

# DEFINITIVE SITE PLAN at 150 CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA

1.) PROPERTY LINES/SITE FEATURES ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC.

2.) ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE TOWN OF STURBRIDGE'S DEPARTMENT OF PUBLIC WORKS & PARKS STANDARD SPECIFICATIONS & DETAILS, UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER.

3.) THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.

4.) UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX.

5.) THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.

6.) DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING SOON AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED BY WEIGHTED SNOW FENCE, CHICKEN WIRE MESH OR JUTE NETTING WITH STAPLES. SEED FOR PERMANENT GRASS COVER SHOULD BE ACCORDING TO SOIL CONSERVATION SERVICE GUIDELINES FOR SOIL AND MOISTURE CONDITIONS FOUND ON THE SITE.

7.) SEDIMENTATION CONTROL FENCE AND/OR STRAW BALES SHALL BE MAINTAINED UNTIL ALL SLOPES HAVE BEEN STABILIZED AND THERE IS NO DANGER OF EROSION DIRECTLY ONTO ABUTTING PROPERTIES.

8.) PRIOR TO INITIATING CONSTRUCTION, SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED. THE CONTRACTOR SHALL MAINTAIN THE DEVICES UNTIL ALL WORK IS COMPLETE AND ALL AREAS HAVE BEEN STABILIZED.

9.) IF THE PROPOSED ROADWAY AREAS ARE NOT PAVED IMMEDIATELY AFTER THE INSTALLATION OF THE DRAINAGE STRUCTURES, HAY BALES SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.

10.) THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE BASED ON FIELD AND RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF STRUCTURES AND UTILITIES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. PRIOR TO, AND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE LOCAL UTILITY COMPANIES, WITH THE TOWN OF STURBRIDGE'S HIGHWAY DEPARTMENT, OTHER TOWN UTILITY DEPARTMENTS, APPLICABLE PRIVATELY OWNED UTILITY COMPANIES AND DIG-SAFE (1-888-344-7233) TO VERIFY UTILITY LOCATION AND TO PROTECT UTILITIES DURING AND AFTER CONSTRUCTION.

11.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.

12.) THE CONTRACTOR SHALL PROVIDE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE TOWN OF STURBRIDGE REQUIREMENTS.

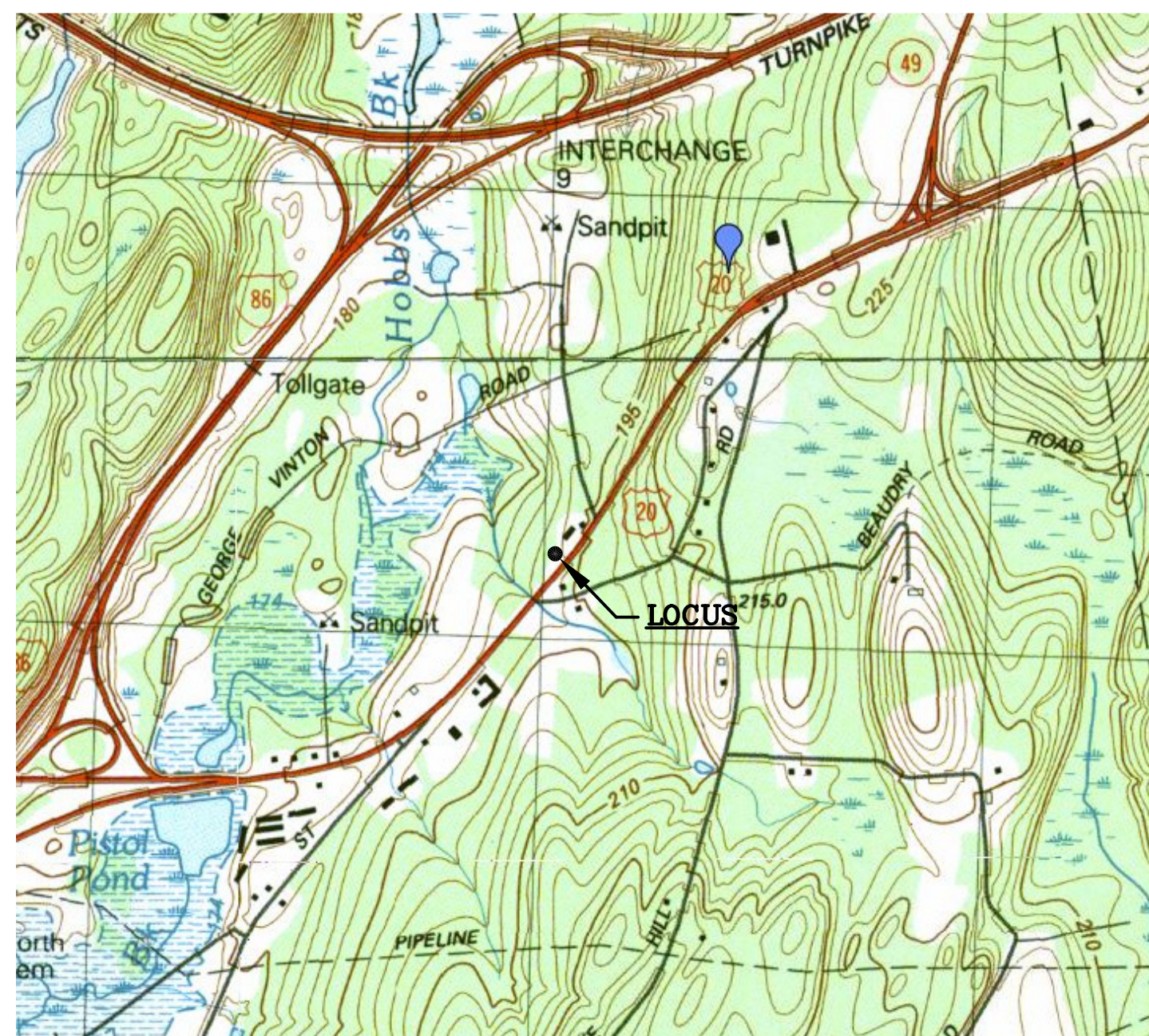
13.) NO TRENCHES SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.

14.) ALL POTABLE WATER AND SANITARY BUILDING SERVICE CONNECTIONS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF TEN FEET.

15.) TREE WORK MUST BE COMPLETED BY COMPANIES HOLDING CURRENT COMPLIANCE AGREEMENTS WITH THE MASSACHUSETTS LONGHORNED BEETLE ERADICATION PROJECT. ANY COMPANY CAN BECOME COMPLIANT BY ATTENDING A TRAINING SESSION AT THE PROGRAM OFFICE IN WORCESTER, MA.



**DIG SAFE NOTE:**  
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EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.



**LOCUS MAP**  
1" = 2000'

**LIST OF DRAWINGS:**

SHEET - 1	COVER SHEET
SHEET - 2	EXISTING CONDITIONS
SHEET - 3	LAYOUT & MATERIALS PLAN
SHEET - 4	GRADING PLAN
SHEET - 5	UTILITY & DRAINAGE PLAN
SHEET - 6	EROSION & SEDIMENTATION CONTROL PLAN
SHEET - 7	LANDSCAPE PLAN
SHEET - 8	LIGHTING PLAN
SHEET - 9	CONSTRUCTION DETAIL SHEET#1
SHEET - 10	CONSTRUCTION DETAIL SHEET#2
SHEET - 11	CONSTRUCTION DETAIL SHEET#3

ZONING DISTRICT:	INDUSTRIAL PARK	REQUIRED	PROVIDED
MINIMUM AREA:		87,120 S.F. (2 Ac.)	269,200 S.F. (6.18 Ac.)
MINIMUM FRONTAGE:		300'	406'
MINIMUM SET BACK			
FRONT:		60'	163'
SIDE:		30'	47'
REAR:		30'	70'
MAXIMUM LOT COVERAGE:		33%	3%
MAXIMUM IMPERVIOUS AREA		70%	17.5%
MAXIMUM BUILDING HEIGHT		35'	<35'

**PLAN NOTES:**

- PLAN BOOK 187 PLAN 21
- PLAN BOOK 799 PLAN 121
- PLAN BOOK 562 PLAN 14
- PLAN BOOK 631 PLAN 29

**PLAN NOTES:**

- TOPOGRAPHY SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC. IN OCTOBER & NOVEMBER 2020.
- THE BORDERING VEGETATED WETLANDS SHOWN WERE FLAGGED BY GLENN KREVOISKY OF EBT ENVIRONMENTAL CONSULTANTS, INC. IN OCTOBER 2020 AND LOCATED BY MEANS OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC. IN NOVEMBER 2020.
- VERTICAL DATUM IS MASS STATE PLANE NGVD88.
- THE LOCUS PROPERTY IS LOCATED IN A ZONE X AREA OF MINIMAL FLOODING. SEE FLOOD FIRM MAP 25027C 0768 E, PANEL 768 OF 1075, DATED JULY 4, 2011.
- LANDSCAPE & LIGHTING PLANS (SHEETS 7 & 8) PROVIDED BY McCARTY COMPANIES, LEOMINSTER, MA.

**APPLICANT:**

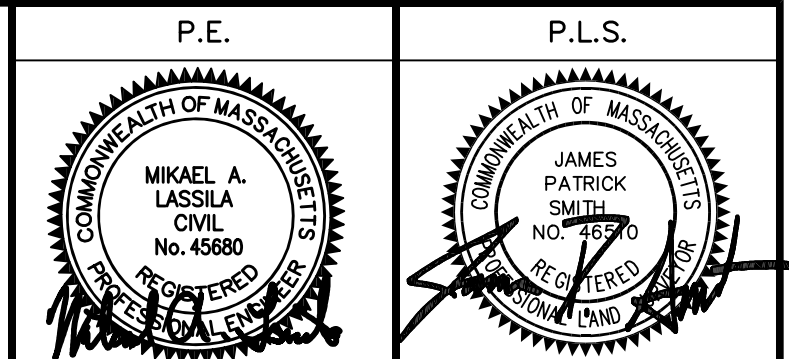
COBRA REALTY TRUST  
MICHAEL CIESLA & MELVYN GLICKMAN  
14 HARVARD STREET  
WORCESTER, MA

**OWNERS:**

COBRA REALTY TRUST  
MICHAEL CIESLA & MELVYN GLICKMAN  
14 HARVARD STREET  
WORCESTER, MA

DEED BOOK 9104 PG. 301  
ASSESSORS PARCEL ID: 208-02612-150

REVISIONS		
REV.	DATE	DESCRIPTION
8	12/8/22	ISSUED FOR PB
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST
PROJECT NO. 20-409		
DESIGNED BY PML		
CHECKED BY AB		
DATE 9/13/21		
CAD FILE 19-288_150...A1t2.dwg		



APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD  
BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

**LEGEND**

○	IRON PIPE FOUND
●	DRILL HOLE FOUND
⊙	STONE OR CONCRETE MONUMENT
⊗	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊖	ELECTRIC MANHOLE
⊗	TELEPHONE MANHOLE
⊕	WATER MANHOLE
⊖	UNDETERMINED MANHOLE
⊗	CATCH BASIN
⊕	CLEANOUT
⊖	MONITORING WELL
⊗	ANCHOR
⊕	UTILITY POLE
⊖	WATER GATE VALVE
⊗	WATER SHUT OFF
⊕	HYDRANT
⊖	BENCHMARK
⊗	GAS VALVE
⊕	SIGN
⊖	LIGHT POLE / LAMP POST
⊗	SPOT LIGHT
⊕	MAILBOX (MBX)
⊖	BOLLARD
⊗	OBSERVATION TEST PIT
⊕	HYDRIC SOIL TEST PIT
⊖	BORING TEST PIT
⊗	SHRUBS, BUSHES, ETC.
⊕	DECIDUOUS TREE
⊖	CONIFEROUS TREE
⊗	WETLAND FLAG
⊕	MAHW-26
⊖	MAHW-4
⊗	MAHW END
⊕	MEAN ANNUAL HIGH WATER
⊖	BOULDER
⊗	VERTICAL GRANITE CURBING
⊕	CONCRETE CURBING
⊖	CAPE COD BERM (BITUMINOUS)
⊗	BITUMINOUS CURBING (GENERIC)
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⊗	DRAIN LINE
⊕	WATER LINE
⊖	GAS LINE
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⊕	FIRE PROTECTION LINE
⊖	OVERHEAD WIRES
⊗	CABLE TELEVISION
⊕	ROOF DRAIN
⊖	STONEWALL
⊗	EDGE OF PAVEMENT
⊕	FENCING (AS NOTED)
⊖	GUARD RAILING (AS NOTED)
⊗	TREE LINE
⊕	EDGE OF LANDSCAPING
⊖	BORDERING VEGETATED WETLAND
⊗	PROPERTY LINE
⊕	SUBSURFACE DRAIN

PREPARED BY:

**SUMMIT**  
Engineering & Survey, Inc.

710 MAIN STREET  
OXFORD, MA 01537  
P:(508) 987-8713 F:(508) 987-8714

SHEET TITLE

COVER SHEET

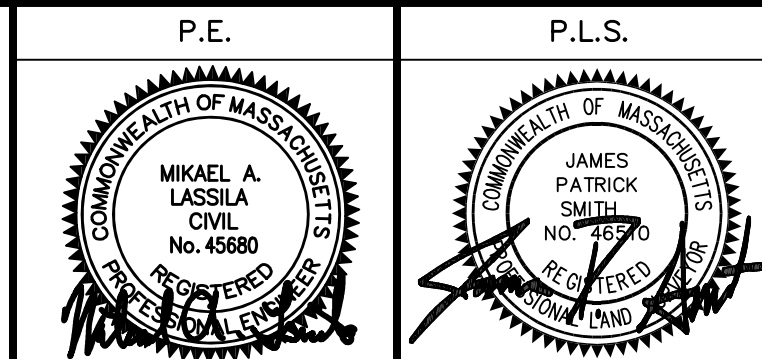
DEFINITIVE SITE PLAN  
at

150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA

PREPARED FOR  
COBRA REALTY TRUST  
SHEET 1 OF 11

SHEET NO.

C-1.0



APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD  
BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

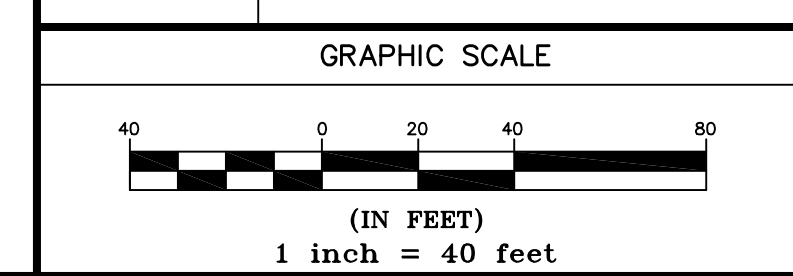
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**REVISIONS**

REV.	DATE	DESCRIPTION
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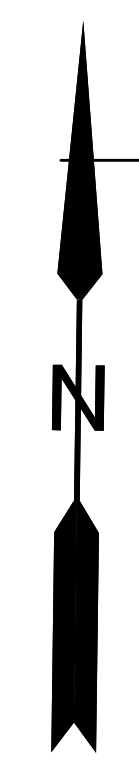
SHEET TITLE  
**EXISTING CONDITIONS**

**DEFINITIVE SITE PLAN**  
at  
**150 CHARLTON ROAD**  
**(ROUTE 20)**  
**STURBRIDGE, MA**  
PREPARED FOR  
**COBRA REALTY TRUST**  
SHEET 2 OF 11

SHEET NO.  
**C-2.0**



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<p>P.E.</p>	<p>P.L.S.</p>
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APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

**LEGEND**

- IRON PIPE FOUND
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- STONE OR CONCRETE MONUMENT
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- DRAIN MANHOLE
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- TELEPHONE MANHOLE
- WATER MANHOLE
- UNDETERMINED MANHOLE
- CATCH BASIN
- CLEANOUT
- MONITORING WELL
- ANCHOR
- UTILITY POLE
- WATER GATE VALVE
- WATER SHUT OFF
- HYDRANT
- BENCHMARK
- GAS VALVE
- SIGN
- LIGHT POLE / LAMP POST
- SPOT LIGHT
- MAILBOX (MBX)
- BOLLARD
- OBSERVATION TEST PIT
- HYDRIC SOIL TEST PIT
- BORING TEST PIT
- SHRUBS, BUSHES, ETC.
- DECIDUOUS TREE
- CONIFEROUS TREE
- WETLAND FLAG
- MAHW-26
- MAHW-4
- MAHW END
- MEAN ANNUAL HIGH WATER
- BOULDER
- VERTICAL GRANITE CURBING
- CONCRETE CURBING
- CAPE COD BERM (BITUMINOUS)
- BITUMINOUS CURBING (GENERIC)
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- TELEPHONE LINE
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- ROOF DRAIN
- STONE WALL
- EDGE OF PAVEMENT
- FENCING (AS NOTED)
- GUARD RAILING (AS NOTED)
- TREE LINE
- EDGE OF LANDSCAPING
- BORDERING VEGETATED WETLAND
- PROPERTY LINE
- SUBSURFACE DRAIN

ZONING DISTRICT:	INDUSTRIAL PARK	
	REQUIRED	PROVIDED
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REVISIONS		
REV.	DATE	DESCRIPTION
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7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST

PROJECT NO.	19-288
DESIGNED BY	PML
CHECKED BY	AB
DATE	9/13/21
CAD FILE	19-288_150...Alt2.dwg

PREPARED BY:

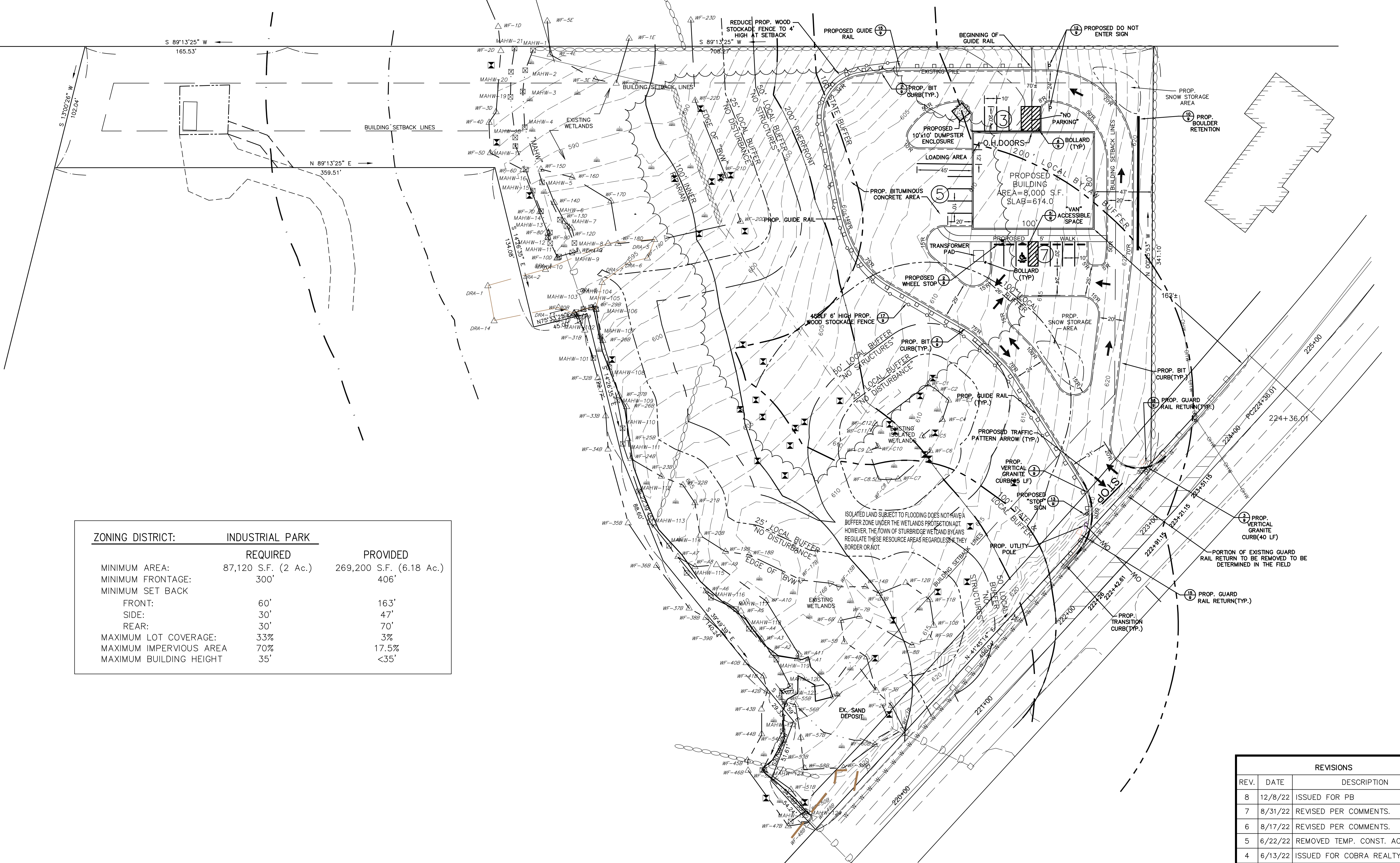
**SUMMIT**  
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OXFORD, MA 01537  
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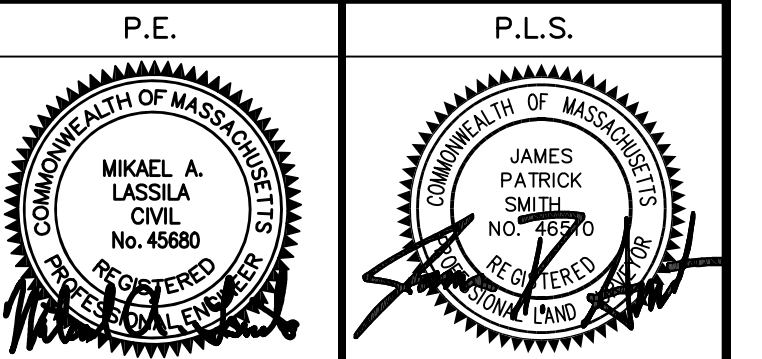
SHEET TITLE

**LAYOUT & MATERIALS**  
**PLAN**  
DEFINITIVE SITE PLAN  
at  
150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA  
PREPARED FOR  
COBRA REALTY TRUST  
SHEET 3 OF 11

SHEET NO.

**C-3.0**





APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

LEGEND

- IRON PIPE FOUND
- DRILL HOLE FOUND
- STONE OR CONCRETE MONUMENT
- ⊕ SEWER MANHOLE
- ⊖ DRAIN MANHOLE
- ⊗ ELECTRIC MANHOLE
- ⊘ TELEPHONE MANHOLE
- ⊙ WATER MANHOLE
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- ⊪ OBSERVATION TEST PIT
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- ⊰ WETLAND FLAG
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- ⊴ VERTICAL GRANITE CURBING
- ⊵ CONCRETE CURBING
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- ⊢ STONEWALL
- ⊣ EDGE OF PAVEMENT
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- ⊥ GUARD RAILING (AS NOTED)
- ⊦ TREE LINE
- ⊧ EDGE OF LANDSCAPING
- ⊨ BORDERING VEGETATED WETLAND
- ⊩ SUBSURFACE DRAIN

PREPARED BY:

**SUMMIT**  
Engineering & Survey, Inc.

710 MAIN STREET  
OXFORD MA 01537  
P.(508) 867-8703 F.(508) 867-8704

SHEET TITLE

GRADING PLAN

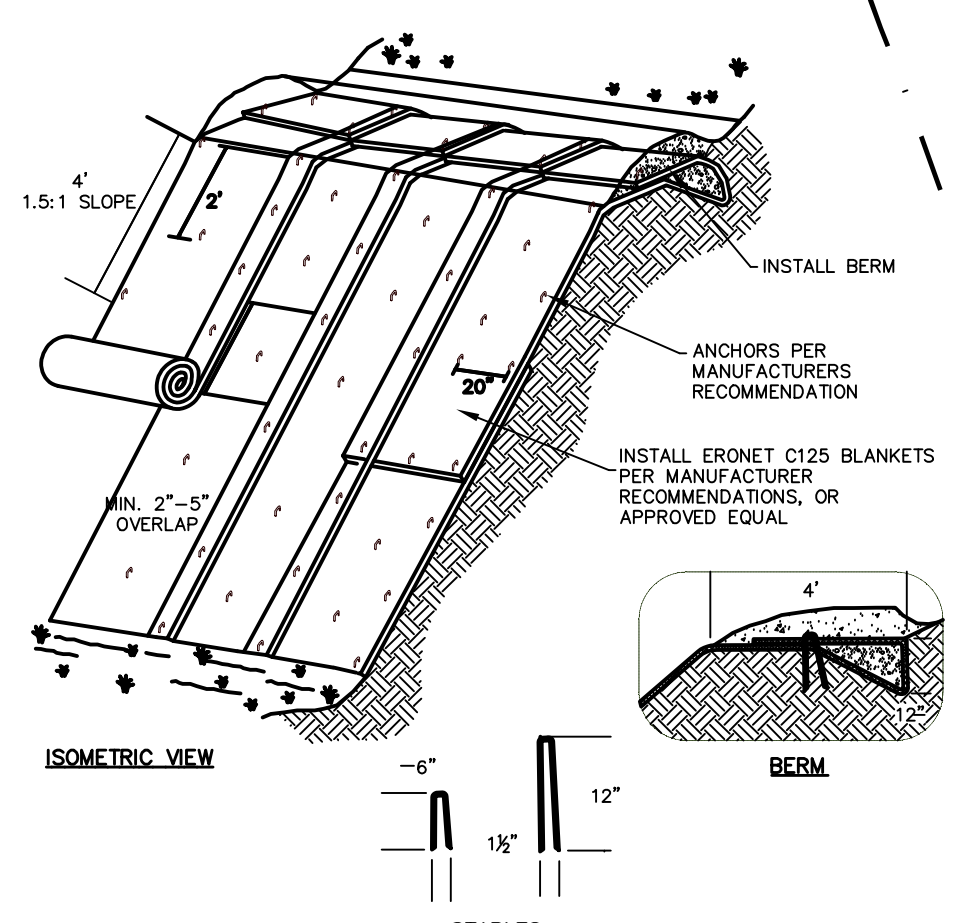
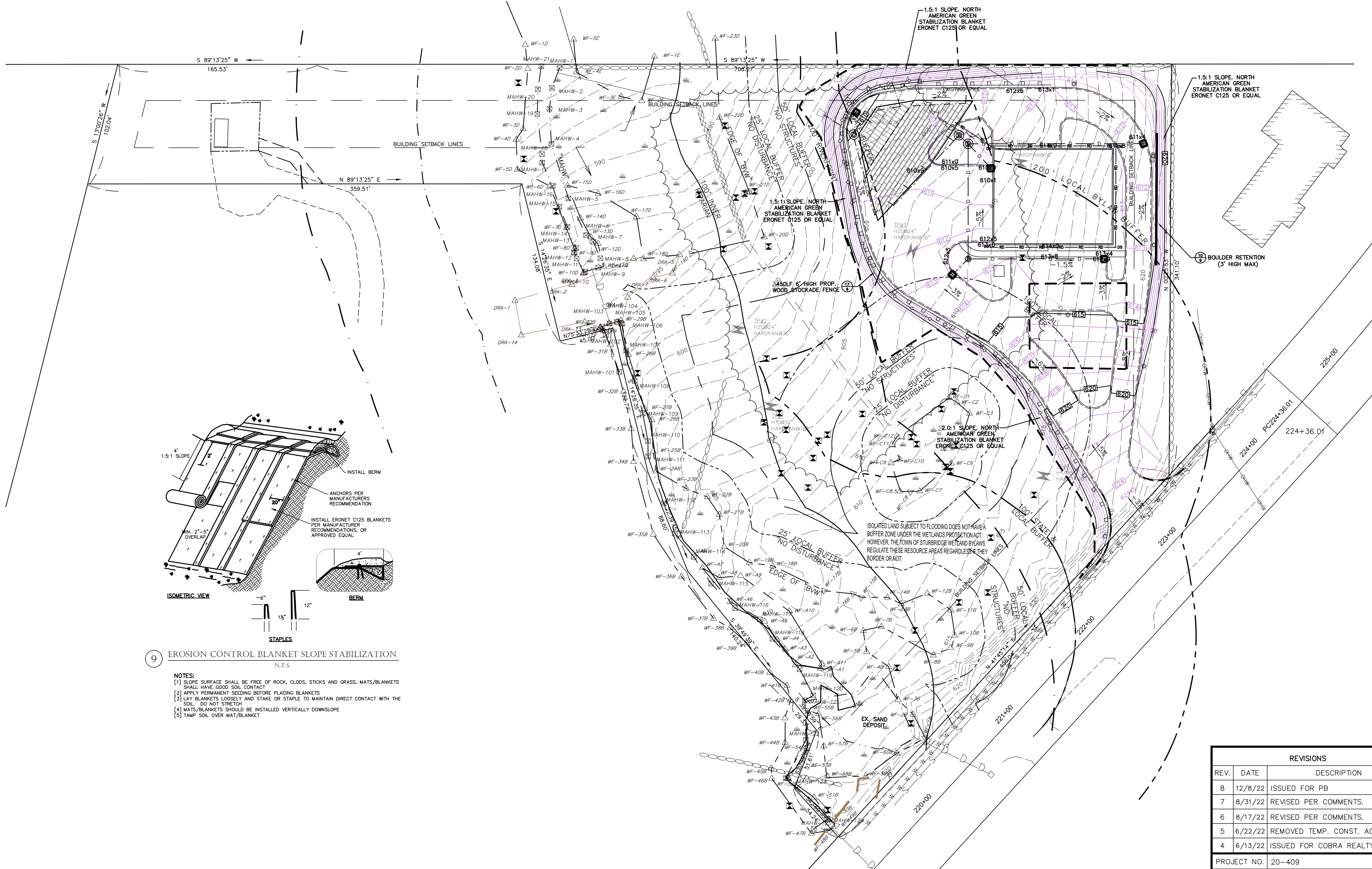
DEFINITIVE SITE PLAN

at  
150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA

PREPARED FOR  
COBRA REALTY TRUST  
SHEET 4 OF 11

SHEET NO.

C-4.0



9 EROSION CONTROL BLANKET SLOPE STABILIZATION  
N.T.S.

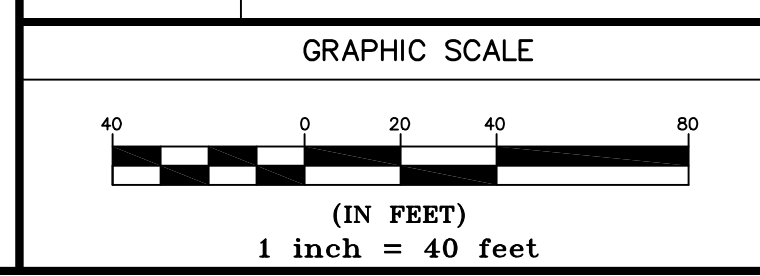
- NOTES:
- [1] SLOPE SURFACE SHALL BE FREE OF ROCK, CLODS, STICKS AND GRASS, MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT
  - [2] APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS
  - [3] LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH
  - [4] MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE
  - [5] TEMP. SOIL OVER MAT/BLANKET

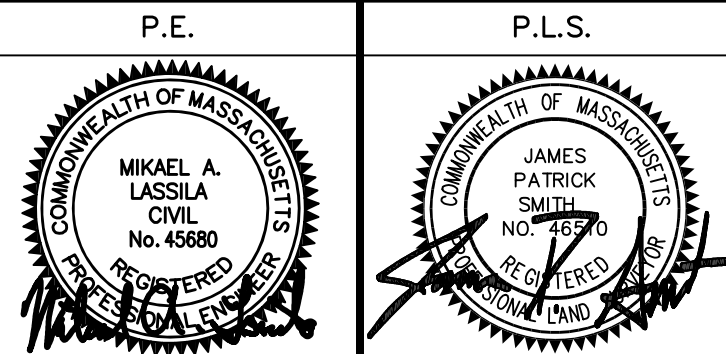


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EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

REV.	DATE	DESCRIPTION
8	12/8/22	ISSUED FOR PB
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST





APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD  
BEING A MAJORITY

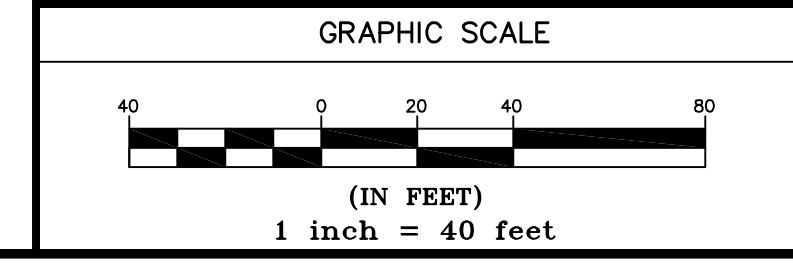
APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_

LEGEND

- IRON PIPE FOUND
- DRILL HOLE FOUND
- STONE OR CONCRETE MONUMENT
- SEWER MANHOLE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- UNDETERMINED MANHOLE
- CATCH BASIN
- CLEANOUT
- MONITORING WELL
- ANCHOR
- UTILITY POLE
- WATER GATE VALVE
- WATER SHUT OFF
- HYDRANT
- BENCHMARK
- GAS VALVE
- SIGN
- LIGHT POLE / LAMP POST
- SPOT LIGHT
- MAILBOX (MBX)
- BOLLARD
- OBSERVATION TEST PIT
- HYDRIC SOIL TEST PIT
- BORING TEST PIT
- SHRUBS, BUSHES, ETC.
- DECIDUOUS TREE
- CONIFEROUS TREE
- WF-26 WETLAND FLAG
- MAHW-4 MEAN ANNUAL HIGH WATER
- BOULDER
- VERTICAL GRANITE CURBING
- CONCRETE CURBING
- CAPE COD BERM (BITUMINOUS)
- BITUMINOUS CURBING (GENERIC)
- ELECTRIC LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- TELEPHONE LINE
- FIRE PROTECTION LINE
- OVERHEAD WIRES
- CABLE TELEVISION
- ROOF DRAIN
- STONEWALL
- EDGE OF PAVEMENT
- FENCING (AS NOTED)
- GUARD RAILING (AS NOTED)
- TREE LINE
- EDGE OF LANDSCAPING
- BORDERING VEGETATED WETLAND
- PROPERTY LINE
- SUBSURFACE DRAIN



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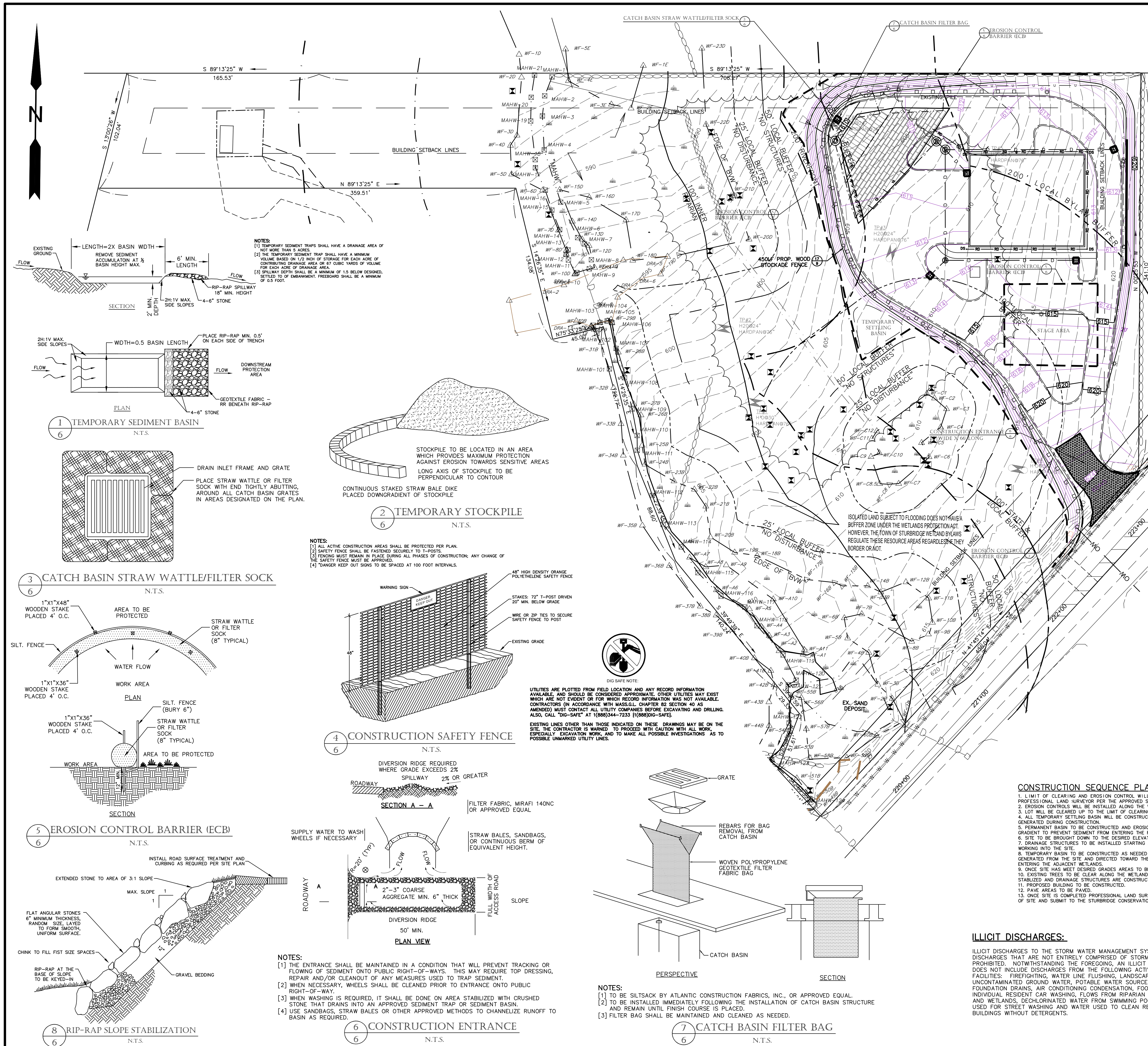
PREPARED BY:  
**SUMMIT**  
Engineering & Survey, Inc.  
710 MAIN STREET  
OXFORD, MA 01537  
P: (508) 987-8713 F: (508) 987-8714

SHEET TITLE  
**UTILITY & DRAINAGE PLAN**  
**DEFINITIVE SITE PLAN**  
at  
**150 CHARLTON ROAD**  
**(ROUTE 20)**  
**STURBRIDGE, MA**  
PREPARED FOR  
**COBRA REALTY TRUST**  
SHEET 5 OF 11

SHEET NO.  
**C-5.0**



DIG SAFE NOTE:  
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**EROSION AND SEDIMENT CONTROL REQUIREMENTS**

**PART 1 - GENERAL**

1.01 SUMMARY  
 A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, VEHICLE TRACKING PADS, DIVERSION CHANNELS AND BERMS, CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G. SOIL, MULCH, SOIL) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, TRIBUTARIES TO WETLANDS, WETLAND BUFFER ZONES, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES.  
 ALL METHODS AND MATERIALS USED FOR EROSION CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AS PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, UNLESS OTHERWISE APPROVED IN WRITING.  
 1. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF LIMITS OF DISTURBANCE AND CONTROL MEASURES REQUIRED TO COMMENCE WORK. LIMITS OF DISTURBANCE SHALL BE MARKED WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING. THE DRAWINGS ARE NOT INTENDED TO GRAPHICALLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.  
 2. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.  
 3. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.  
 4. DEVISE, EMPLOY AND MAINTAIN CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA.  
 5. ONCE THE SITE IS PERMANENTLY STABILIZED AND CERTIFIED AS SUCH BY ENGINEER, REMOVE TEMPORARY CONTROL MEASURES WHILE PROTECTING STABILIZED SURFACES.

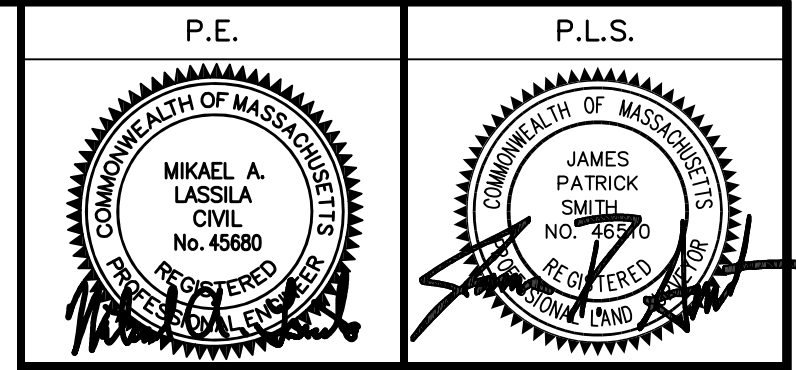
1.02 SUBMITTALS  
 A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.  
 B. SUBMIT SKETCH SHOWING LOCATIONS OF PROPOSED STOCKPILE AREAS, CONSTRUCTION ENTRANCES AND EROSION CONTROLS IF NOT SHOWN ON THE SITE PLAN OR DIFFERENT FROM THOSE LOCATIONS SHOWN ON THE SITE PLAN.  
 C. A SITE SPECIFIC SEQUENCE OF CONSTRUCTION FOR EACH PORTION OF THE SITE. NO PORTION OF THE SITE SHALL EXCEED FIVE (5) ACRES.  
 1.03 QUALITY ASSURANCE  
 A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS, EXPERTS, HAND-LE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY, WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

**PART 2 - PRODUCTS**  
 2.01 MATERIALS  
 A. STRAW BALES: WOOD FREE DRY GRASS OR STRAW, MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 42" X 16" X 16". EACH BALE SHALL BE STAKED WITH A MINIMUM OF TWO 24" LONG HARDWOOD STAKES. NOTE: HAY SHALL NOT BE USED.  
 B. STRAW WATTLES: NORTH AMERICAN GREEN MODEL WS120 OR APPROVED EQUAL.  
 C. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM MINIMUM, CRUSHED STONE RATED 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO. 2130 BY AMOCO FABRICS & FIBERS, OR APPROVED EQUAL.  
 D. MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.  
 E. SEED MIXES: SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION SECTION 6.03.0 OR 6.03.1 AS APPROPRIATE.  
 F. EXCELISOR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, BOX OF 6-INCHES LONG OR LONGER, WEIGHT 0.975 POUNDS / 1/2 CONTAINING NO CHEMICAL ADDITIVES. USE CURLEX-1 BLANKET BY AMERICAN EXCELISOR COMPANY, OR APPROVED EQUAL.  
 G. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TAILINGS.  
 H. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE.

**PART 3 - EXECUTION**  
 3.01 THROUGHOUT CONSTRUCTION  
 A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN SUCH AS DIVERSION CHANNELS AND BERMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBSIDE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.  
 B. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.  
 C. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE HAY BALES, SILT FENCE AND STAKES, AND CRUSHED STONE.  
 D. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO PREVENT INTERFERED FUNCTION. BY SUPPLYING AS NECESSARY FOR ADEQUATE EXTENT; BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.  
 E. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITHIN CONTROL MEASURES WITHIN A 24-HOUR PERIOD.  
 F. INSTALL CONTROL MEASURES AS SOON AS PRACTICABLE AFTER EACH MANAGEABLE PORTION OF EARTHWORK IS COMPLETE. EMPLOY TEMPORARY MEASURES AS NECESSARY TO STABILIZE DISTURBED AREAS, EVEN WHERE SUBSEQUENT CONSTRUCTION OPERATIONS MAY REQUIRE RE-DISTURBANCE.  
 G. WHEN INTENSE RAINFALL IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.  
 H. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.

**CONSTRUCTION SEQUENCE PLAN**  
 1. LIMIT OF CLEARING AND EROSION CONTROL WILL BE STAKED OUT BY A PROFESSIONAL LAND SURVEYOR PER THE APPROVED SITE PLANS.  
 2. EROSION CONTROLS WILL BE INSTALLED ALONG THE WETLANDS AREAS.  
 3. LOT WILL BE CLEARED UP TO THE LIMIT OF CLEARING FLAGS.  
 4. ALL TEMPORARY SETTLING BASIN WILL BE CONSTRUCTED TO CONTROL RUNOFF GENERATED DURING CONSTRUCTION.  
 5. PERMANENT BASIN TO BE CONSTRUCTED AND EROSION CONTROL TO BE PLACED UP GRADIENT TO PREVENT SEDIMENT FROM ENTERING THE PERMANENT BASIN.  
 6. SITE TO BE BROUGHT DOWN TO THE DESIRED ELEVATIONS PER GRADING PLAN.  
 7. DRAINAGE STRUCTURES TO BE INSTALLED STARTING AT THE LOWEST AREAS AND WORKING INTO THE SITE.  
 8. TEMPORARY BASIN TO BE CONSTRUCTED AS NEEDED TO CONTROL THE RUNOFF GENERATED FROM THE SITE AND DIRECTED TOWARD THE PERMANENT BASIN PRIOR TO ENTERING THE ADJACENT WETLANDS.  
 9. ONCE SITE HAS MET DESIRED GRADES AREAS TO BE STABILIZED.  
 10. EXISTING TREES TO BE CLEAR ALONG THE WETLANDS ONCE THE SITE HAS BEEN STABILIZED AND DRAINAGE STRUCTURES ARE CONSTRUCTED.  
 11. PROPOSED BUILDING TO BE CONSTRUCTED.  
 12. PAVE AREAS TO BE PAVED.  
 13. ONCE SITE IS COMPLETED PROFESSIONAL LAND SURVEYOR TO PERFORM AS-BUILT OF SITE AND SUBMIT TO THE STURBRIDGE CONSERVATION COMMISSION.

**ILLICIT DISCHARGES:**  
 ILLICIT DISCHARGES TO THE STORM WATER MANAGEMENT SYSTEM, I.E., DISCHARGES THAT ARE NOT ENTIRELY COMPRISED OF STORM WATER, ARE PROHIBITED. NOTWITHSTANDING THE FOREGOING, AN ILLICIT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIREFIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUND WATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECOLORING WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETENTERS.



APPROVAL UNDER SITE PLAN REVIEW, STURBRIDGE PLANNING BOARD  
 BEING A MAJORITY  
 APPROVAL DATE: \_\_\_\_\_  
 ENDORSEMENT DATE: \_\_\_\_\_

**PART 3 - CONTINUED**  
 I. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.  
 J. SWEEP ON-SITE PAVED AREAS AND OFF-SITE STREETS AS NECESSARY TO PREVENT SILT AND DEBRIS ORIGINATING ON SITE FROM ENTERING CLOSED DRAINAGE SYSTEMS AND / OR ENVIRONMENTALLY SENSITIVE AREAS. WHEN NECESSARY UTILIZE WATER SPRAYING, SURFACE ROUGHENING AND/OR APPLY POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS FOR DUST CONTROL.  
 K. INSPECT EROSION CONTROLS DAILY THROUGHOUT CONSTRUCTION REPAIR DAMAGED CONTROLS IMMEDIATELY.  
 3.02 SITE PREPARATION AND ACCESS  
 A. WALK SITE AND IDENTIFY LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.  
 B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFERRING THE LIMIT OF WORK.  
 C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT.  
 3.03 CLEARING, GRUBBING, AND STRIPPING  
 A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.  
 B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE. NO GREATER THAN FIVE (5) ACRES SHALL BE UNSTABLE AT ANY TIME.  
 C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.  
 D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.  
 E. PROCESS TIMBER, STUMPS, SLASH, AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.  
 3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES  
 A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING SUMP AND WELL POINT PUMPS PRIOR TO EXCAVATION.  
 B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.  
 C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.  
 D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.  
 E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.  
 3.05 SITE GRADING  
 A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.  
 B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION BERMS AND CHECK DAMS, IN ALL AREAS EXCEPT THOSE THAT DO NOT PRESENT POTENTIAL PROBLEMS WITH REGARD TO FUTURE SOIL STABILITY, DRAINAGE, OR BEARING CAPACITY. REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.  
 C. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.  
 D. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER COMPLETION.  
 3.06 LANDSCAPING  
 A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE.  
 B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING, BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET.  
 C. PERMANENT SEEDING MAY BE PERFORMED IN THE SPRING PRIOR TO JULY 1 AND IN BETWEEN AUGUST 1 AND OCTOBER 15. PERMANENT SEEDING AT OTHER TIMES SHALL BE APPROVED AND SHALL ONLY BE ALLOWED WITH AN APPROVED MULCHING AND IRRIGATION PROGRAM.

PREPARED BY:  
**SUMMIT**  
 Engineering & Survey, Inc.  
 710 MAIN STREET  
 OXFORD, MA 01537  
 P: (508) 987-8713 F: (508) 987-8714

SHEET TITLE  
**EROSION CONTROL PLAN**

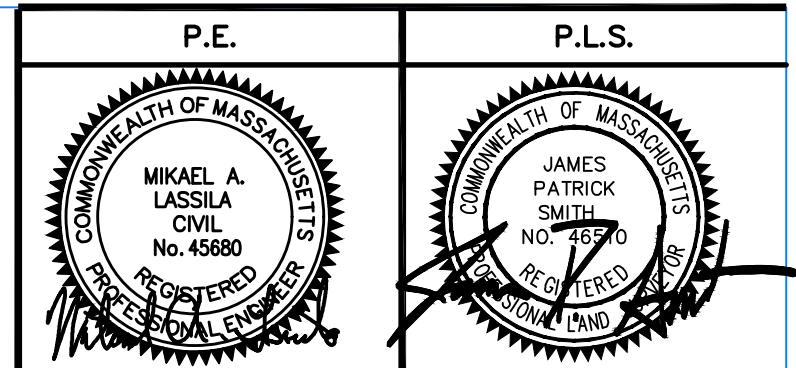
DEFINITIVE SITE PLAN  
 at  
**150 CHARLTON ROAD (ROUTE 20)**  
**STURBRIDGE, MA**  
 PREPARED FOR  
**COBRA REALTY TRUST**  
 SHEET 6 OF 11

SHEET NO.  
**C-6.0**

REVISIONS		
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PROJECT NO. 20-409  
 DESIGNED BY PML  
 CHECKED BY AB  
 DATE 9/13/21  
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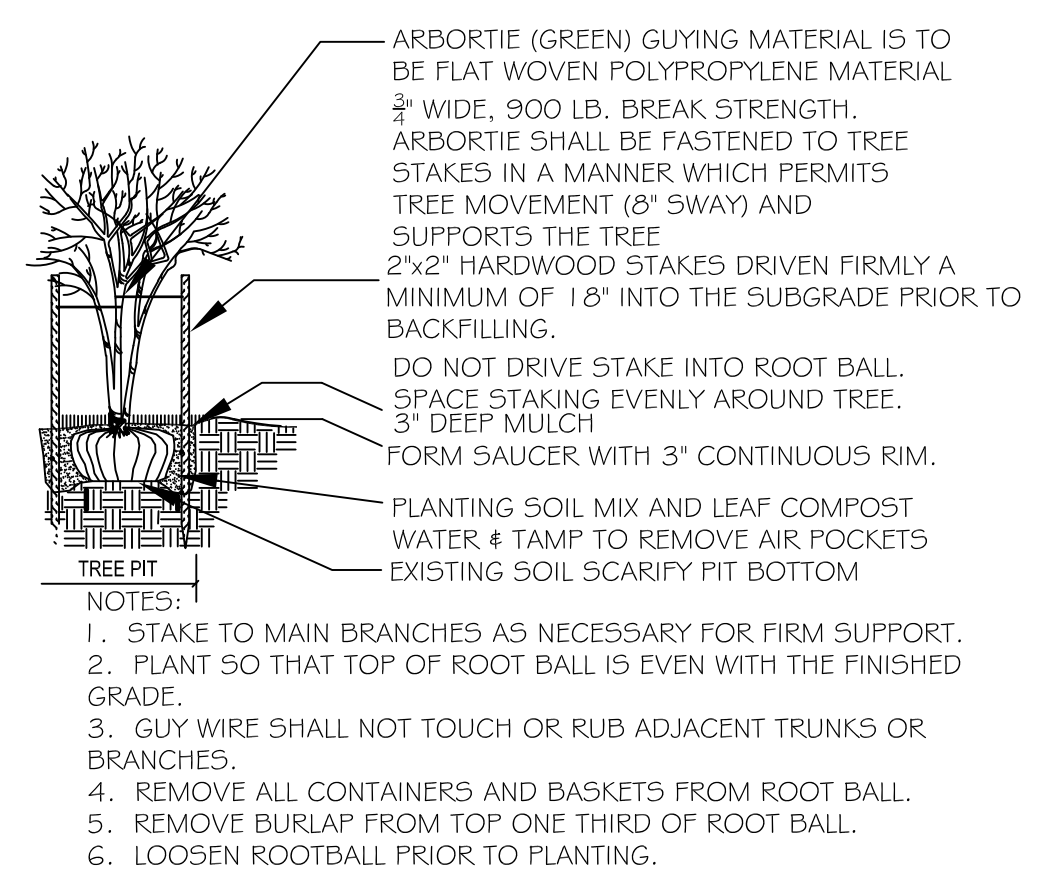
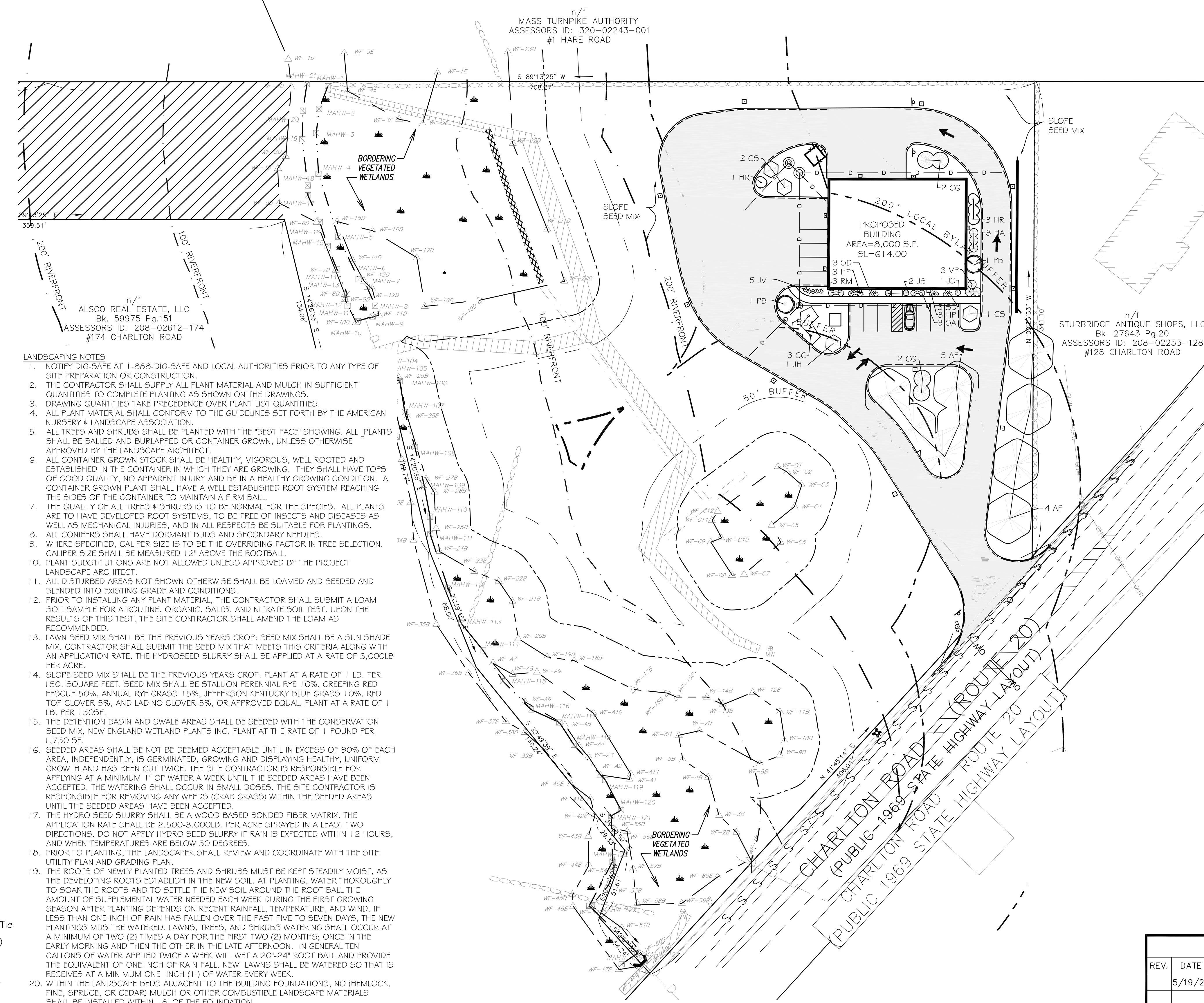
GRAPHIC SCALE  
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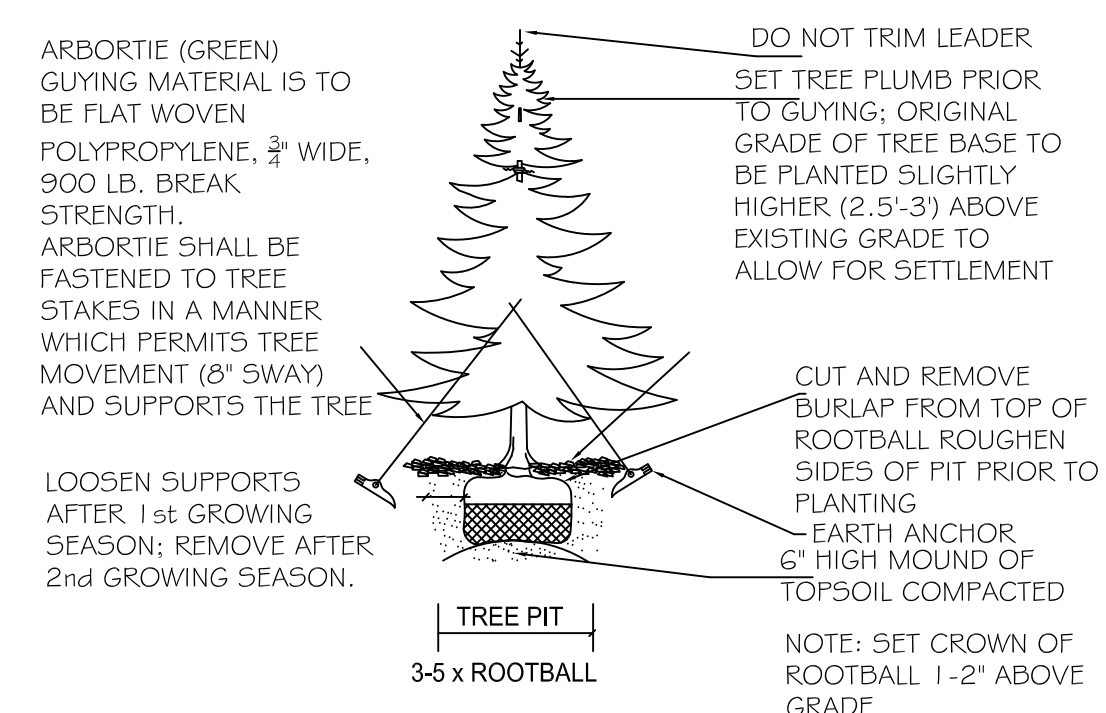
APPROVAL UNDER SITE PLAN REVIEW.  
STURBRIDGE PLANNING BOARD

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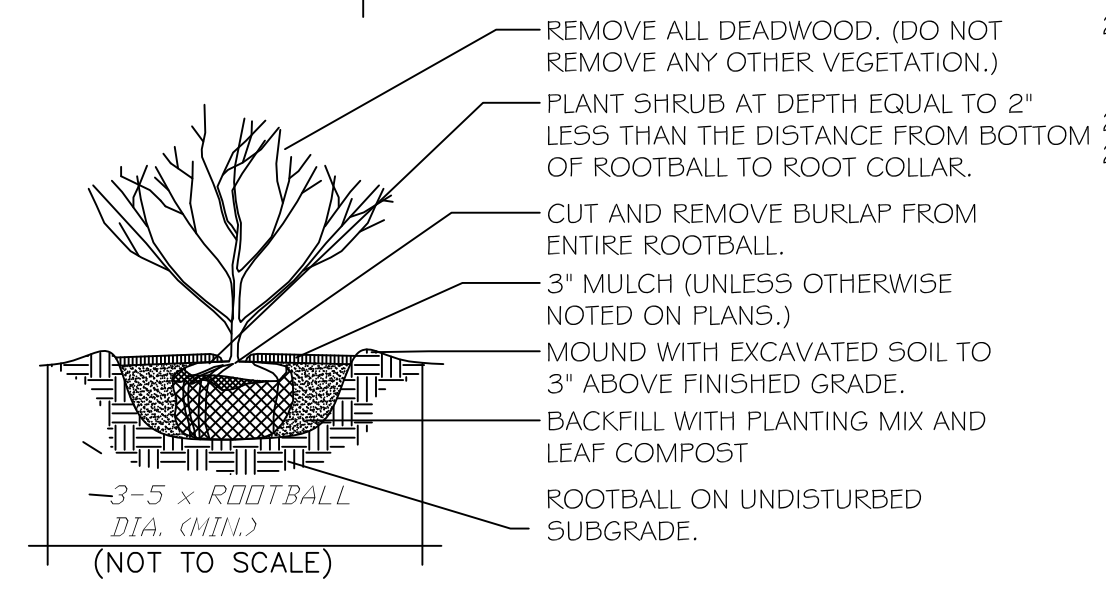
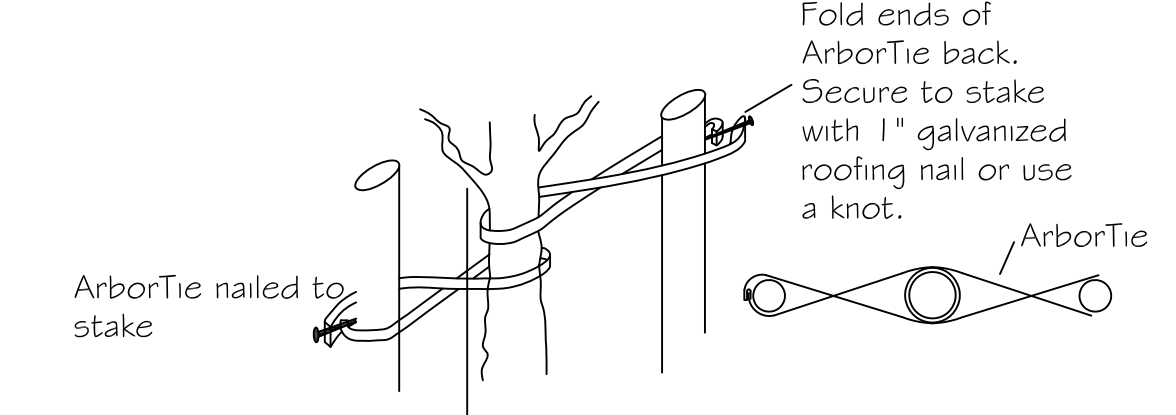
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ENDORSEMENT DATE: \_\_\_\_\_



**DECIDUOUS TREE PLANTING**  
NOT TO SCALE



**EVERGREEN TREE PLANTING**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE

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**LANDSCAPING NOTES**

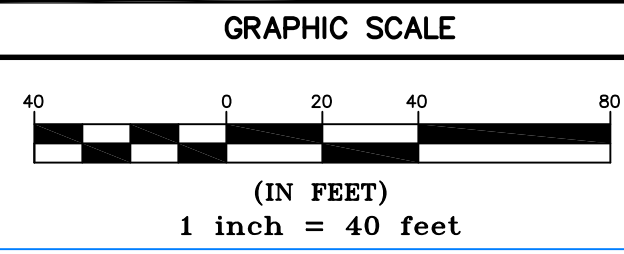
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
- DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
- THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
- ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
- WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
- PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
- PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED.
- LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP. SEED MIX SHALL BE A SUN SHADE MIX. CONTRACTOR SHALL SUBMIT THE SEED MIX THAT MEETS THIS CRITERIA ALONG WITH AN APPLICATION RATE. THE HYDROSEED SLURRY SHALL BE APPLIED AT A RATE OF 3,000LB PER ACRE.
- SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150. SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150SF.
- THE DETENTION BASIN AND SWALE AREAS SHALL BE SEEDED WITH THE CONSERVATION SEED MIX, NEW ENGLAND WETLAND PLANTS INC. PLANT AT THE RATE OF 1 POUND PER 1,750 SF.
- SEEDED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (GRASS GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
- THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
- PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
- THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
- WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
- ALL LANDSCAPE BEDS SHALL RECEIVE FOUR-INCHES OF BARK MULCH.
- LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

**Planting Schedule**

Qty./Key	Common Name	Botanical Name	Size	Remarks
<b>TREES</b>				
9	AF Freeman Maple	<i>Acer x freemanii</i>	3" Cal.	B&B
3	CC Chinese Dogwood	<i>Cornus Kousa</i>	3" Cal.	B&B
4	CG Gracilis' Hinoki Cypress	<i>Chamaecyparis obtusa 'Gracilis'</i>	6 Ht.	B&B
3	CS 'Sotomi' Dogwood	<i>Cornus kousa 'Santomi'</i>	3" Cal.	B&B
1	JH 'Hollywood' Juniper	<i>Juniperus chinensis 'Hollywood'</i>	6 Ht.	B&B
2	PB 'Hoopsi' Blue Spruce	<i>Picea pungens 'Hoopsi'</i>	6 Ht.	B&B
<b>SHRUBS</b>				
1	CH 'Golden Mops' Hinoki Cypress	<i>Chamaecyparis obtusa 'Golden Mops'</i>	#7 Pot	Container Grown
3	HA Abetwo Hydrangea	<i>Hydrangea arborescens 'Abetwo'</i>	36" Ht.	B&B
3	HP Golden Cup St. John's Wort	<i>Hypericum Hidcote</i>	24" Ht.	B&B
4	HR 'Blue chiffon' Hibiscus	<i>Hibiscus syriacus 'Rose Satin'</i>	60" Ht.	B&B
3	JS 'Steads' Holly	<i>Ilex crenata 'Steads'</i>	24" Ht.	B&B
5	JV 'Taylor' Red Cedar	<i>Juniperus virginiana 'Taylor'</i>	60" Ht.	B&B
3	RM 'Blushing Knock out' Rose	<i>Rosa sp. 'Blushing Knock Out'</i>	24" Ht.	B&B
3	SA 'Flamingo' Japanese Willow	<i>Salix integra 'Flamingo'</i>	24" Ht.	B&B
6	SD 'Double Play Blue Kazoo' Spirea	<i>Spiraea media 'Blue Kazoo'</i>	24" Ht.	B&B
3	VP 'Popcorn' Viburnum	<i>Viburnum plicatum 'Popcorn'</i>	48" Ht.	B&B

REVISIONS	
REV.	DESCRIPTION
5/19/23	REVISIONS

PROJECT NO. 20-409  
DESIGNED BY PML  
CHECKED BY AB  
DATE 8/5/21  
CAD FILE 19-288\_150 CHARLTON ST. SITE



PREPARED BY:  
**SUMMIT**  
Engineering & Survey, Inc.  
710 MAIN STREET  
OXFORD, MA 01527  
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SHEET TITLE  
**LANDSCAPE PLAN**

**DEFINITIVE SITE PLAN**  
at  
**150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA**  
PREPARED FOR  
**COBRA REALTY TRUST**

SHEET NO.  
**L-1**



n/f  
 MASS TURNPIKE AUTHORITY  
 ASSESSORS ID: 320-02243-001  
 #1 HARE ROAD

n/f  
 ALSCO REAL ESTATE, LLC  
 Bk. 59975 Pg.151  
 ASSESSORS ID: 208-02612-174  
 #174 CHARLTON ROAD

n/f  
 STURBRIDGE ANTIQUE SHOPS, LLC  
 Bk. 27643 Pg.20  
 ASSESSORS ID: 208-02253-128  
 #128 CHARLTON ROAD



POLE MOUNTED FIXTURE



WALL MOUNTED FIXTURE

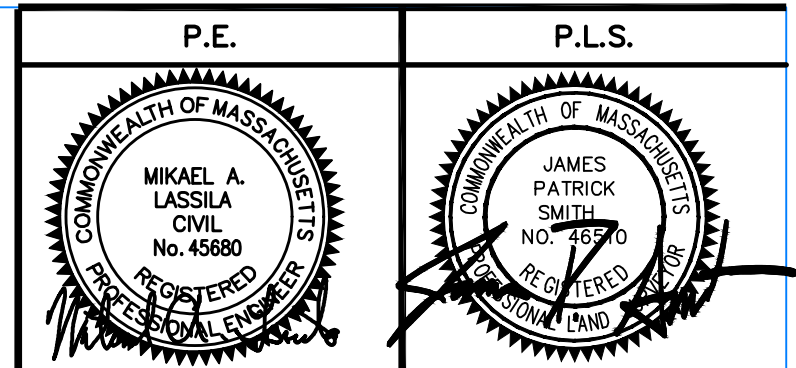
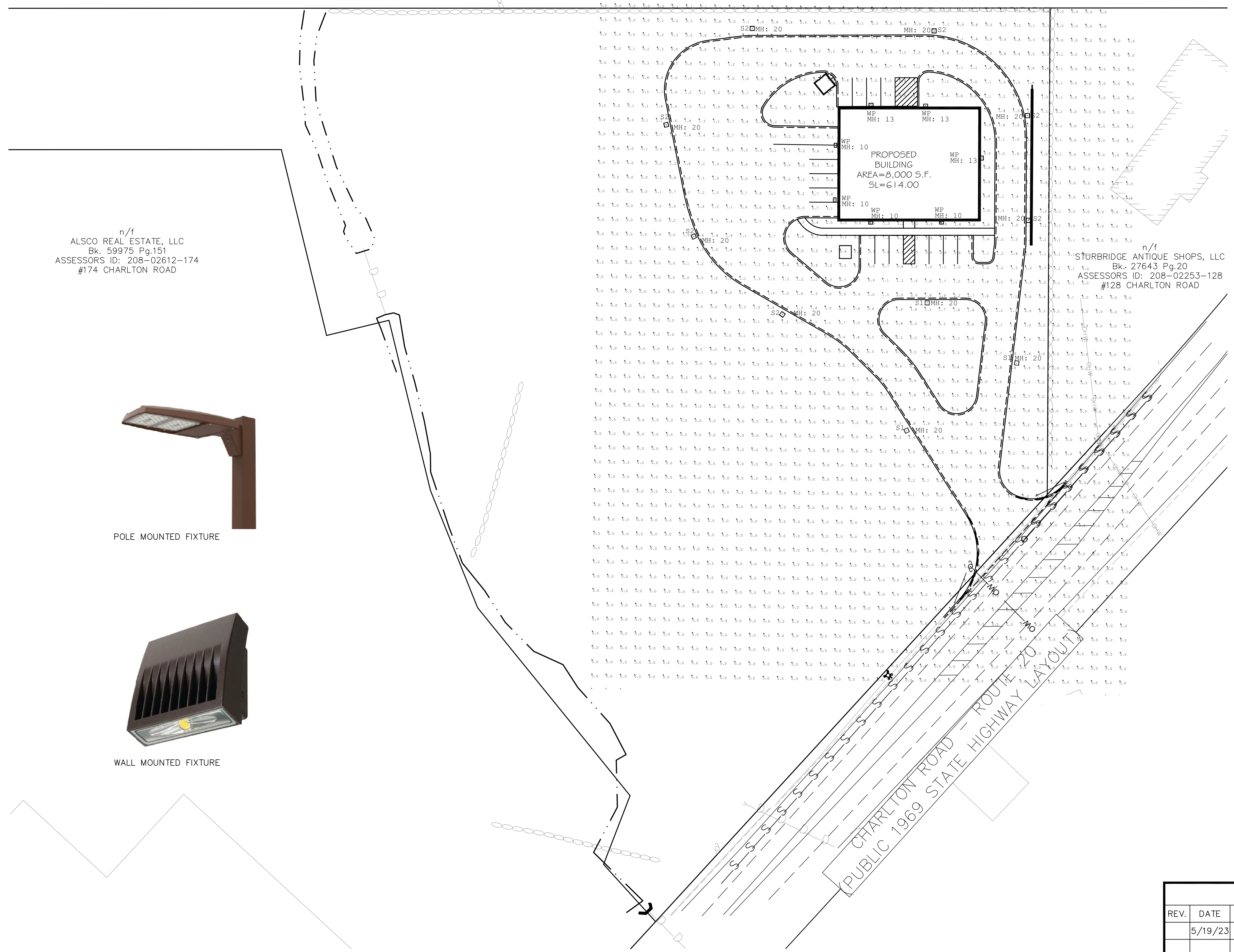


DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 92 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.  
 EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

Luminaire Schedule					
Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description
	S1	6460	52	0.900	LUMARK: PRV-C15-D-UNV-T3-BZ-HSS
	S2	6437	52	0.900	LUMARK: PRV-C15-D-UNV-T4-BZ-HSS
	WP	1418	12.2	0.900	LUMARK: XTOR1B

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Fc	0.27	6.8	0.0	N.A.	N.A.



APPROVAL UNDER SITE PLAN REVIEW.  
 STURBRIDGE PLANNING BOARD  
 BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_  
 ENDORSEMENT DATE: \_\_\_\_\_

PREPARED BY:

**SUMMIT**  
 Engineering & Survey, Inc.  
 710 MAIN STREET  
 OXFORD, MA 01537  
 P(508) 987-8713 F(508) 987-8714

SHEET TITLE

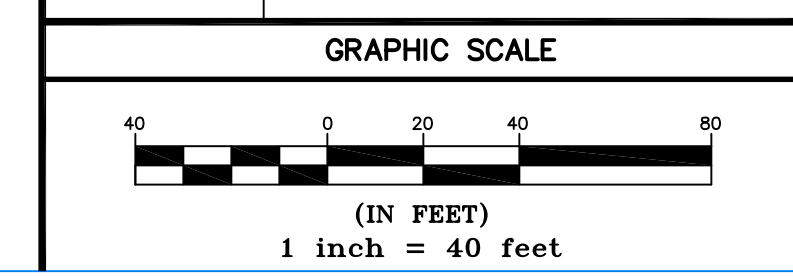
LIGHTING PLAN

DEFINITIVE SITE PLAN  
 at  
 150 CHARLTON ROAD  
 (ROUTE 20)  
 STURBRIDGE, MA  
 PREPARED FOR  
 COBRA REALTY TRUST

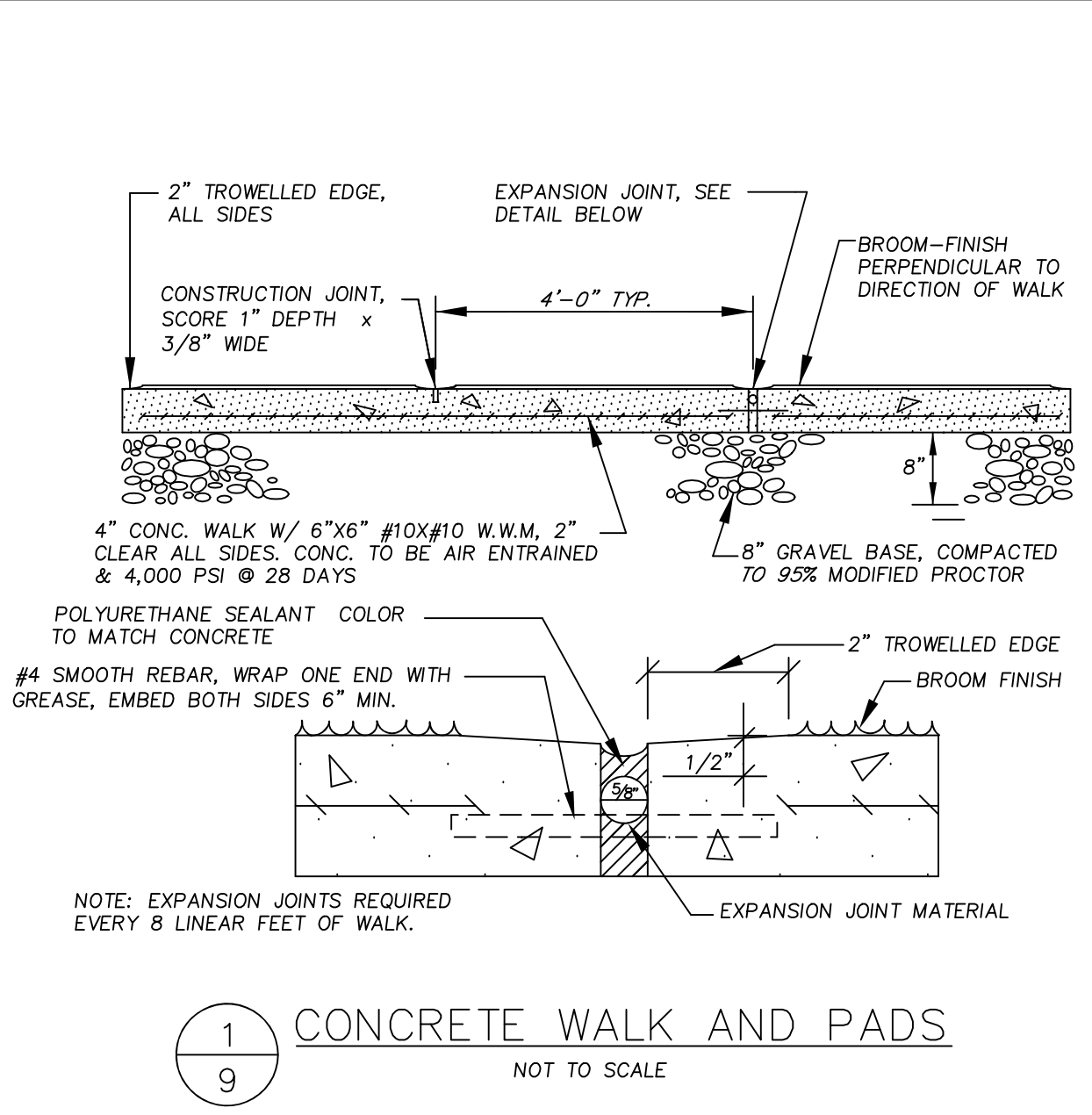
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L-2

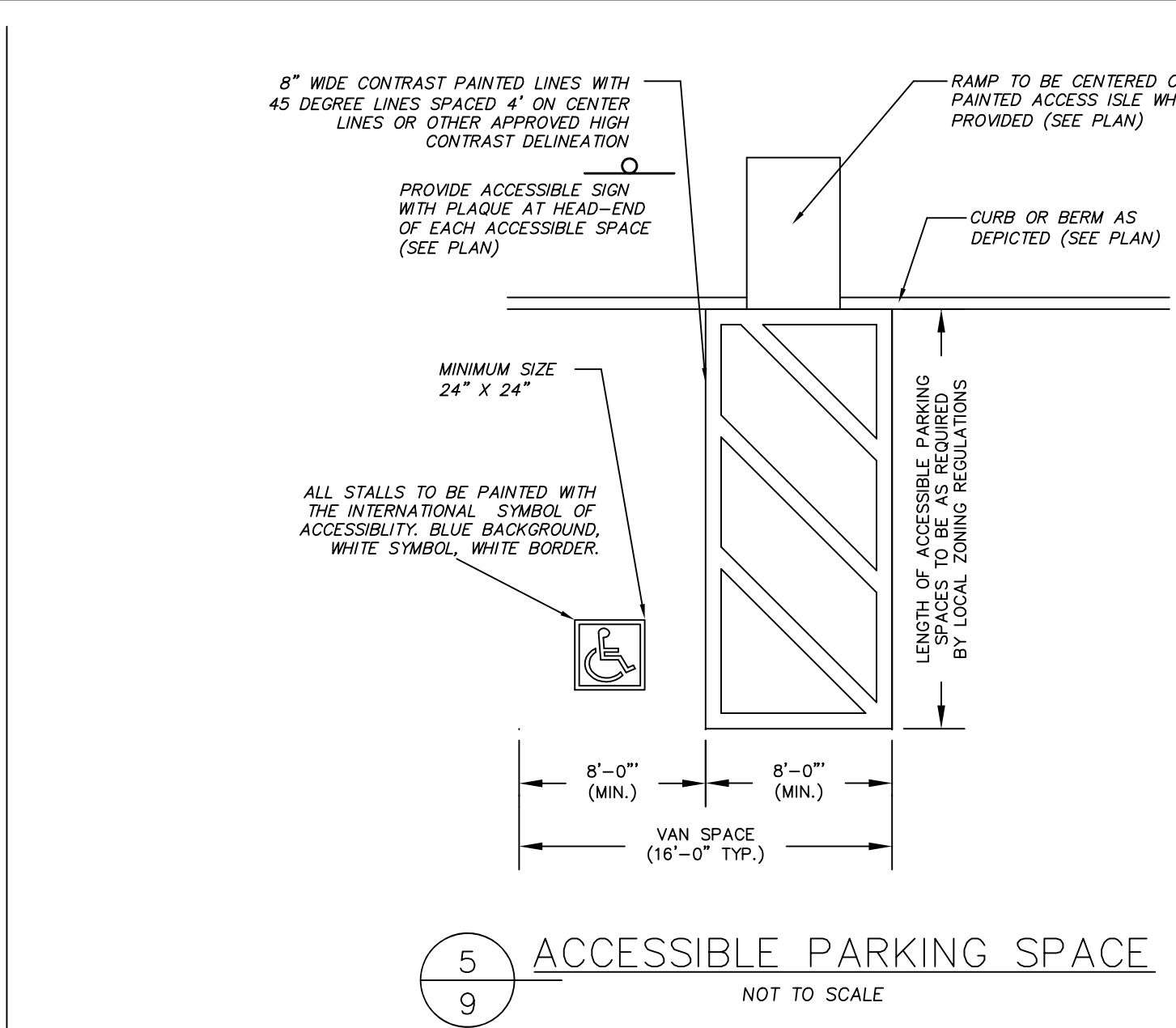
REVISIONS		
REV.	DATE	DESCRIPTION
	5/19/23	REVISIONS





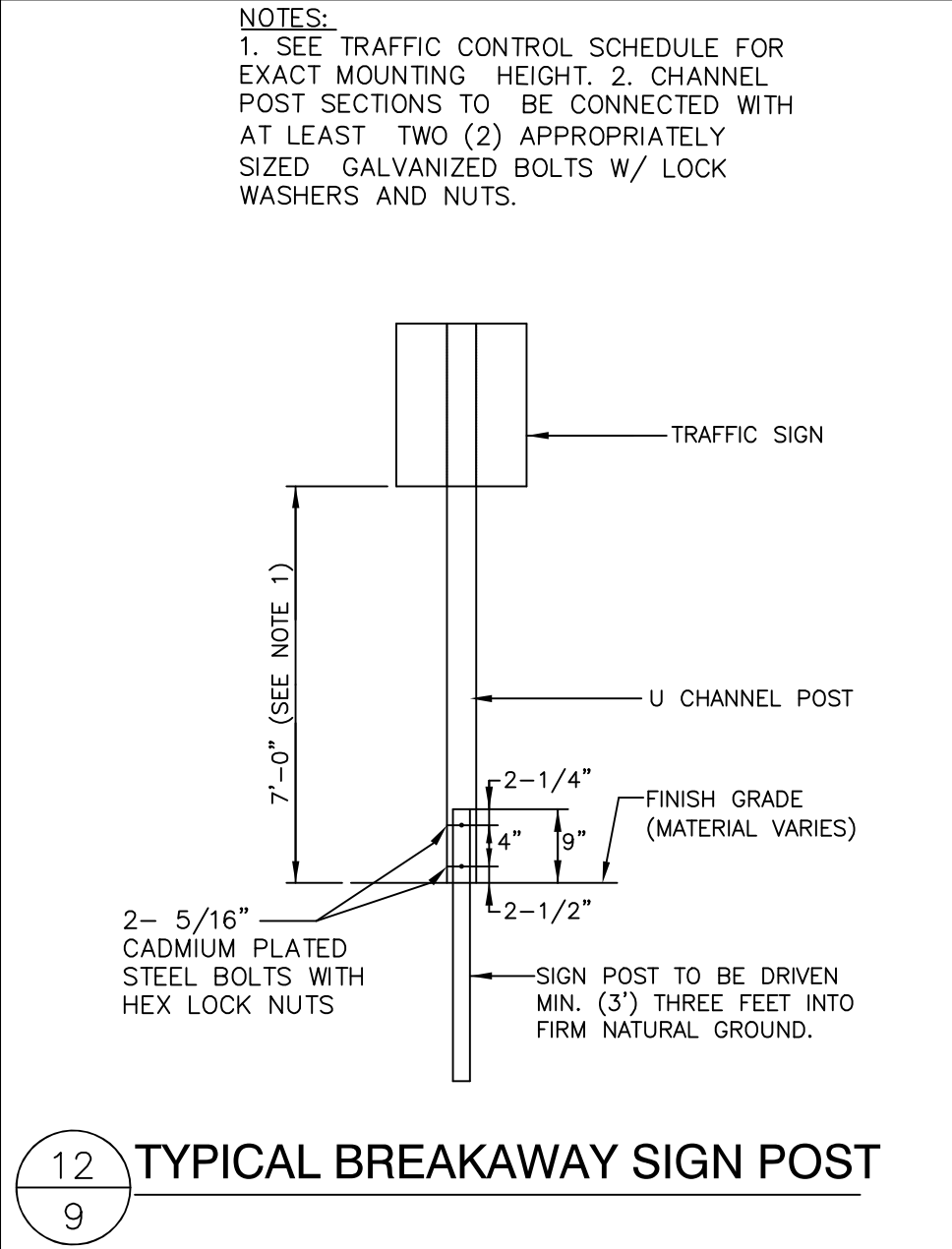


1 CONCRETE WALK AND PADS  
NOT TO SCALE

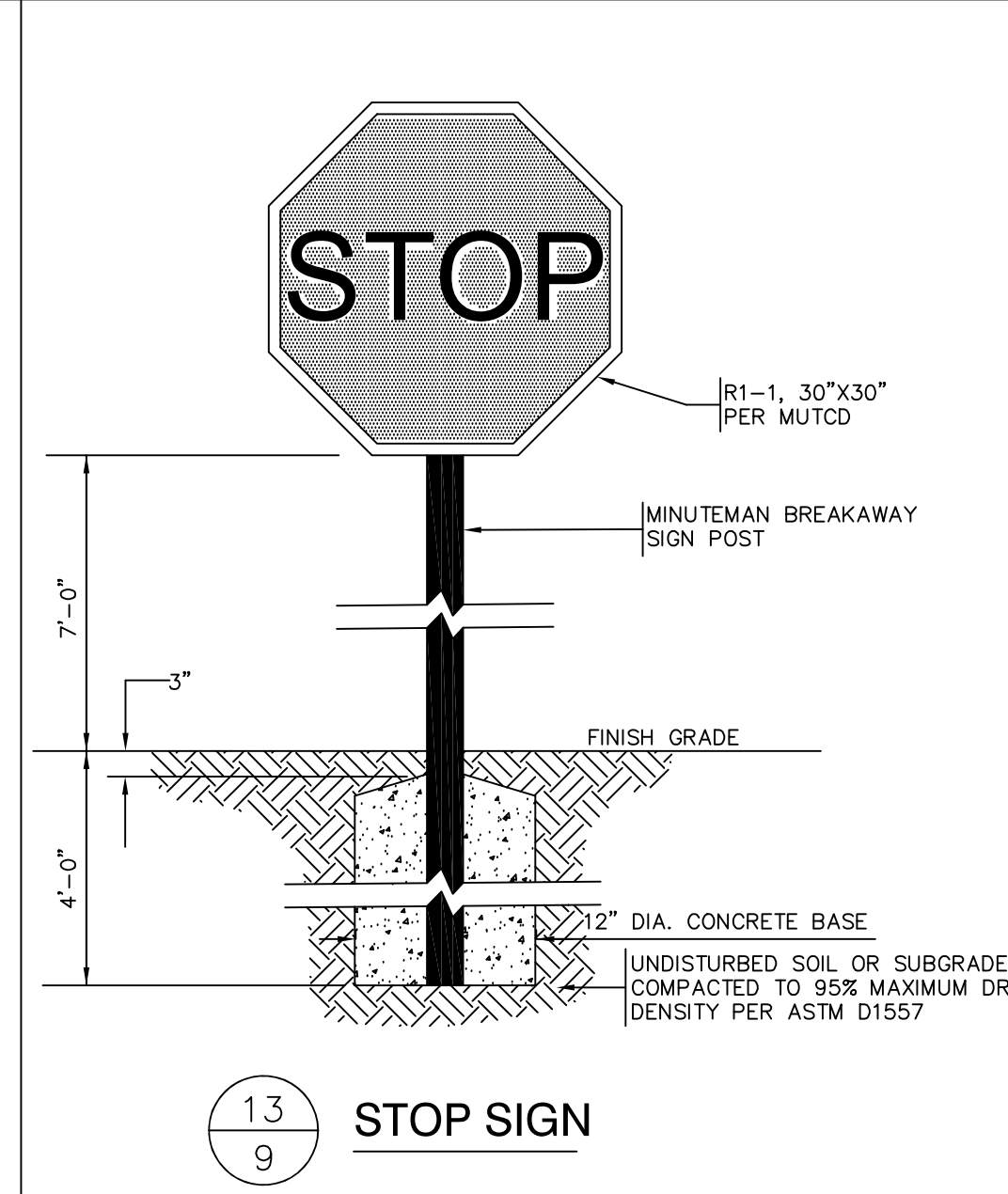


5 ACCESSIBLE PARKING SPACE  
NOT TO SCALE

- NOTES:
- 1) PARKING SPACES SHALL MEET THE REQUIREMENTS OF THE CODE OF MASSACHUSETTS REGULATIONS ARCHITECTURAL ACCESS BOARD - 521CMR.
  - 2) PARKING SPACES AND ACCESS ISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
  - 3) ACCESS ISLES ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE 5'-0" WIDE MINIMUM, EXCEPT ADJACENT VAN ACCESSIBLE SPACES, THE ACCESS ISLE SHALL BE A MINIMUM 8'-0" WIDE MINIMUM. A MINIMUM OF ONE VAN SPACE SHALL BE PROVIDED PER SITE.
  - 4) TWO ACCESSIBLE SPACES MAY SHARE A COMMON ACCESS ISLE.
  - 5) A SIGN, IDENTIFYING ACCESSIBLE PARKING SPACES AS RESERVED, SHALL BE LOCATED AT THE HEAD OF EACH SPACE AND NO MORE THAN 10'-0" AWAY. THE SIGN SHALL BE AS SPECIFIED BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), R7-8 OR APPROVED EQUAL.
  - 6) SIGNS AT THE HEAD OF VAN ACCESSIBLE SPACES SHALL INCLUDE THE WORDS: VAN ACCESSIBLE, MUTCD R7-8B OR APPROVED EQUAL.

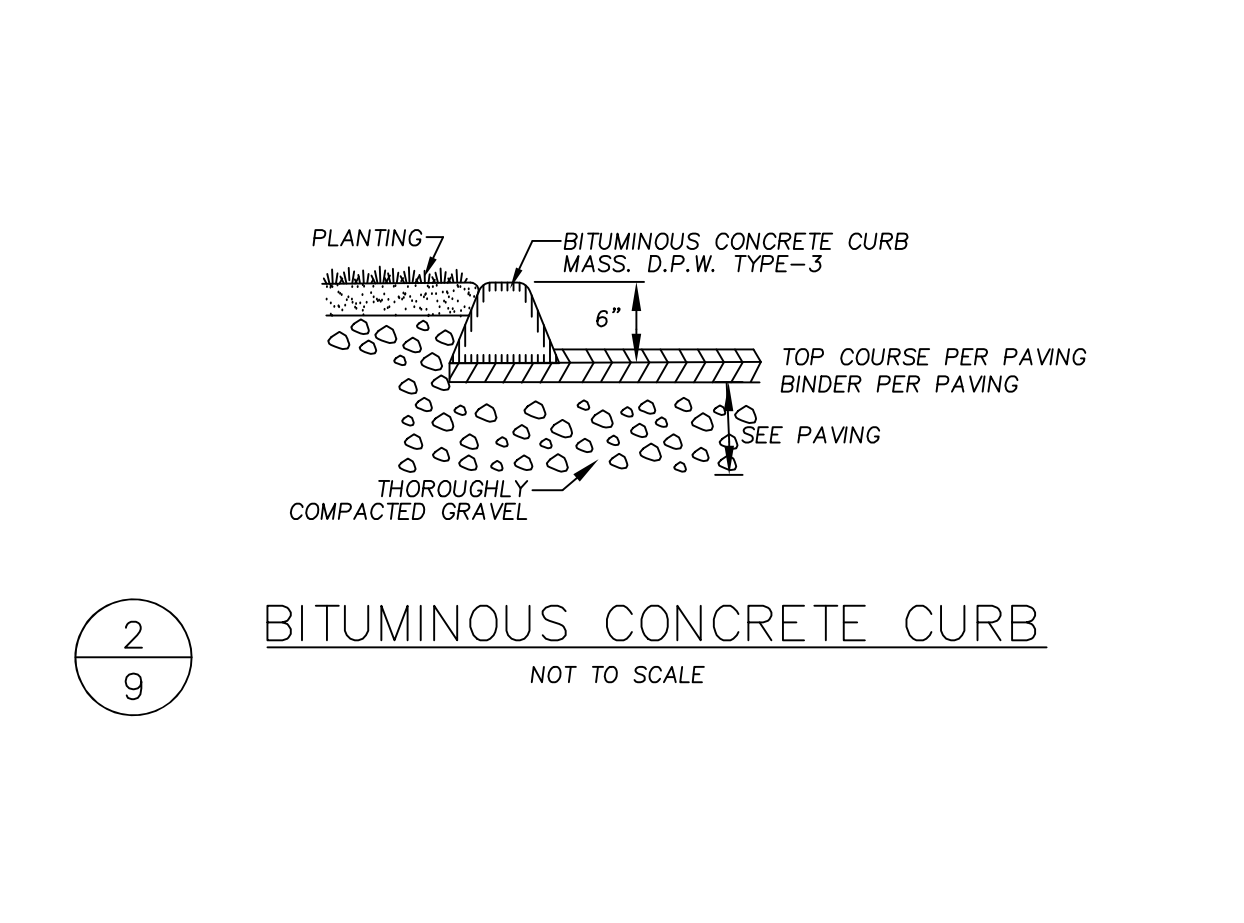


12 TYPICAL BREAKAWAY SIGN POST  
9

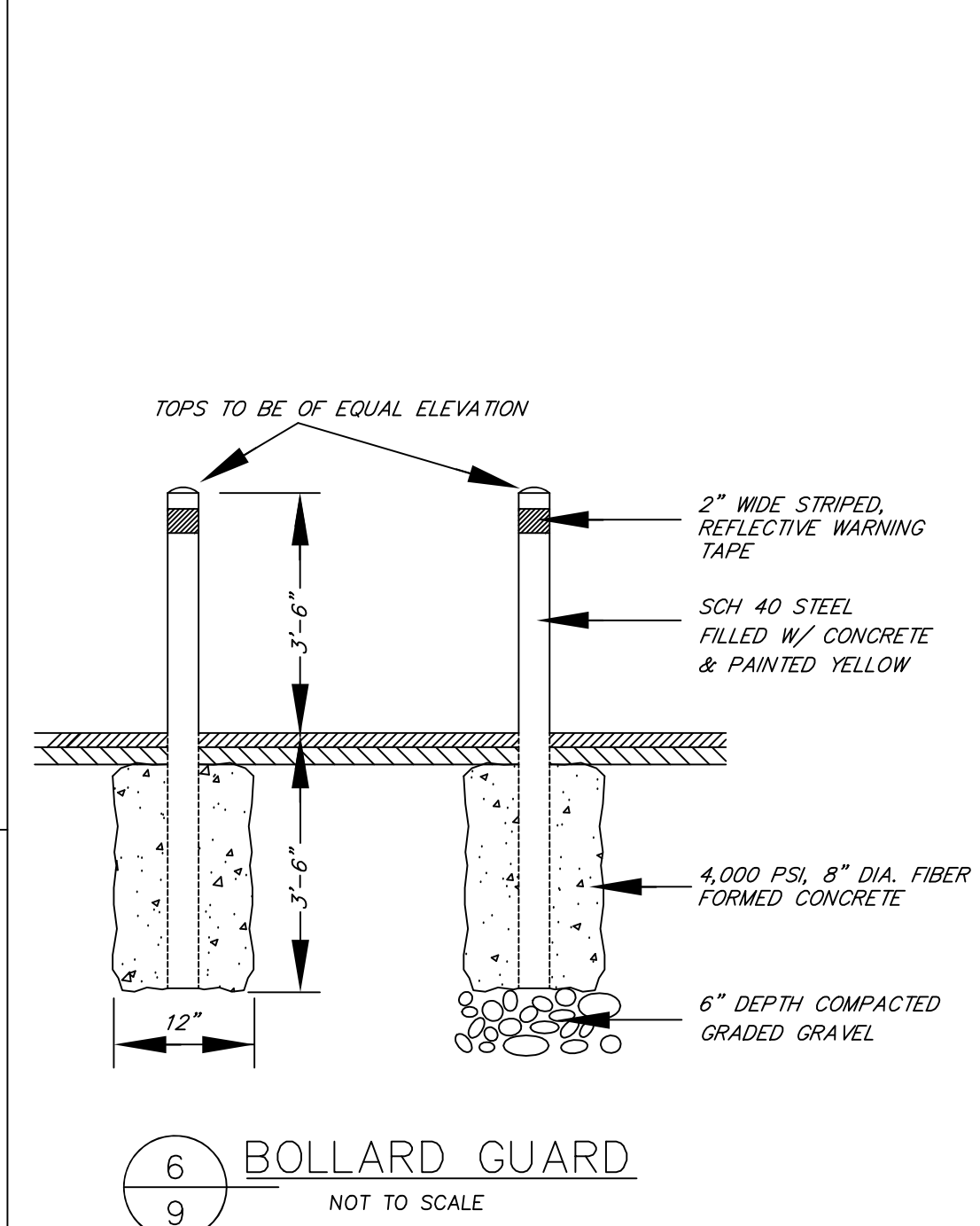


13 STOP SIGN  
9

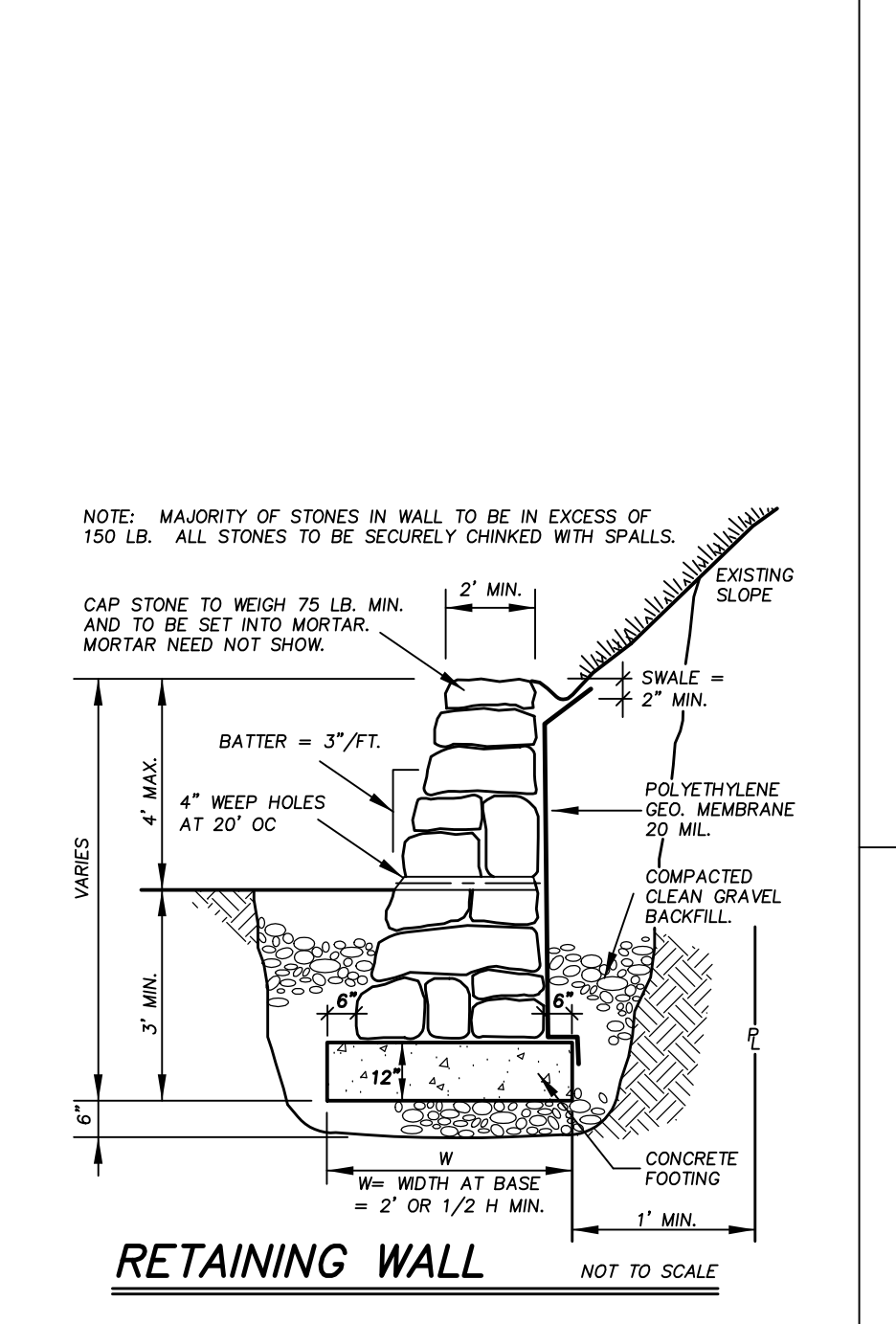
P.E. P.L.S.  
APPROVAL UNDER SITE PLAN REVIEW, STURBRIDGE PLANNING BOARD  
BEING A MAJORITY  
APPROVAL DATE: \_\_\_\_\_  
ENDORSEMENT DATE: \_\_\_\_\_



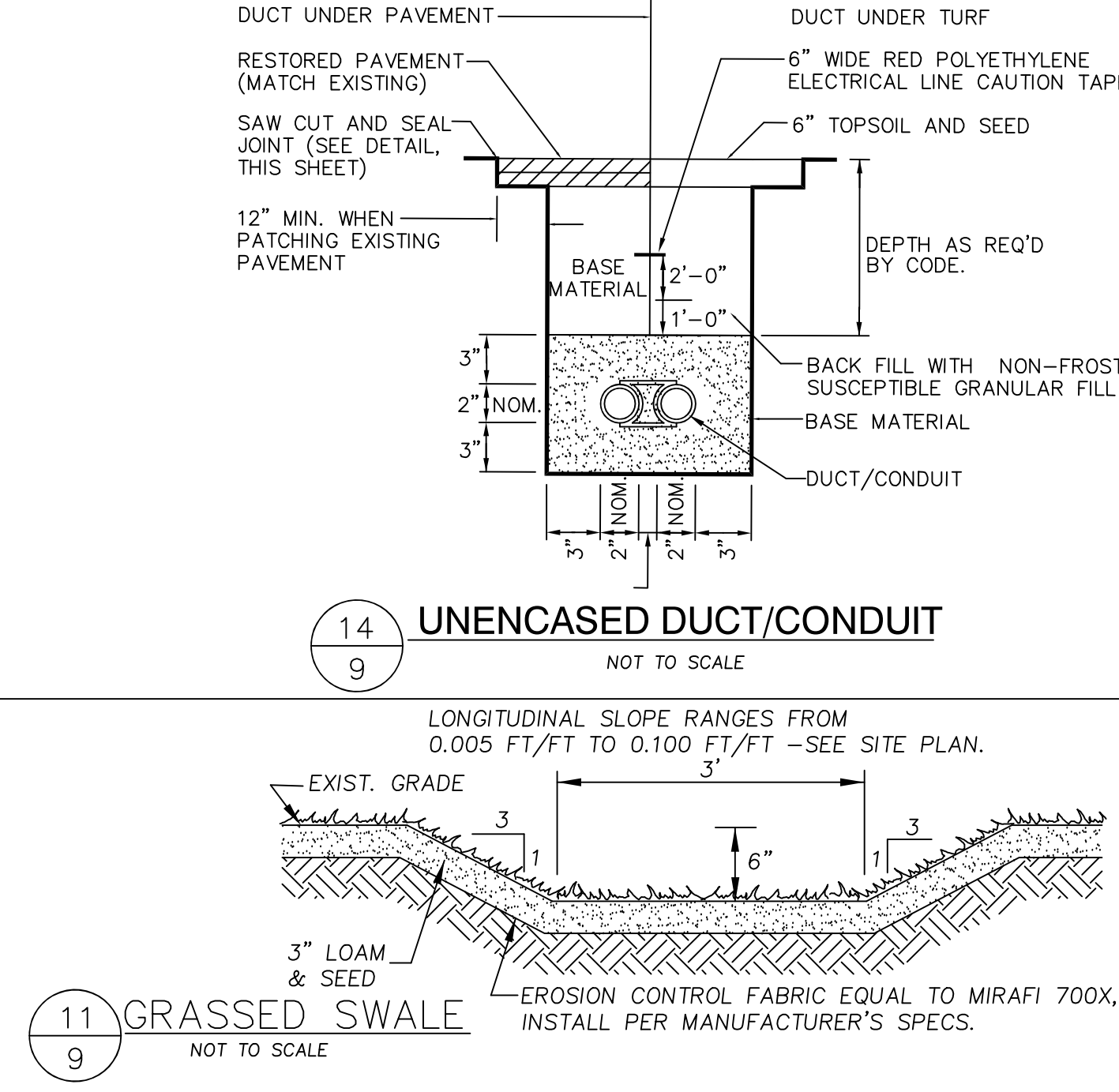
2 BITUMINOUS CONCRETE CURB  
NOT TO SCALE



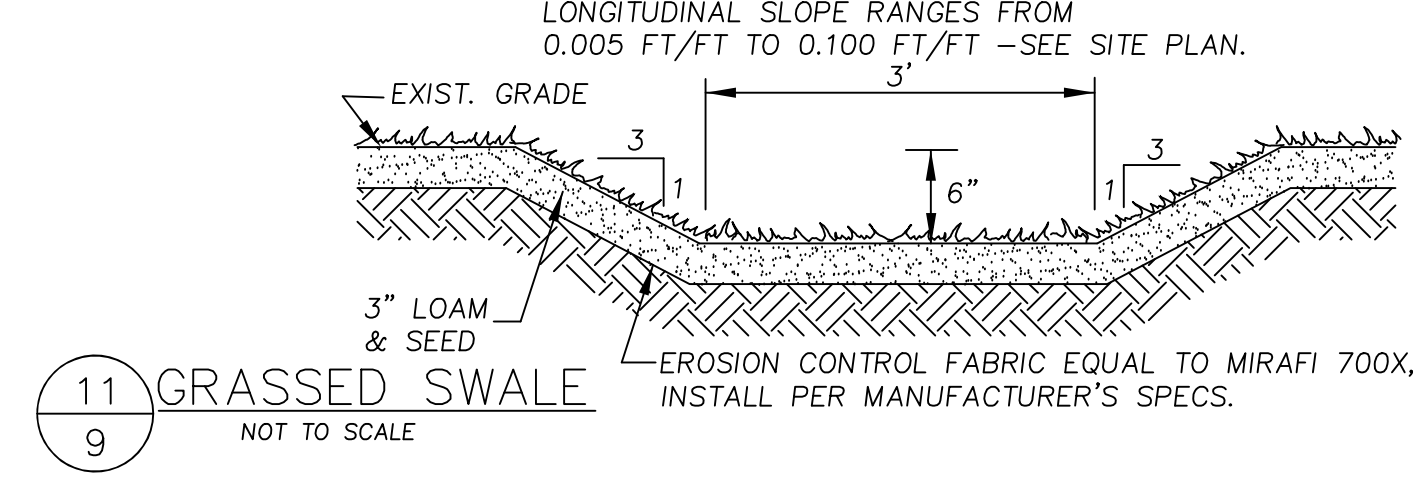
6 BOLLARD GUARD  
NOT TO SCALE



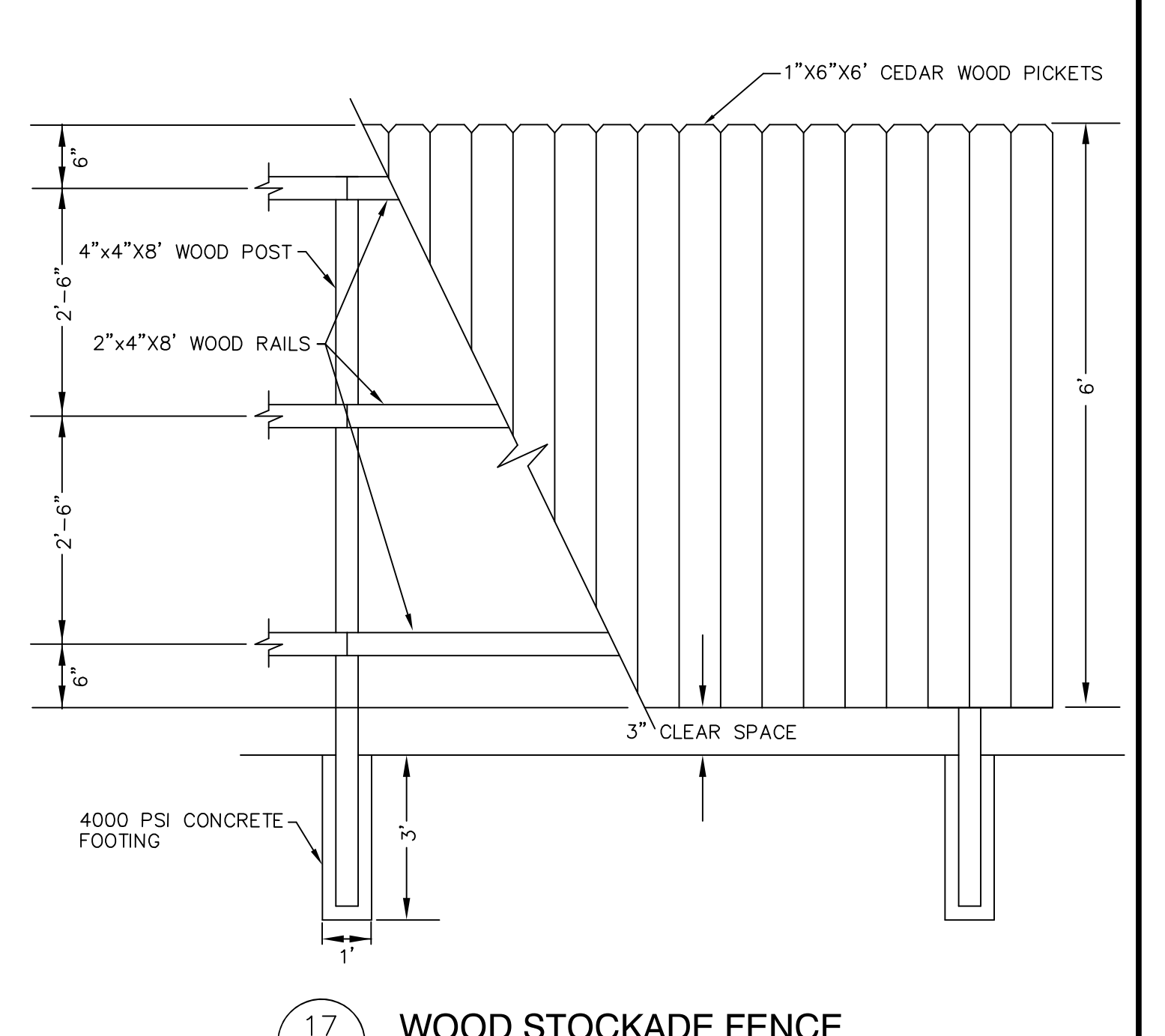
RETAINING WALL  
NOT TO SCALE



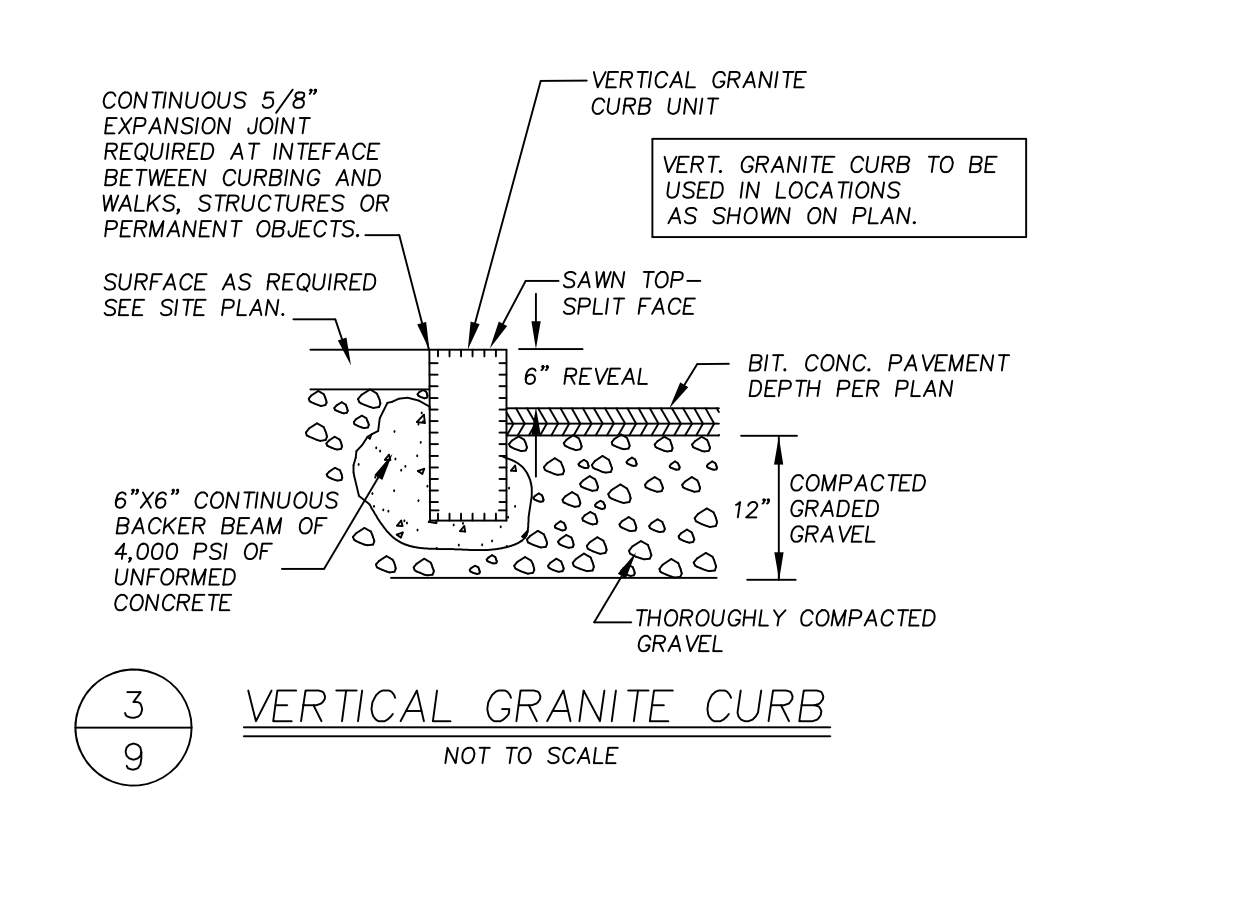
14 UNENCASED DUCT/CONDUIT  
9



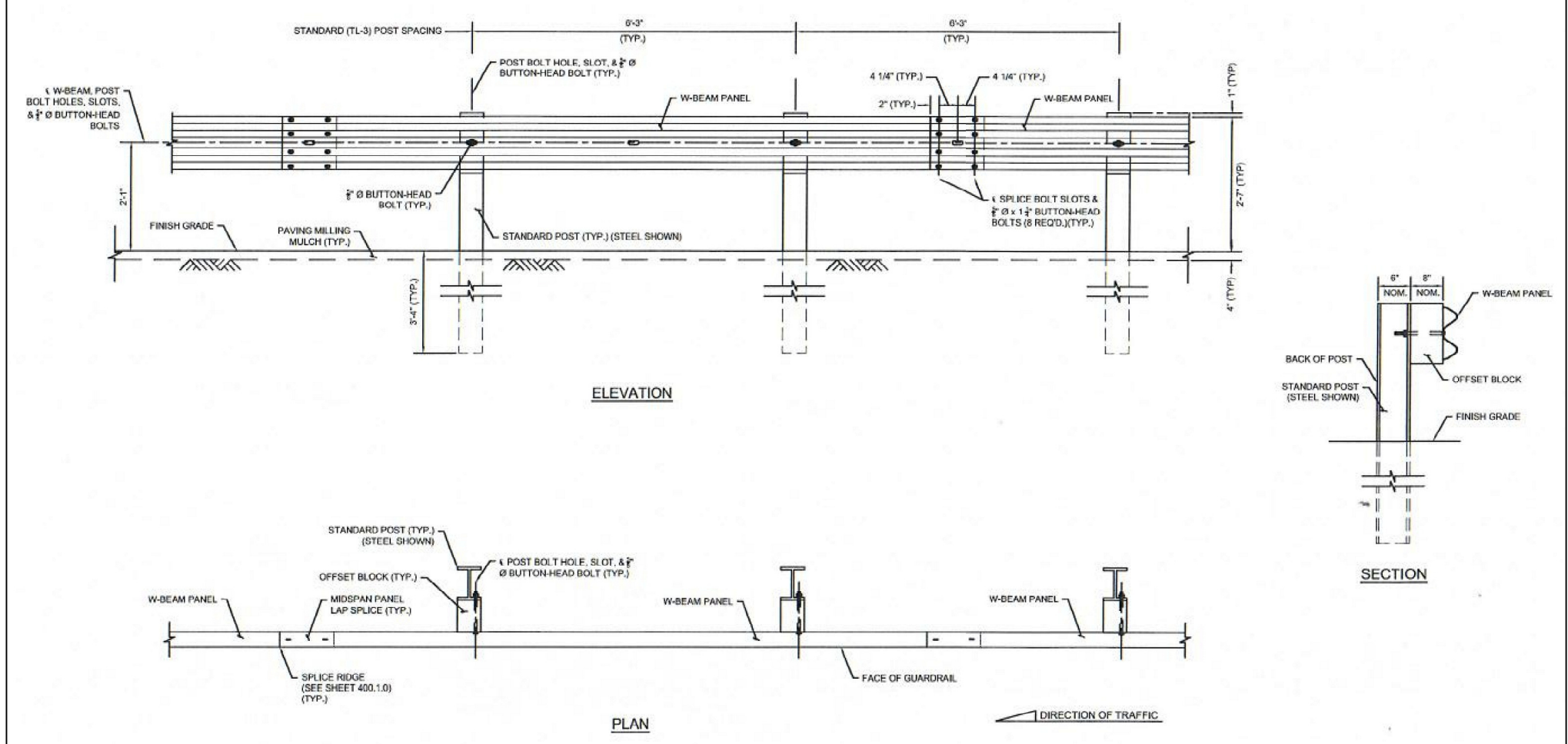
11 GRASSED SWALE  
9



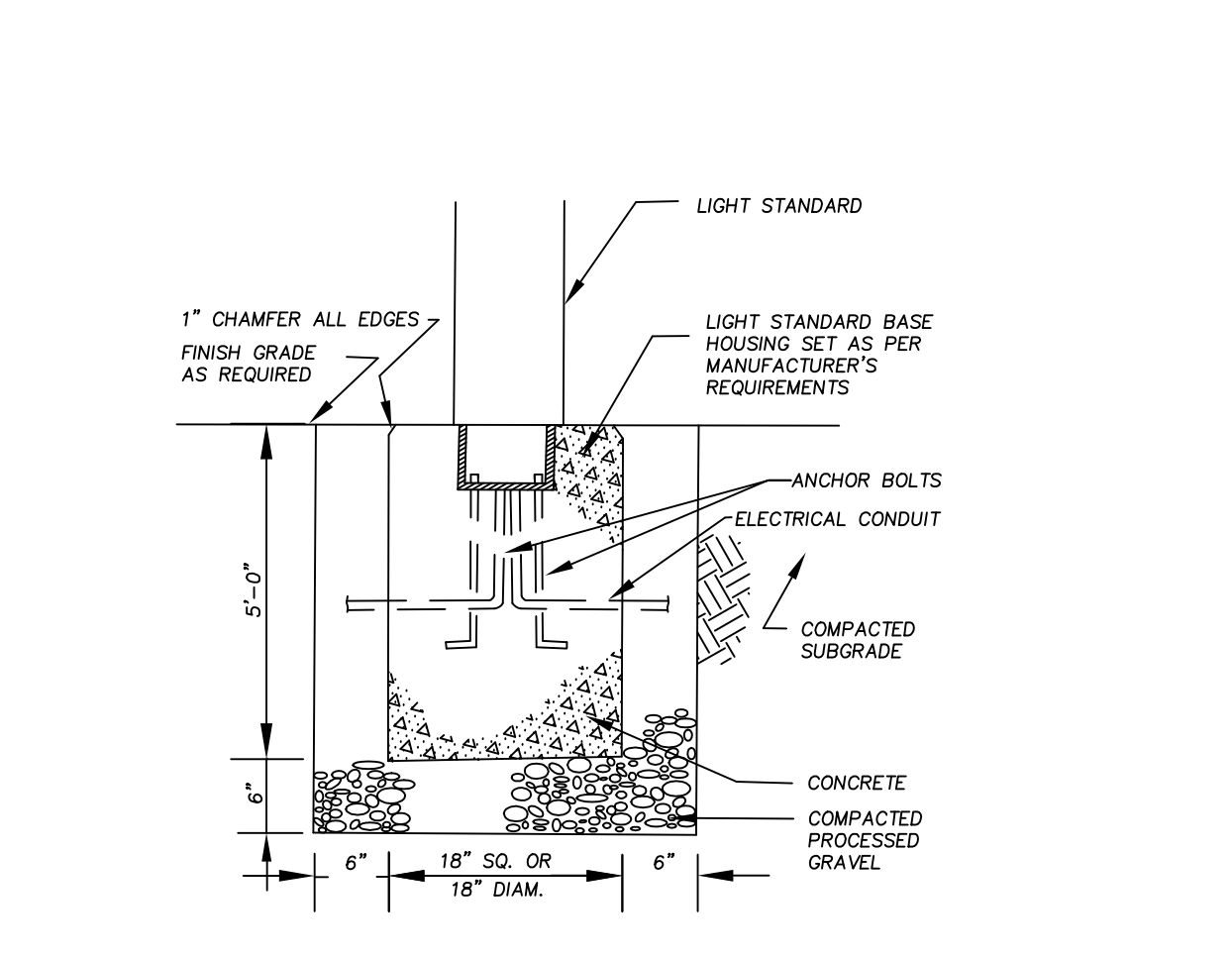
17 WOOD STOCKADE FENCE  
9



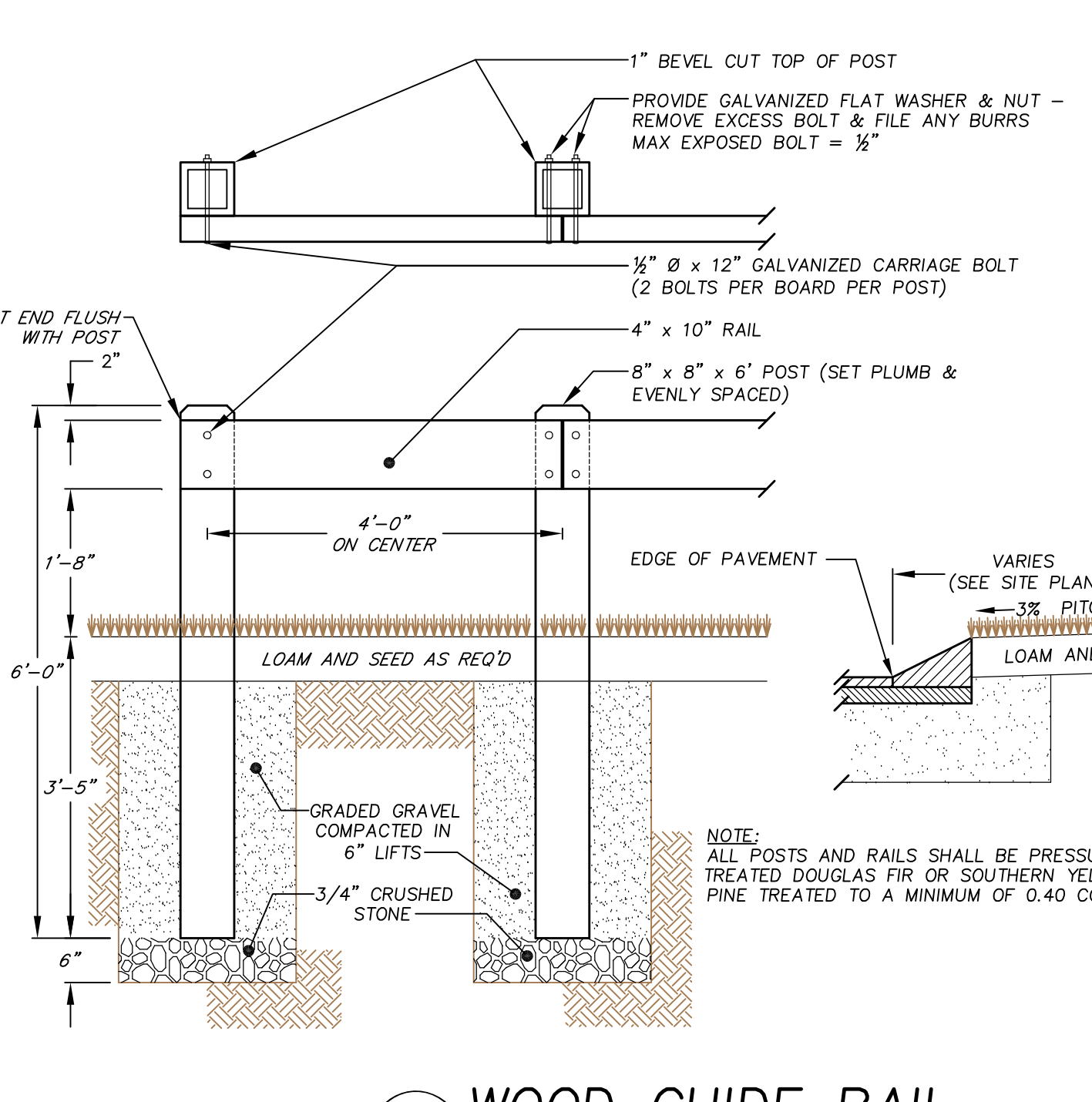
3 VERTICAL GRANITE CURB  
9



15 TYPE TL-3 GUARDRAIL DETAIL  
9



4 LIGHT STANDARD BASE  
9

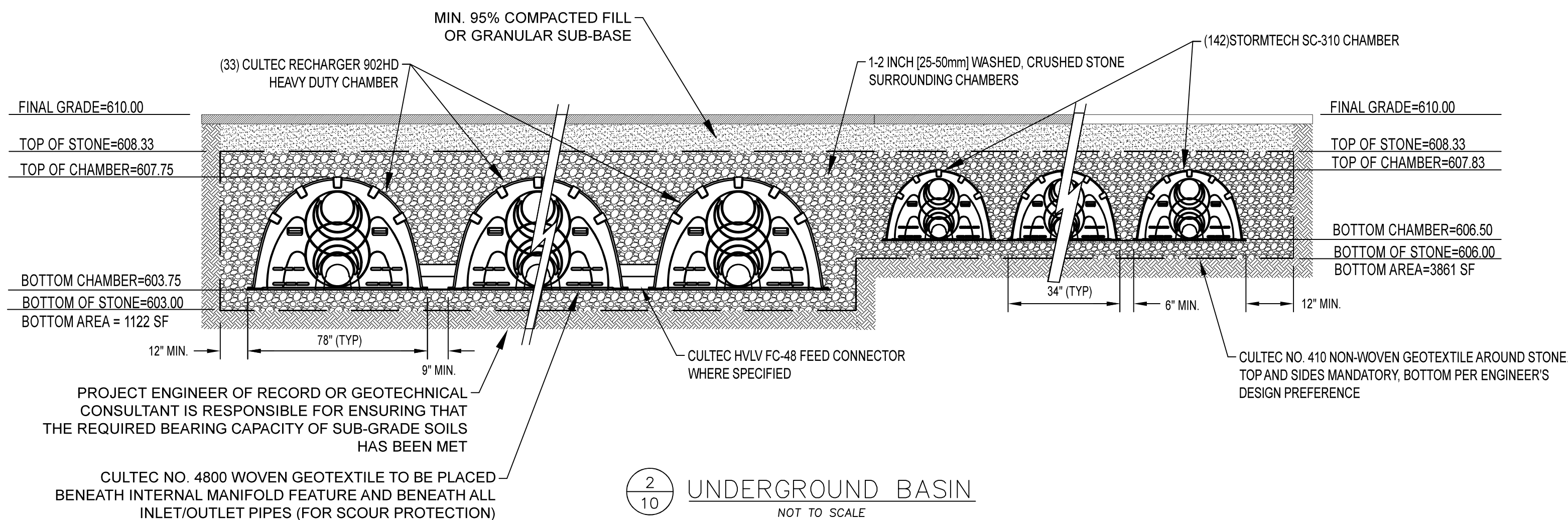


16 WOOD GUIDE RAIL  
9

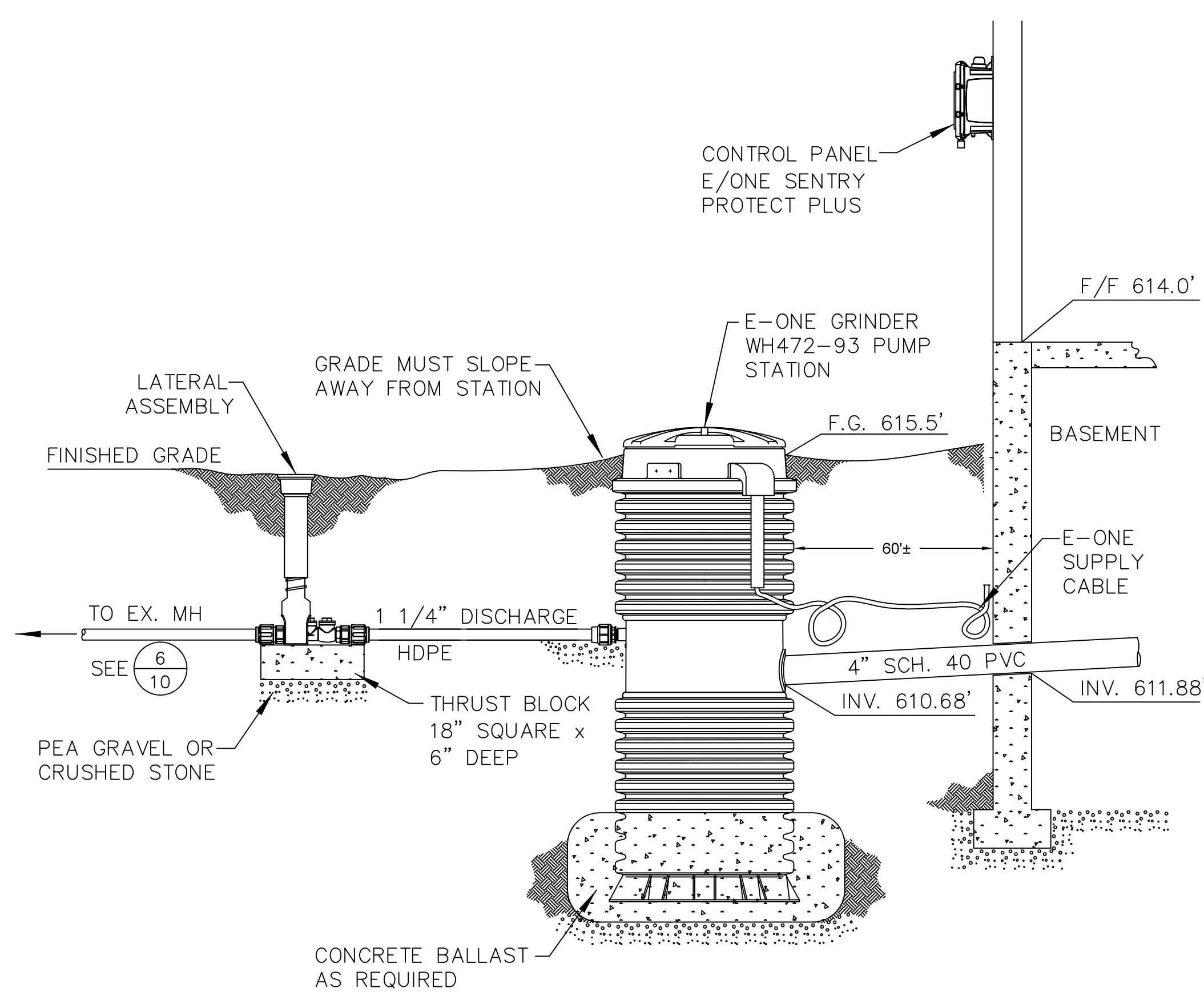
REVISIONS		
REV.	DATE	DESCRIPTION
8	12/8/22	ISSUED FOR PB
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST

PROJECT NO. 20-409  
DESIGNED BY PML  
CHECKED BY AB  
DATE 9/13/21  
CAD FILE 19-288\_150...Alt2.dwg

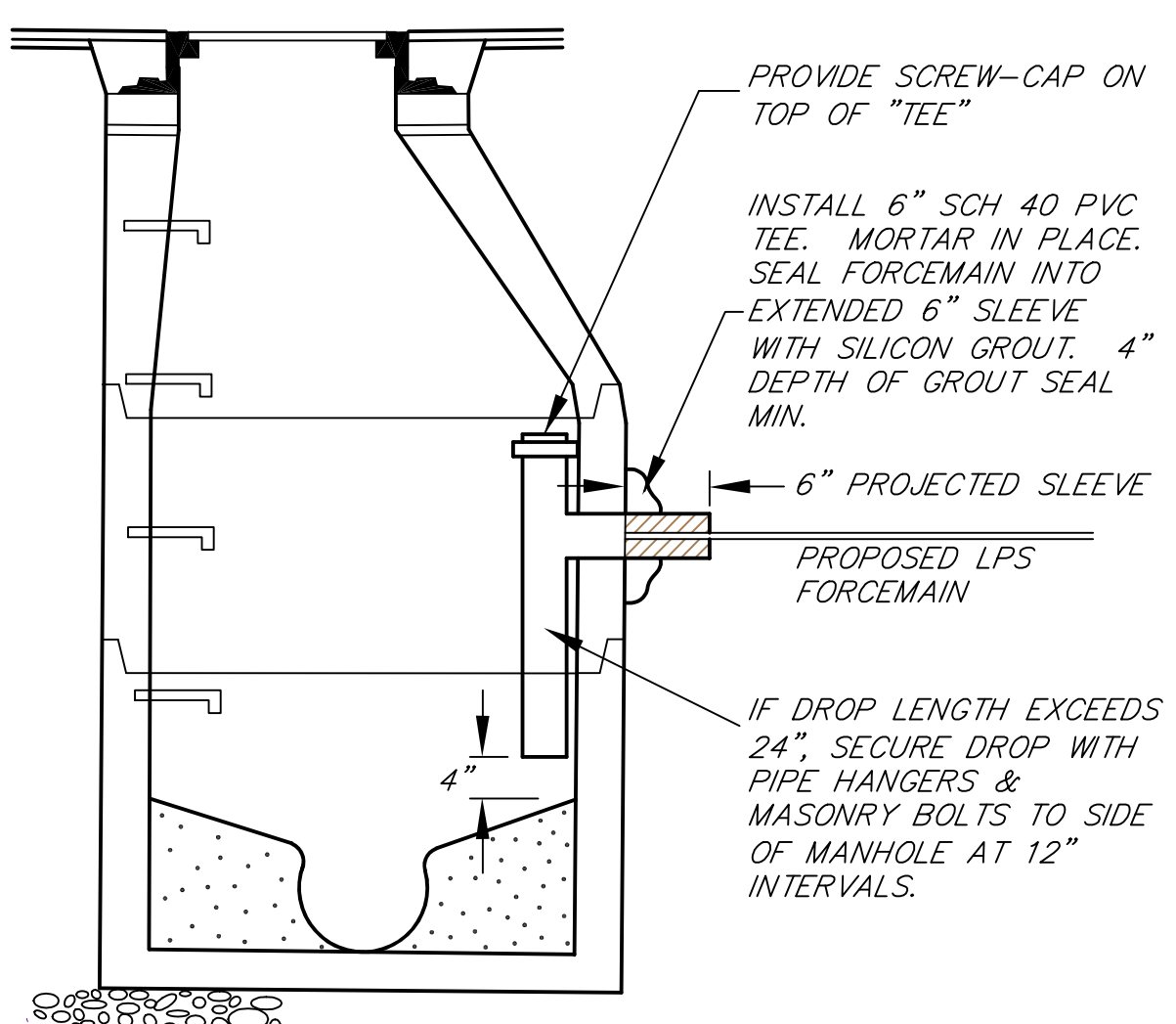
PREPARED BY:  
**SUMMIT**  
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710 MAIN STREET  
OXFORD, MA 01537  
P:(508) 987-8710 F:(508) 987-8714  
SHEET TITLE  
DETAIL SHEET#1  
DEFINITIVE SITE PLAN  
at  
150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA  
PREPARED FOR  
COBRA REALTY TRUST  
SHEET 9 OF 11  
SHEET NO.



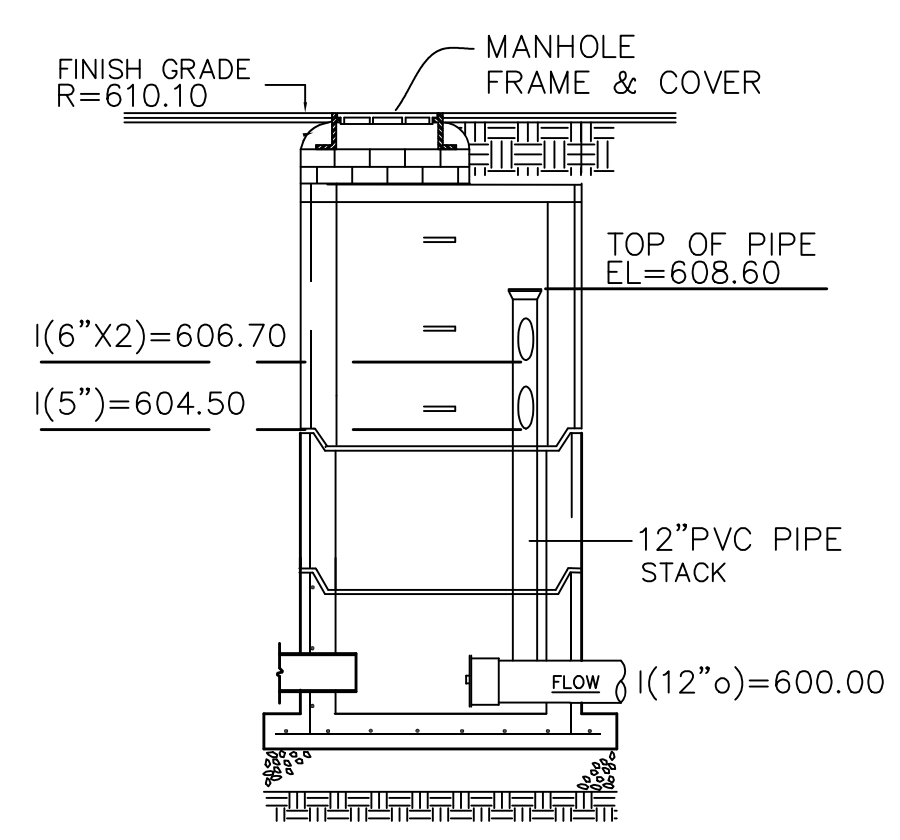
2/10 UNDERGROUND BASIN  
NOT TO SCALE



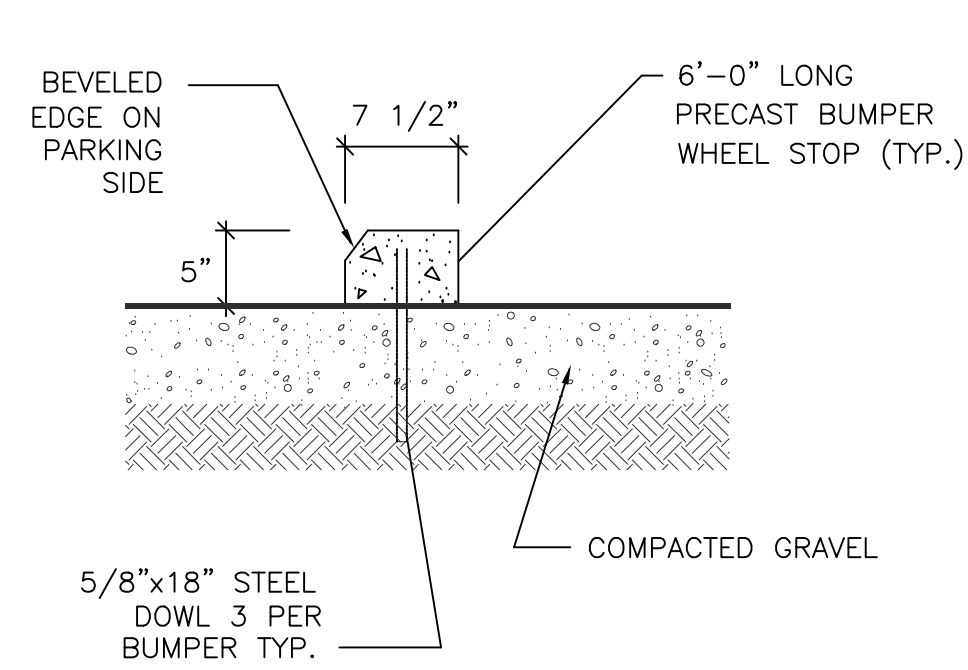
5/10 PROPOSED LP SEWER TIE-IN  
SCALE: NONE



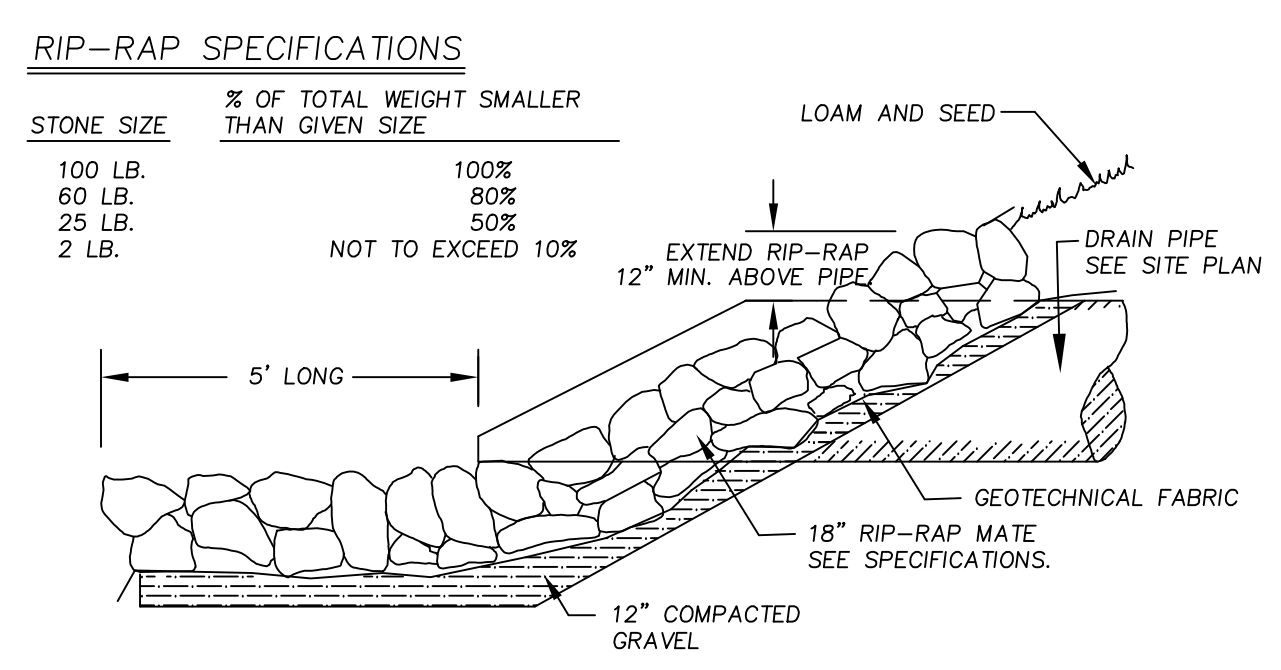
6/10 SEWER MANHOLE CONNECTION  
NOT TO SCALE



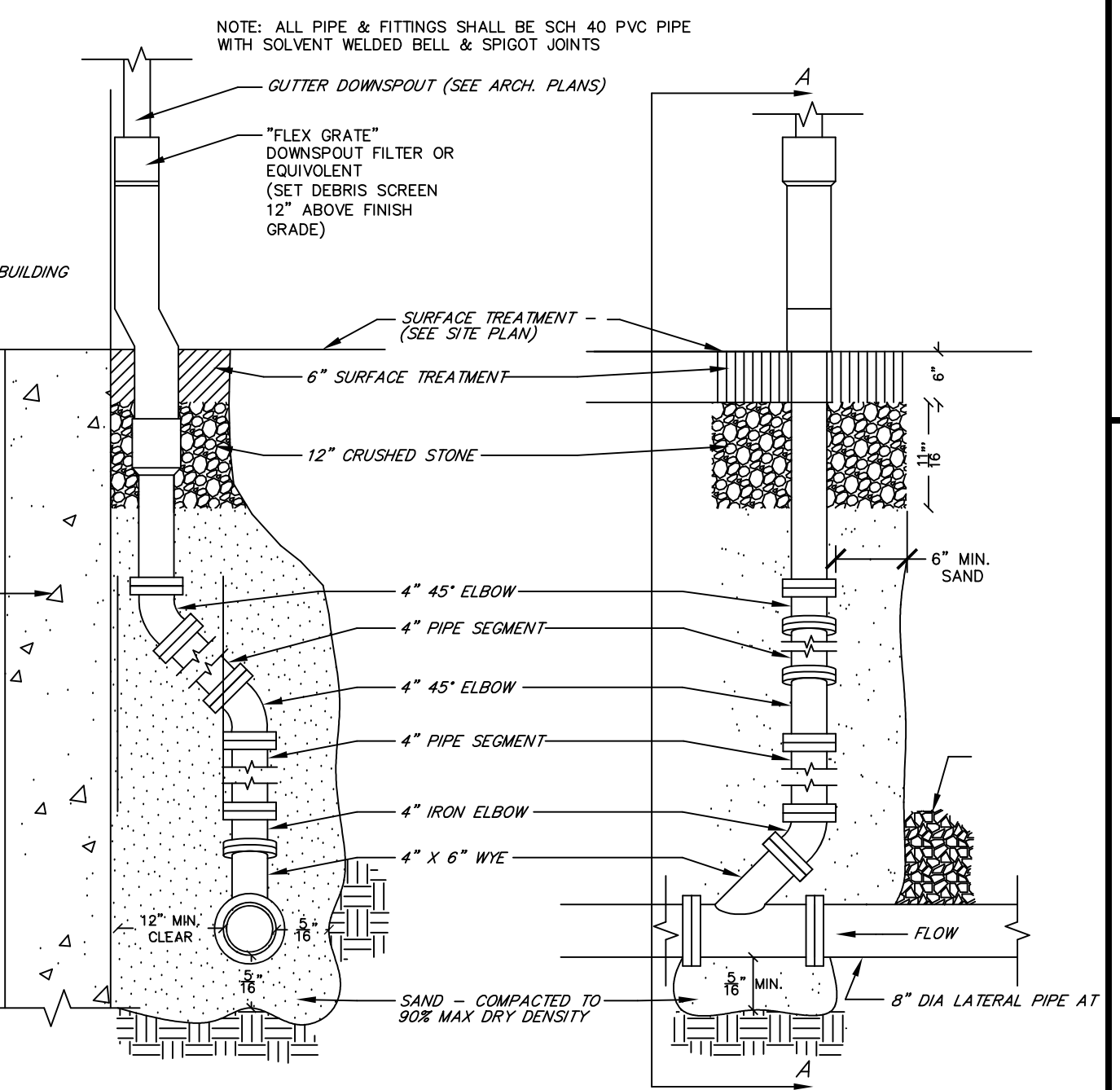
8/10 OUTLET CONTROL STRUCTURE OCS#1  
NOT TO SCALE



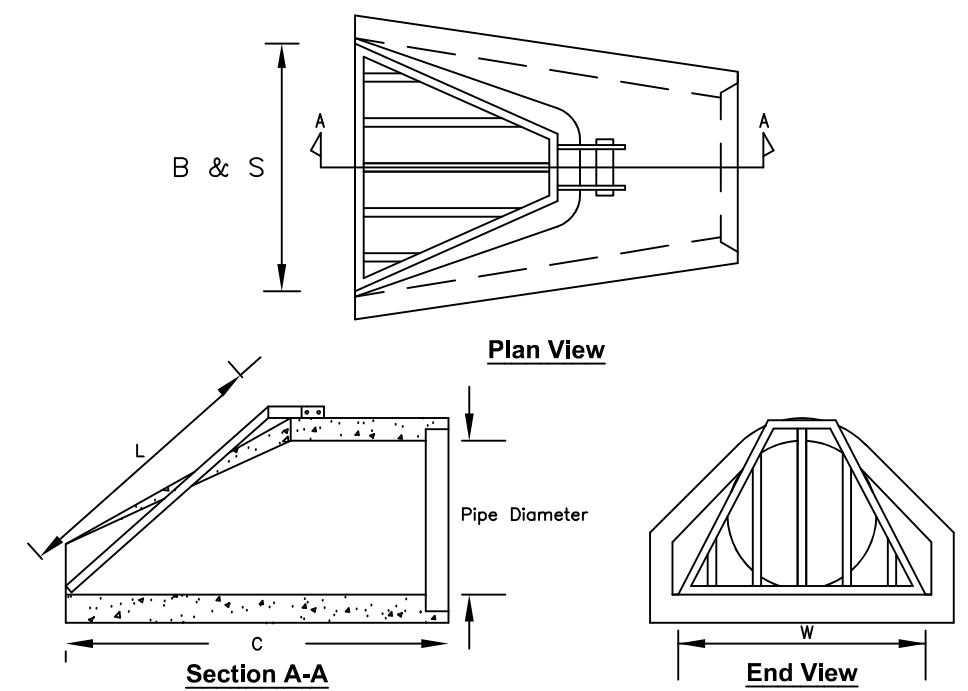
4/10 PRECAST WHEEL STOP  
NOT TO SCALE



6/10 FLARED END RIP-RAP OUTLET  
NOT TO SCALE

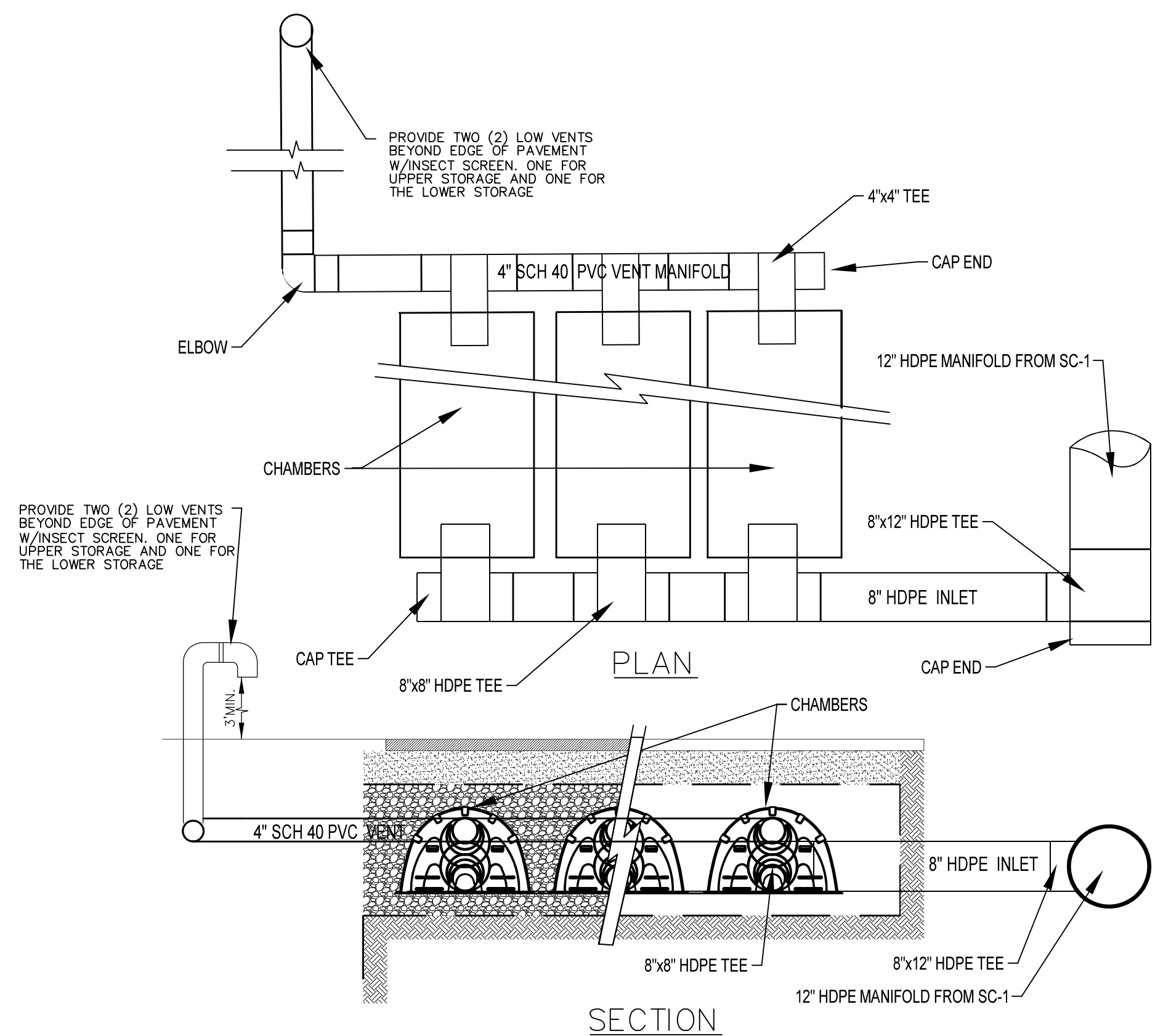


3/10 ROOF DRAIN CONNECTION  
NOT TO SCALE



Pipe Diameter	Trash Rack Width W (in.)	Trash Rack Length L (in.)	Total # of Bars B	Bar Spacing S (in.)
12"	21.00"	30.00"	3	6.0"
15"	28.00"	32.00"	3	6.5"
18"	33.00"	34.00"	3	8.0"

7/10 PIPE TRASH GUARD  
NOT TO SCALE



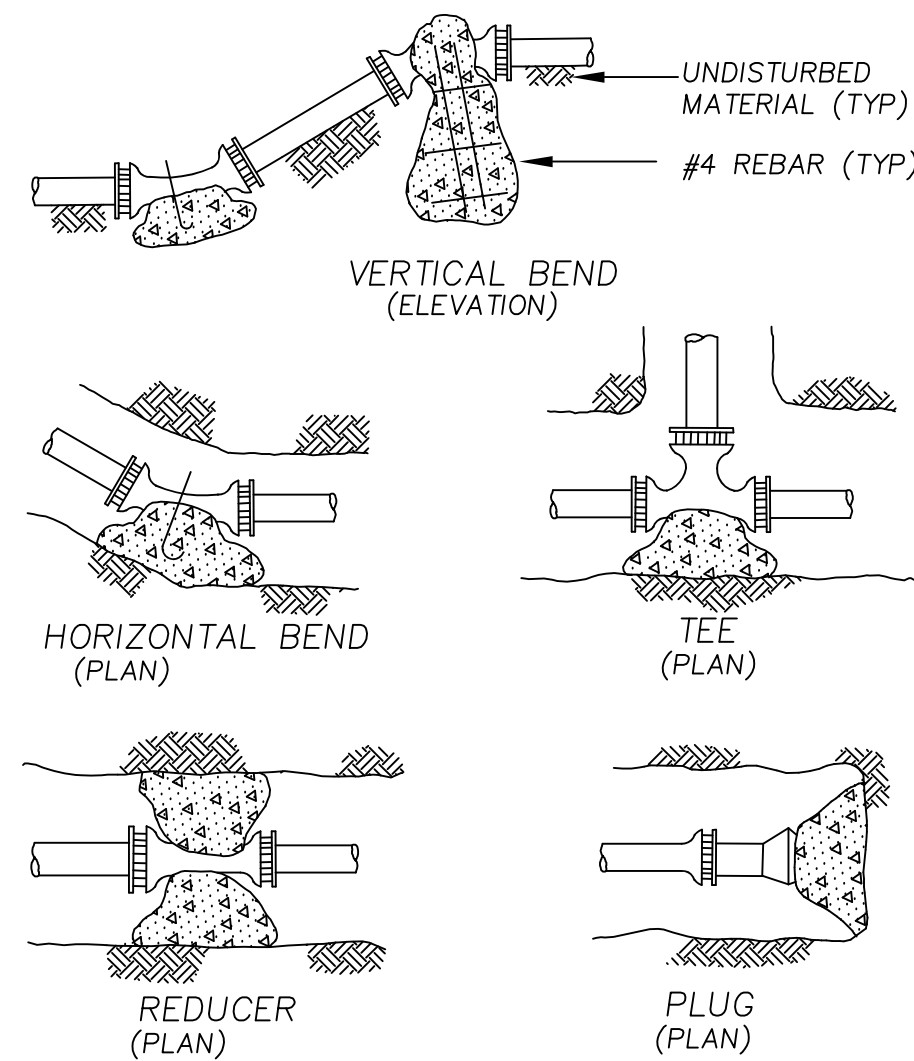
9/10 UNDERGROUND BASIN INLET & VENTING  
NOT TO SCALE

REVISIONS		
REV.	DATE	DESCRIPTION
8	12/8/22	ISSUED FOR PB
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST

PROJECT NO. 20-409  
DESIGNED BY PML  
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CAD FILE 19-288\_150...Alt2.dwg

P.E. P.L.S.  
  
 APPROVAL UNDER SITE PLAN REVIEW, STURBRIDGE PLANNING BOARD  
 BEING A MAJORITY  
 APPROVAL DATE: \_\_\_\_\_  
 ENDORSEMENT DATE: \_\_\_\_\_

PREPARED BY:  
**SUMMIT**  
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 P:(508) 987-8710 F:(508) 987-8714  
 SHEET TITLE  
**DETAIL SHEET#2**  
**DEFINITIVE SITE PLAN**  
 at  
**150 CHARLTON ROAD**  
**(ROUTE 20)**  
**STURBRIDGE, MA**  
 PREPARED FOR  
**COBRA REALTY TRUST**  
 SHEET 10 OF 11  
 SHEET NO.



AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 250 P.S.I. & 1.5 TONS/S.F. ALLOWABLE SOIL BEARING CAPACITY

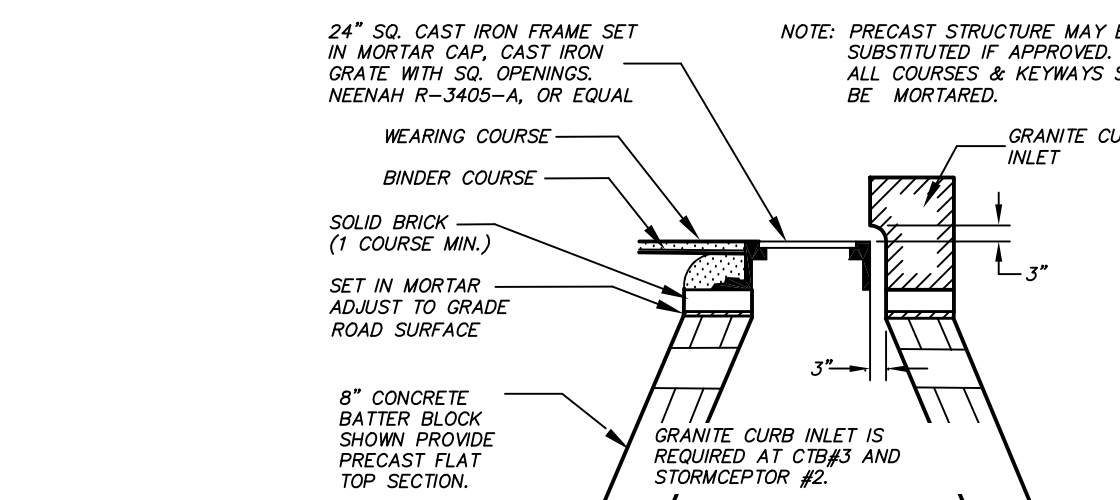
PIPE SIZE (M) BEND	1/4 BEND	1/8 BEND	1/16 BEND & TEES	PLUG
4, 6, 8,	6.0	2.9	2.3	4.5
10	9.6	5.2	2.3	6.7
12	13.3	6.7	3.7	9.6
16	24.0	11.8	3.7	17.0

BEARING AREA - SQ. FT.

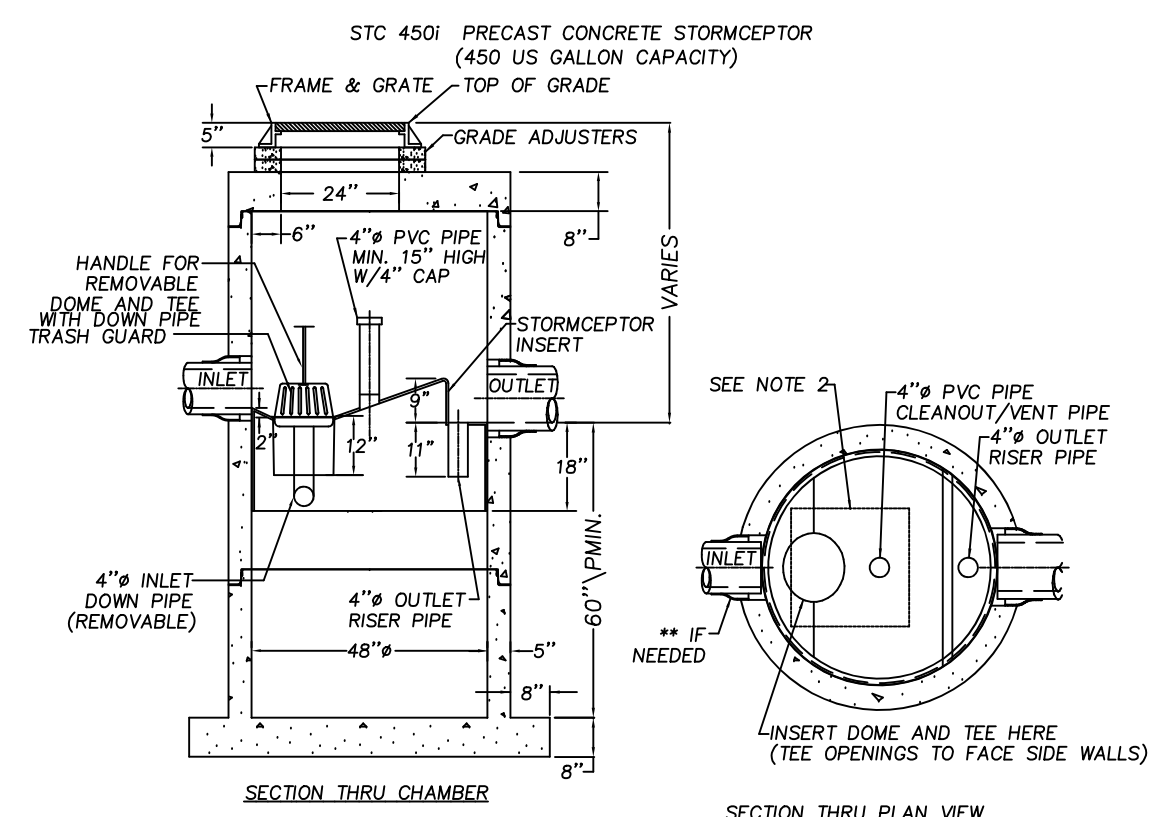
NORMAL FITTING DIAMETER	FITTING				
	90° BEND	45° BEND	BETWEEN 10°-45°	BRANCH OF TEE	DEAD END
6"	4	2	2	4	4
8"	7	4	3	5	5

- ALL BENDS, TEES, WYES, HYDRANTS AND DEAD ENDS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS
- BEARING AREA (H X L) IS AREA OF CONE IN CONTACT WITH WALL OF TRENCH
- HEIGHT (H) & LENGTH (L) AS REQUIRED TO OBTAIN BEARING AREA IN TABLE
- BOULDERS ARE NOT TO BE USED AS THRUST BLOCKS.

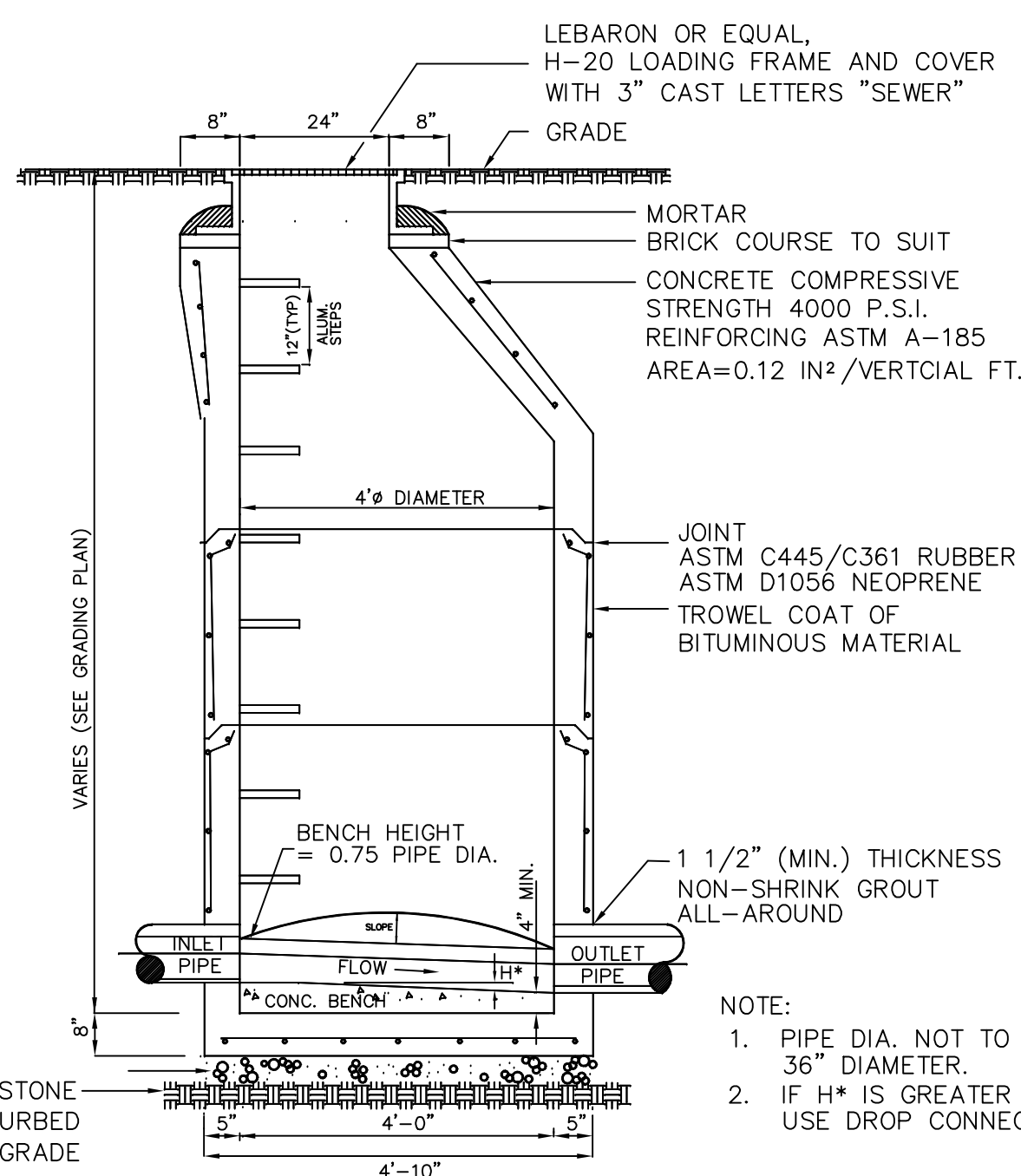
1 THRUST BLOCK DETAILS  
NOT TO SCALE



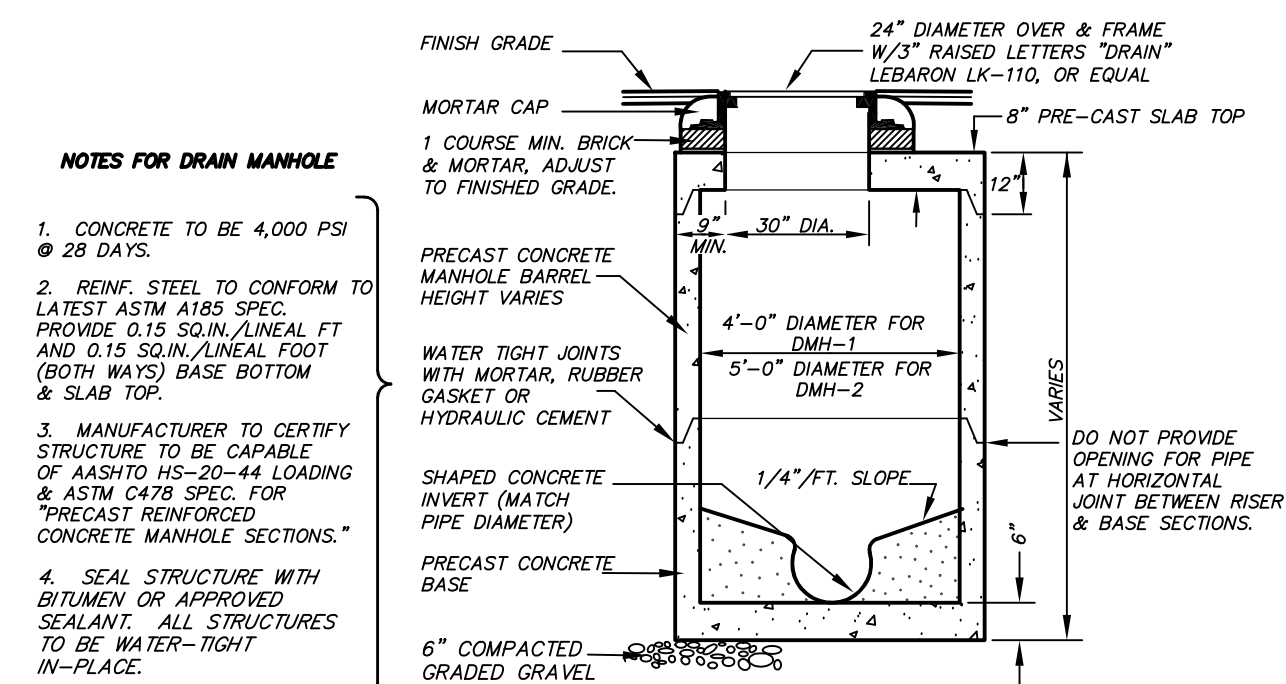
2 CATCHBASIN WITH GRANITE CURB  
NOT TO SCALE



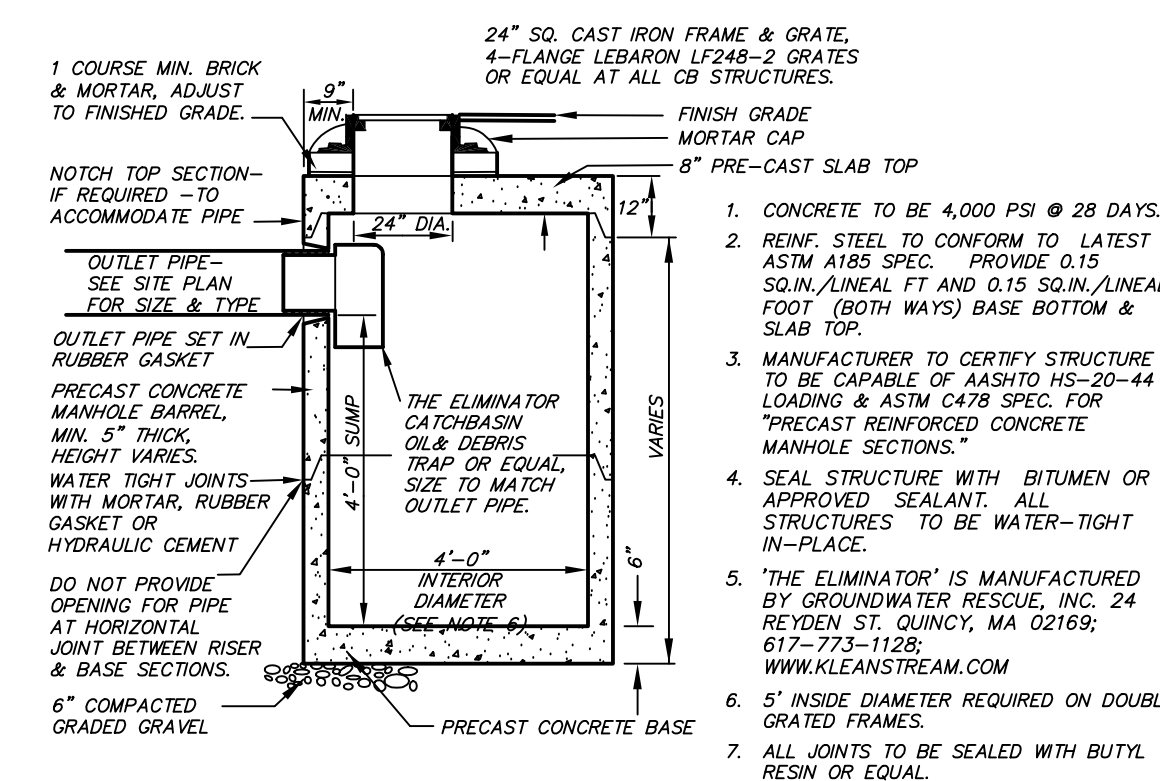
7 STORMCEPTOR - WATER QUALITY SEPARATOR  
NOT TO SCALE



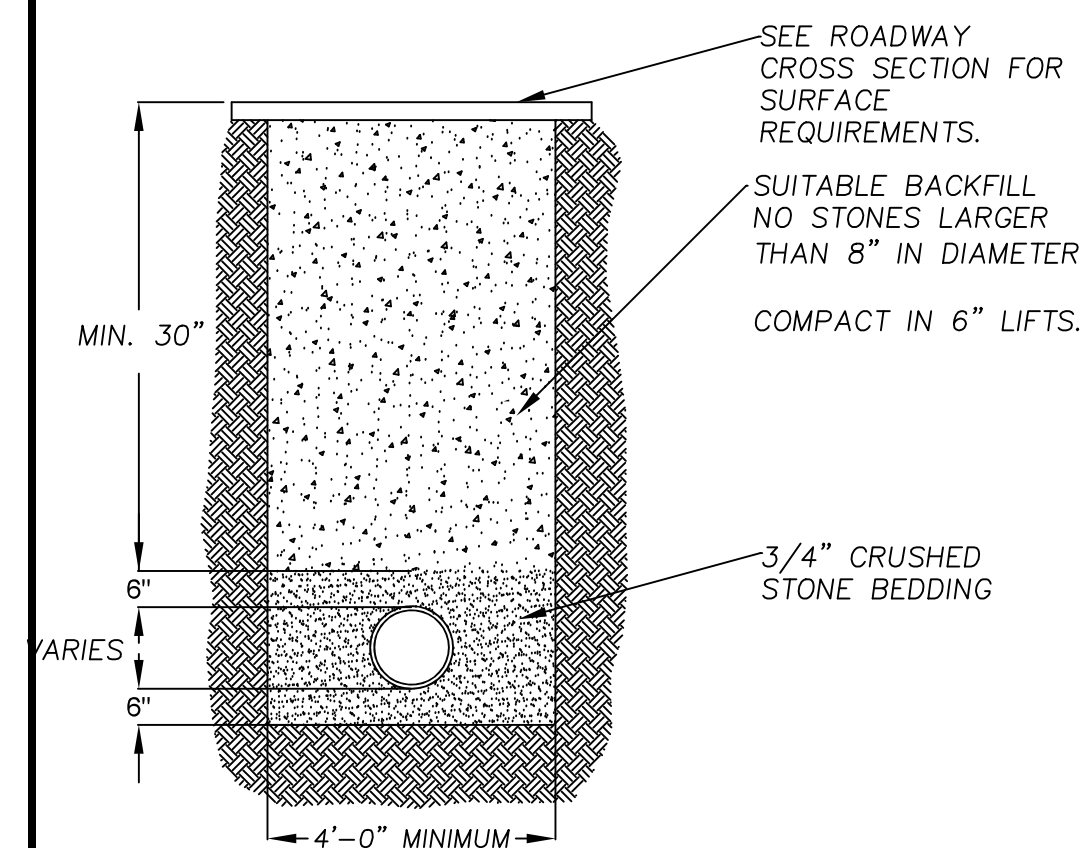
5 STANDARD SANITARY MANHOLE  
NOT TO SCALE



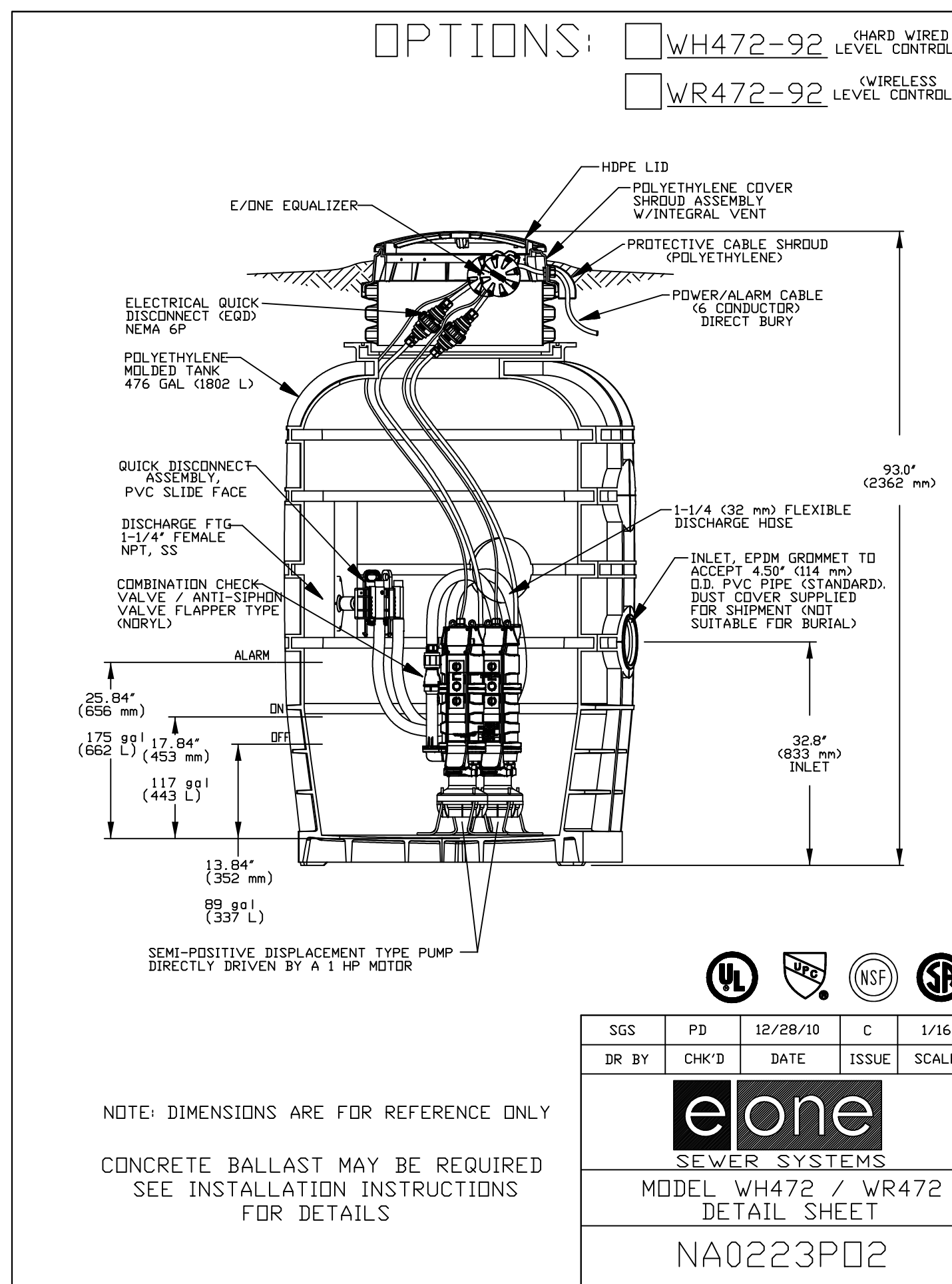
6 PRECAST DRAIN MANHOLE  
NOT TO SCALE



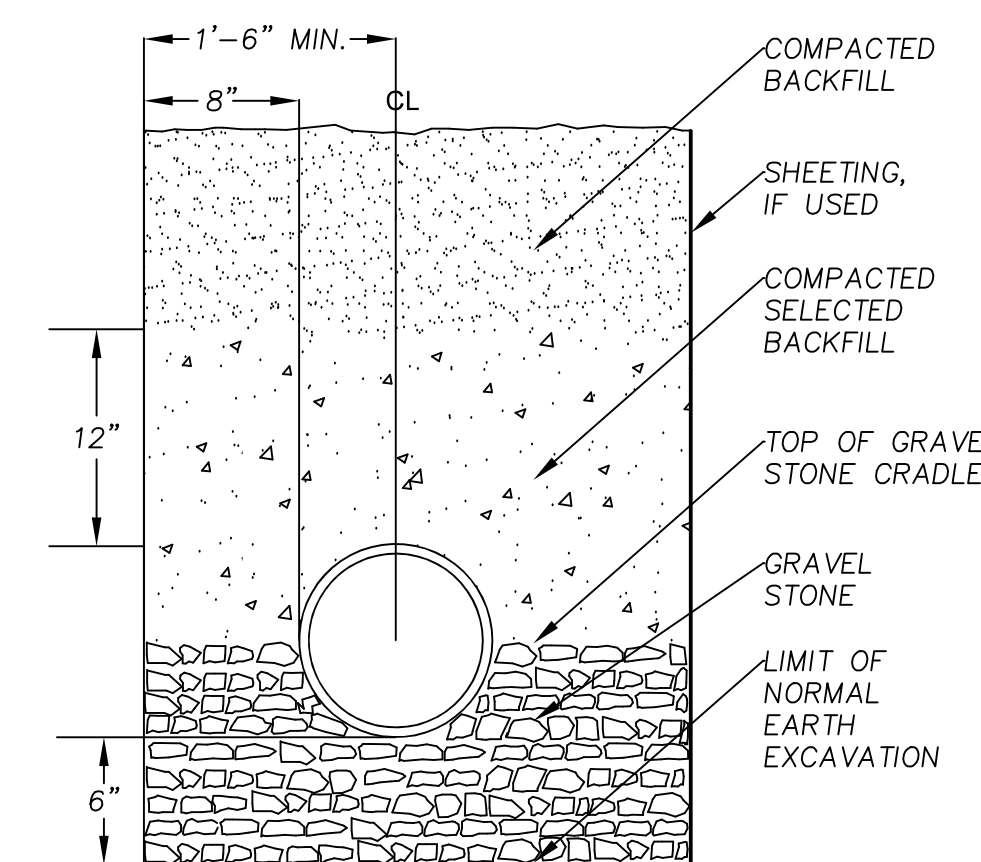
4 PRECAST CONCRETE FLAT TOP CATCH BASIN  
NOT TO SCALE



10 TYPICAL SEWER MAIN TRENCH  
NOT TO SCALE



8 E-ONE PUMP (TYP.)  
NOT TO SCALE



9 TYPICAL DRAIN MAIN TRENCH  
NOT TO SCALE

REVISIONS

REV.	DATE	DESCRIPTION
8	12/8/22	ISSUED FOR PB
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST

PROJECT NO. 20-409

DESIGNED BY PML

CHECKED BY AB

DATE 9/13/21

CAD FILE 19-288\_150...Alt2.dwg

P.E. P.L.S.

MIKEL A. LASSILA  
CIVIL  
No. 45680  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MASSACHUSETTS

APPROVAL UNDER SITE PLAN REVIEW, STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: \_\_\_\_\_

ENDORSEMENT DATE: \_\_\_\_\_

PREPARED BY:

**SUMMIT**  
Engineering & Survey, Inc.  
710 MAIN STREET  
OXFORD, MA 01537  
P:(508) 987-8710 F:(508) 987-8714

SHEET TITLE

DETAIL SHEET#3

DEFINITIVE SITE PLAN  
at  
150 CHARLTON ROAD  
(ROUTE 20)  
STURBRIDGE, MA  
PREPARED FOR  
COBRA REALTY TRUST  
SHEET 11 OF 11

SHEET NO.

C-11.0