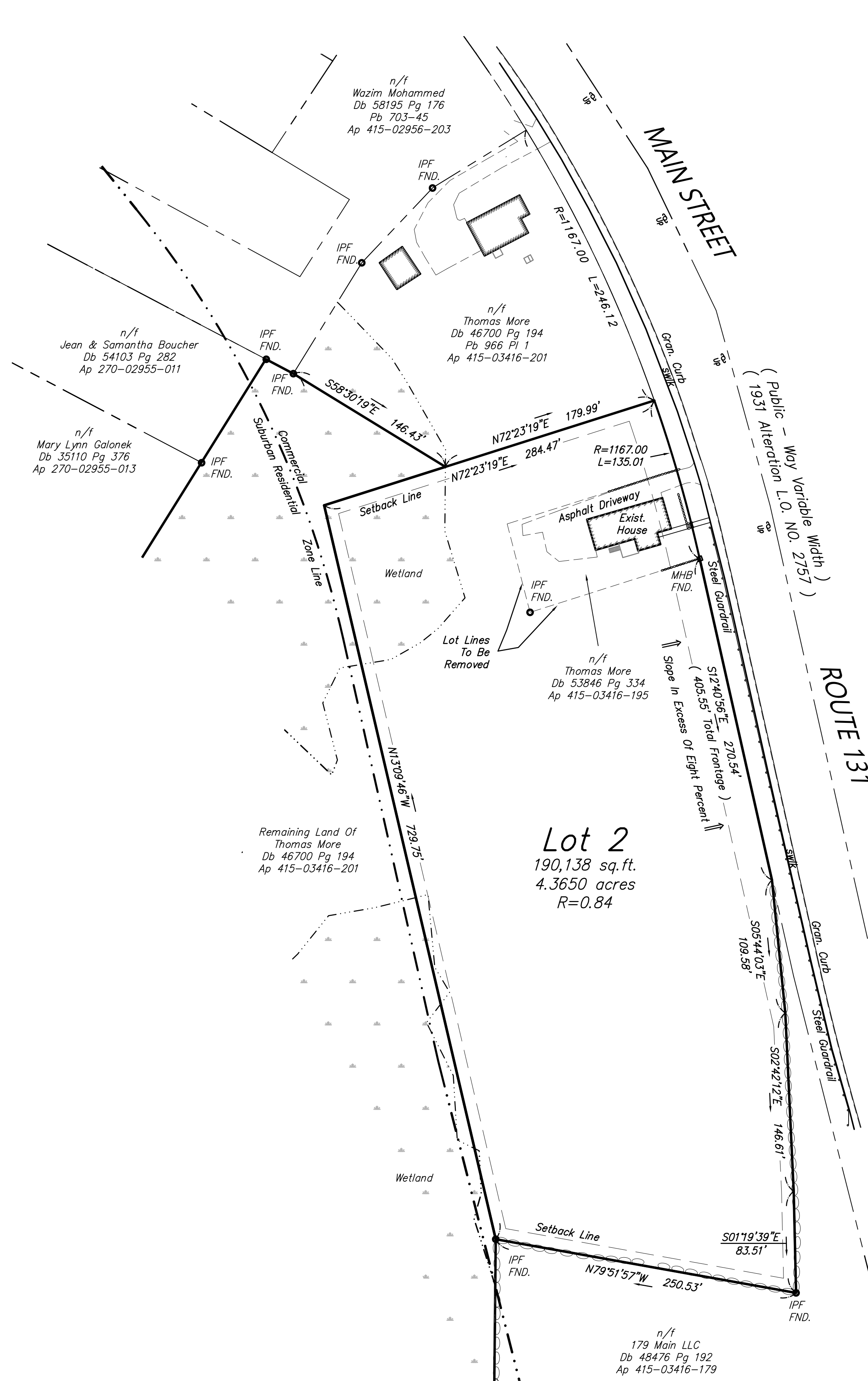
DATE

P.L.S. #48722

THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY AND ALL RIGHTS AND ENCUMBRANCES THAT SUCH A REPORT MAY DISCLOSE.



REMAINING LAND LOCUS
SCALE: 1"=200'



LOT LOCUS
SCALE: 1"=1000'

RECORD OWNERS

THOMAS M. MORE
DB 46700 PG 194
201 MAIN STREET
STURBRIDGE, MA

THOMAS M. MORE
DB 53846 PG 334
195 MAIN STREET
STURBRIDGE, MA

TAX MAP REFERENCES:

TAX MAP PARCEL ID: 415-02956-201

PLAN REFERENCES:

(WORCESTER COUNTY REGISTRY OF DEEDS)

PLAN BOOK 703 PLAN 45
PLAN BOOK 296 PLAN 116
1931 ALTERATION LAYOUT NO. 2757
1997 ALTERATION LAYOUT NO. 7367
2009 ALTERATION LAYOUT NO. 8136

ZONING REQUIREMENTS

ZONE - COMMERCIAL	ZONE - SUBURBAN RESIDENTIAL
AREA - 1 ACRE	AREA - 3/4 ACRE
FRONTAGE - 150'	FRONTAGE - 125'
FRONT - 25 FT.	FRONT - 30 FT.
SIDE - 10 FT.	SIDE - 15 FT.
REAR - 10 FT.	REAR - 15 FT.

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CREATE LOT 2 OUT OF LAND OWNED BY THOMAS MORE.
2. BOUNDARIES SHOWN ARE THE RESULTS OF AN ACTUAL FIELD SURVEY BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AGREEMENTS, AND RIGHTS AND ENCUMBRANCES OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
3. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. DIG SAFE SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
5. HORIZONTAL DATUM BASED ON NAD 83, VIA GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS). THE GEOGRAPHIC AND STATE PLANE COORDINATES CONTAINED HEREON WERE THE RESULTS OF A SURVEY USING R.T.K. DUAL FREQUENCY G.P.S./G.N.S.S. RECEIVERS AND HAVING A POSITIONAL TOLERANCE LESS THAN 2 CM AT THE 95% CONFIDENCE LEVEL. REFERENCE MONUMENTS PROVIDED BY MULTIPLE LEICA SMARTNET VIRTUAL BASE STATIONS.
5. BY GEOGRAPHICAL PLOTTING ONLY THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. # 25027C0951E, WITH AN EFFECTIVE DATE OF JULY 4, 2011.
6. WETLANDS SHOWN HEREON WERE FLAGGED BY ECOTEC INC.
7. ABUTTERS NAMES ARE IN RESPECT TO THE LATEST ASSESSORS RECORDS AVAILABLE.

PLANNING BOARD APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED M.G.L. CHAPTER 41 SECTION 81P

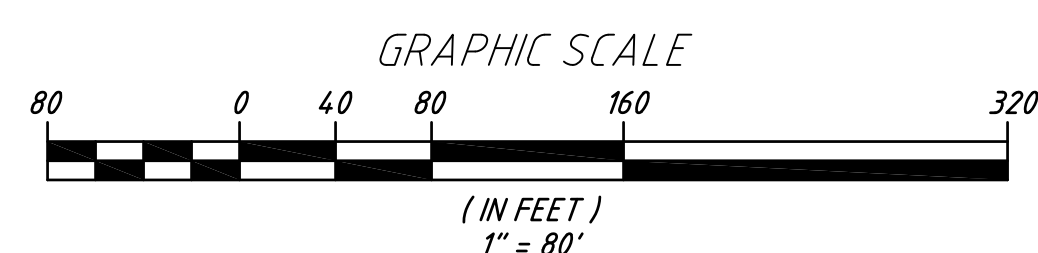
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"NO DETERMINATION OF COMPLIANCE WITH ZONING REQUIREMENTS HAS BEEN MADE OR INTENDED"

"ENDORSEMENT BY THE PLANNING BOARD DOES NOT GUARANTEE THAT ANY OF THE LOTS SHOWN ON THIS PLAN ARE BUILDABLE LOTS"

SYMBOL KEY

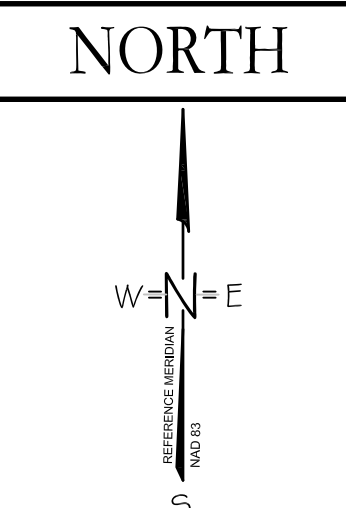
BOUND	□	IRON ROD FOUND	IRF
IRON PIPE	○	IRON PIPE FOUND	IPF
IRON ROD W/ CAP	◐	BOUND FOUND	BNDF
DRILL HOLE	●	RAIL ROAD SPIKE	RRSPK
DRAIN MANHOLE	⊙	DRILL HOLE FOUND	DHF
CATCH BASIN	⊕	FUND	FND.
WETLAND FLAG	▨	BITUMINOUS	BIT.
UTILITY POLE	⊥	CONCRETE	CONC.
GUY WIRE	—	BOLLARD	BOL.
ELECTRIC MANHOLE	⊕	UTILITY POLE	UP
FIRE HYDRANT	⊕	GUY WIRE	GUY
WATER GATE	⊕		



NO.	DATE	REVISION	BY

JASON D. DUBOIS, P.E.
PROFESSIONAL ENGINEER
M.A.L.C. NO.: 48724

JEREMY S. CROTEAU, P.L.S.
PROFESSIONAL LAND SURVEYOR
L.I.C. NO.: 48722



ANR PLAN OF LAND

SITE ADDRESS:
195 Main Street
Sturbridge, Ma

CLIENT:
Thomas More
201 Main Street
Sturbridge, Ma

DRAWN BY: JSC
CK'D BY: JDD
DATE: 8-29-22
PROJECT #: 21-151

REV #:
0
SCALE: 1"=80'
DWG. NO.: 2

DOC ENGINEERING & SURVEY INC.
32 GRANBERRY WOODS RD
CHARLTON, MA
800-789-8889
800-347-2127