

1.) PROPERTY LINES/SITE FEATURES ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC.

2.) ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE TOWN OF STURBRIDGE'S DEPARTMENT OF PUBLIC WORKS & PARKS STANDARD SPECIFICATIONS & DETAILS, UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER.

3.) THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.

4.) UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX.

5.) THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.

6.) DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING SOON AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED BY WEIGHTED SNOW FENCE, CHICKEN WIRE MESH OR JUTE NETTING WITH STAPLES. SEED FOR PERMANENT GRASS COVER SHOULD BE ACCORDING TO SOIL CONSERVATION SERVICE GUIDELINES FOR SOIL AND MOISTURE CONDITIONS FOUND ON THE SITE.

7.) SEDIMENTATION CONTROL FENCE AND/OR STRAW BALES SHALL BE MAINTAINED UNTIL ALL SLOPES HAVE BEEN STABILIZED AND THERE IS NO DANGER OF EROSION DIRECTLY ONTO ABUTTING PROPERTIES.

8.) PRIOR TO INITIATING CONSTRUCTION, SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED. THE CONTRACTOR SHALL MAINTAIN THE DEVICES UNTIL ALL WORK IS COMPLETE AND ALL AREAS HAVE BEEN STABILIZED.

9.) IF THE PROPOSED ROADWAY AREAS ARE NOT PAVED IMMEDIATELY AFTER THE INSTALLATION OF THE DRAINAGE STRUCTURES, HAY BALES SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.

10.) THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE BASED ON FIELD AND RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF STRUCTURES AND UTILITIES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. PRIOR TO, AND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE LOCAL UTILITY COMPANIES, WITH THE TOWN OF STURBRIDGE'S HIGHWAY DEPARTMENT, OTHER TOWN UTILITY DEPARTMENTS, APPLICABLE PRIVATELY OWNED UTILITY COMPANIES AND DIG-SAFE (1-888-344-7233) TO VERIFY UTILITY LOCATION AND TO PROTECT UTILITIES DURING AND AFTER CONSTRUCTION.

11.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.

12.) THE CONTRACTOR SHALL PROVIDE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE TOWN OF STURBRIDGE REQUIREMENTS.

13.) NO TRENCHES SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.

14.) ALL POTABLE WATER AND SANITARY BUILDING SERVICE CONNECTIONS SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF TEN FEET.

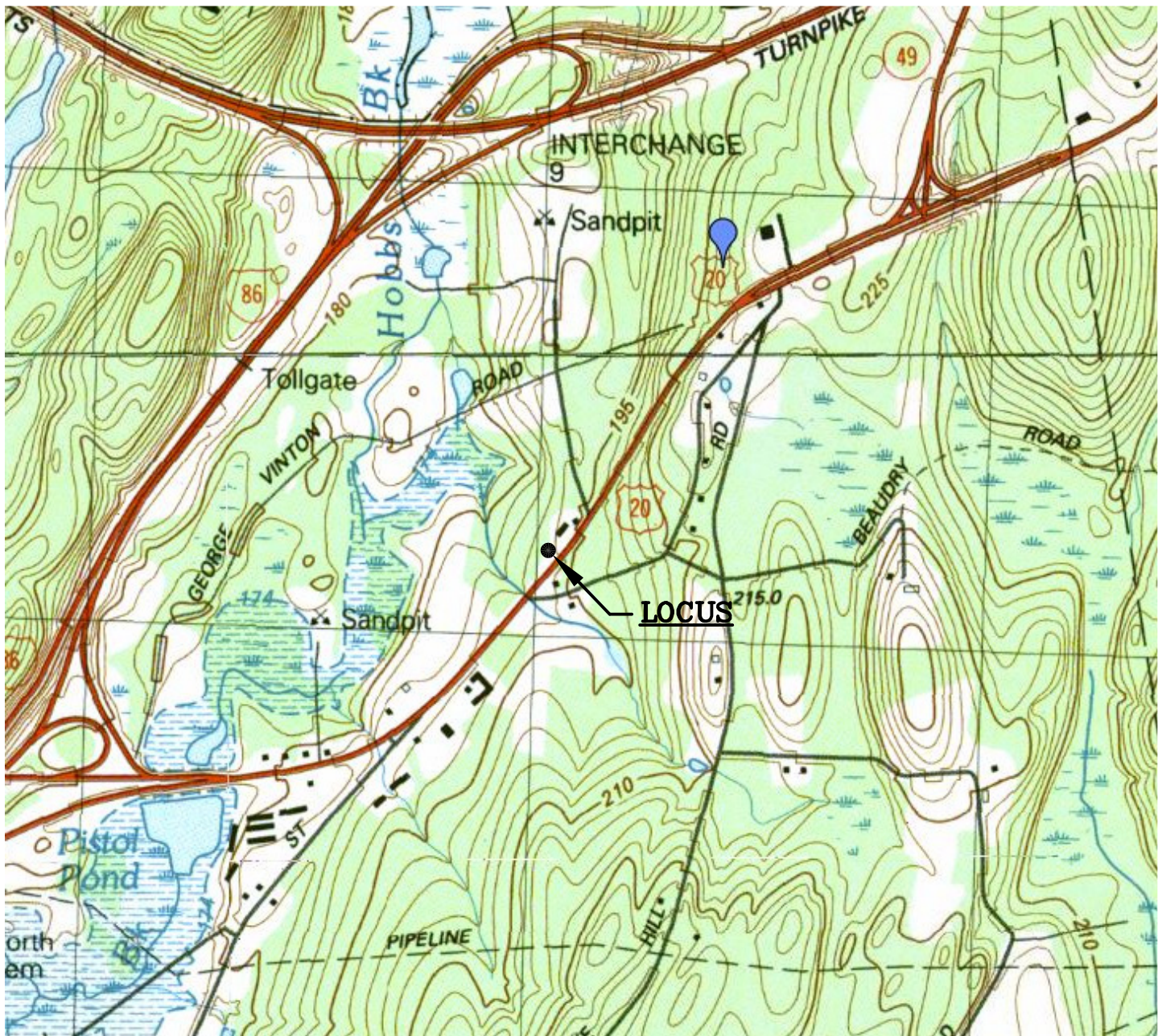
15.) TREE WORK MUST BE COMPLETED BY COMPANIES HOLDING CURRENT COMPLIANCE AGREEMENTS WITH THE MASSACHUSETTS LONGHORNED BEETLE ERADICATION PROJECT. ANY COMPANY CAN BECOME COMPLIANT BY ATTENDING A TRAINING SESSION AT THE PROGRAM OFFICE IN WORCESTER, MA.



UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 80A SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

DEFINITIVE SITE PLAN at 150 CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA



LOCUS MAP

1"=2000'

LIST OF DRAWINGS:

SHEET - 1	COVER SHEET
SHEET - 2	EXISTING CONDITIONS
SHEET - 3	LAYOUT & MATERIALS PLAN
SHEET - 4	GRADING PLAN
SHEET - 5	UTILITY & DRAINAGE PLAN
SHEET - 6	EROSION & SEDIMENTATION CONTROL PLAN
SHEET - 7	LANDSCAPE PLAN
SHEET - 8	LIGHTING PLAN
SHEET - 9	CONSTRUCTION DETAIL SHEET#1
SHEET - 10	CONSTRUCTION DETAIL SHEET#2
SHEET - 11	CONSTRUCTION DETAIL SHEET#3

ZONING DISTRICT:

INDUSTRIAL PARK

	REQUIRED	PROVIDED
MINIMUM AREA:	87,120 S.F. (2 Ac.)	269,200 S.F. (6.18 Ac.)
MINIMUM FRONTAGE:	300'	406'
MINIMUM SET BACK		
FRONT:	60'	163'
SIDE:	30'	47'
REAR:	30'	70'
MAXIMUM LOT COVERAGE:	33%	3%
MAXIMUM IMPERVIOUS AREA	70%	17.5%
MAXIMUM BUILDING HEIGHT	35'	<35'

PLAN NOTES:

PLAN BOOK 187 PLAN 21
PLAN BOOK 799 PLAN 121
PLAN BOOK 562 PLAN 14
PLAN BOOK 631 PLAN 29

PLAN NOTES:

1.) TOPOGRAPHY SHOWN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC. IN OCTOBER & NOVEMBER 2020.

2.) THE BORDERING VEGETATED WETLANDS SHOWN WERE FLAGGED BY GLENN KREVOSKY OF EBT ENVIRONMENTAL CONSULTANTS, INC. IN OCTOBER 2020 AND LOCATED BY MEANS OF AN ON THE GROUND SURVEY PERFORMED BY SUMMIT ENGINEERING & SURVEY, INC. IN NOVEMBER 2020.

3.) VERTICAL DATUM IS MASS STATE PLANE NGVD88.

4.) THE LOCUS PROPERTY IS LOCATED IN A ZONE X AREA OF MINIMAL FLOODING. SEE FLOOD FIRM MAP 25027C 0768 E, PANEL 768 OF 1075, DATED JULY 4, 2011.

5.) LANDSCAPE & LIGHTING PLANS (SHEETS 7 & 8) PROVIDED BY McCARTY COMPANIES, LEOMINSTER, MA.

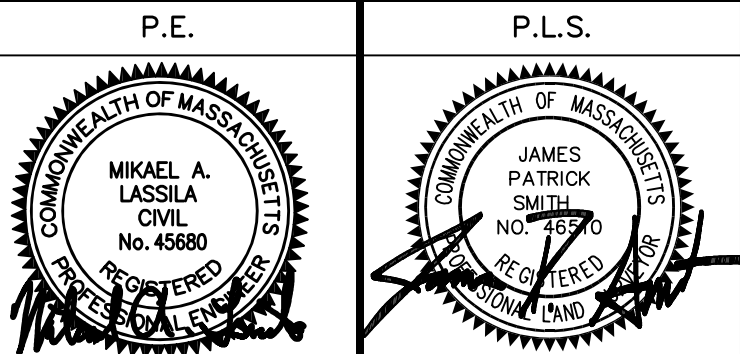
APPLICANT:

COBRA REALTY TRUST
MICHAEL CIESLA & MELVYN GLICKMAN
14 HARVARD STREET
WORCESTER, MA

OWNERS:

COBRA REALTY TRUST
MICHAEL CIESLA & MELVYN GLICKMAN
14 HARVARD STREET
WORCESTER, MA

DEED BOOK 9104 PG. 301
ASSESSORS PARCEL ID: 208-02612-150



APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

LEGEND

○	IRON PIPE FOUND
●	DRILL HOLE FOUND
⊙	STONE OR CONCRETE MONUMENT
⊗	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊖	ELECTRIC MANHOLE
⊙	TELEPHONE MANHOLE
⊕	WATER MANHOLE
⊖	UNDETERMINED MANHOLE
⊗	CATCH BASIN
⊕	CLEANOUT
⊖	MONITORING WELL
⊙	ANCHOR
⊕	UTILITY POLE
⊖	WATER GATE VALVE
⊗	WATER SHUT OFF
⊕	HYDRANT
⊖	BENCHMARK
⊙	GAS VALVE
⊕	SIGN
⊖	LIGHT POLE / LAMP POST
⊗	SPOT LIGHT
⊕	MAILBOX (MBX)
⊖	BOLLARD
⊗	OBSERVATION TEST PIT
⊕	HYDRIC SOIL TEST PIT
⊖	BORING TEST PIT
⊗	SHRUBS, BUSHES, ETC.
⊕	DECIDUOUS TREE
⊖	CONIFEROUS TREE
⊗	WETLAND FLAG
⊕	*MAHW END
⊖	MEAN ANNUAL HIGH WATER
⊗	BOULDER
⊕	VOC
⊖	CONCRETE CURBING
⊗	CAPE COD BERM (BITUMINOUS)
⊕	BITUMINOUS CURBING (GENERIC)
⊖	ELECTRIC LINE
⊗	SEWER LINE
⊕	DRAIN LINE
⊖	WATER LINE
⊗	GAS LINE
⊕	TELEPHONE LINE
⊖	FIRE PROTECTION LINE
⊗	OVERHEAD WIRES
⊕	CABLE TELEVISION
⊖	ROOF DRAIN
⊗	STONEWALL
⊕	EDGE OF PAVEMENT
⊖	FENCING (AS NOTED)
⊗	GUARD RAILING (AS NOTED)
⊕	TREE LINE
⊖	EDGE OF LANDSCAPING
⊗	BORDERING VEGETATED WETLAND
⊕	PROPERTY LINE
⊖	SUBSURFACE DRAIN

PREPARED BY:

SUMMIT
Engineering & Survey, Inc.

700 MAIN STREET
OXFORD, MA 01537
P:(508) 987-8773 F:(508) 987-8774

SHEET TITLE

COVER SHEET

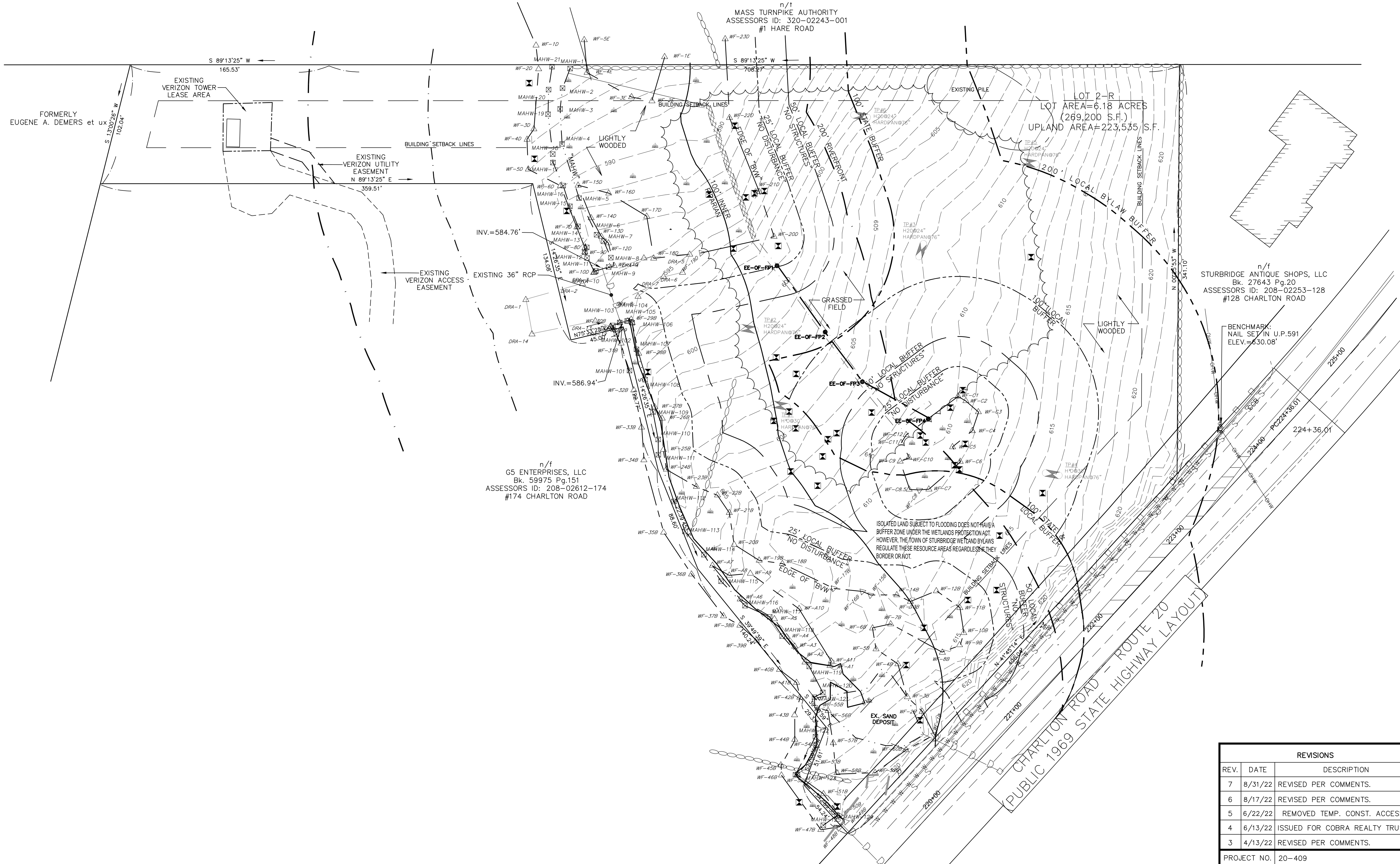
DEFINITIVE SITE PLAN at

**150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA**

PREPARED FOR
COBRA REALTY TRUST
SHEET 1 OF 11

SHEET NO.

C-1.0



UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 80 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

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P.E.

P.L.S.

APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

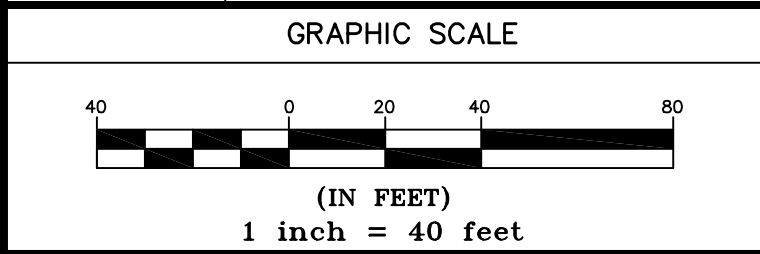
APPROVAL DATE: _____

ENDORSEMENT DATE: _____

LEGEND

	IRON PIPE FOUND
	DRILL HOLE FOUND
	STONE OR CONCRETE MONUMENT
	SEWER MANHOLE
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	UNDETERMINED MANHOLE
	CATCH BASIN
	CLEANOUT
	MONITORING WELL
	ANCHOR
	UTILITY POLE
	WATER GATE VALVE
	WATER SHUT OFF
	HYDRANT
	BENCHMARK
	GAS VALVE
	SIGN
	LIGHT POLE / LAMP POST
	SPOT LIGHT
	MAILBOX (MBX)
	BOLLARD
	OBSERVATION TEST PIT
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	BORING TEST PIT
	SHRUBS, BUSHES, ETC.
	DECIDUOUS TREE
	CONIFEROUS TREE
	WETLAND FLAG
	*MAHW END
	MEAN ANNUAL HIGH WATER
	BOULDER
	VERTICAL GRANITE CURBING
	CONCRETE CURBING
	CAPE COD BERM (BITUMINOUS)
	BITUMINOUS CURBING (GENERIC)
	ELECTRIC LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	TELEPHONE LINE
	FIRE PROTECTION LINE
	OVERHEAD WIRES
	CABLE TELEVISION
	ROOF DRAIN
	STONEWALL
	EDGE OF PAVEMENT
	FENCING (AS NOTED)
	GUARD RAILING (AS NOTED)
	TREE LINE
	EDGE OF LANDSCAPING
	BORDERING VEGETATED WETLAND
	PROPERTY LINE
	SUBSURFACE DRAIN

REVISIONS		
REV.	DATE	DESCRIPTION
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST
3	4/13/22	REVISED PER COMMENTS.
PROJECT NO. 20-409		
DESIGNED BY PML		
CHECKED BY AB		
DATE 9/13/21		
CAD FILE 19-288_150...Alt2.dwg		



PREPARED BY:

SUMMIT
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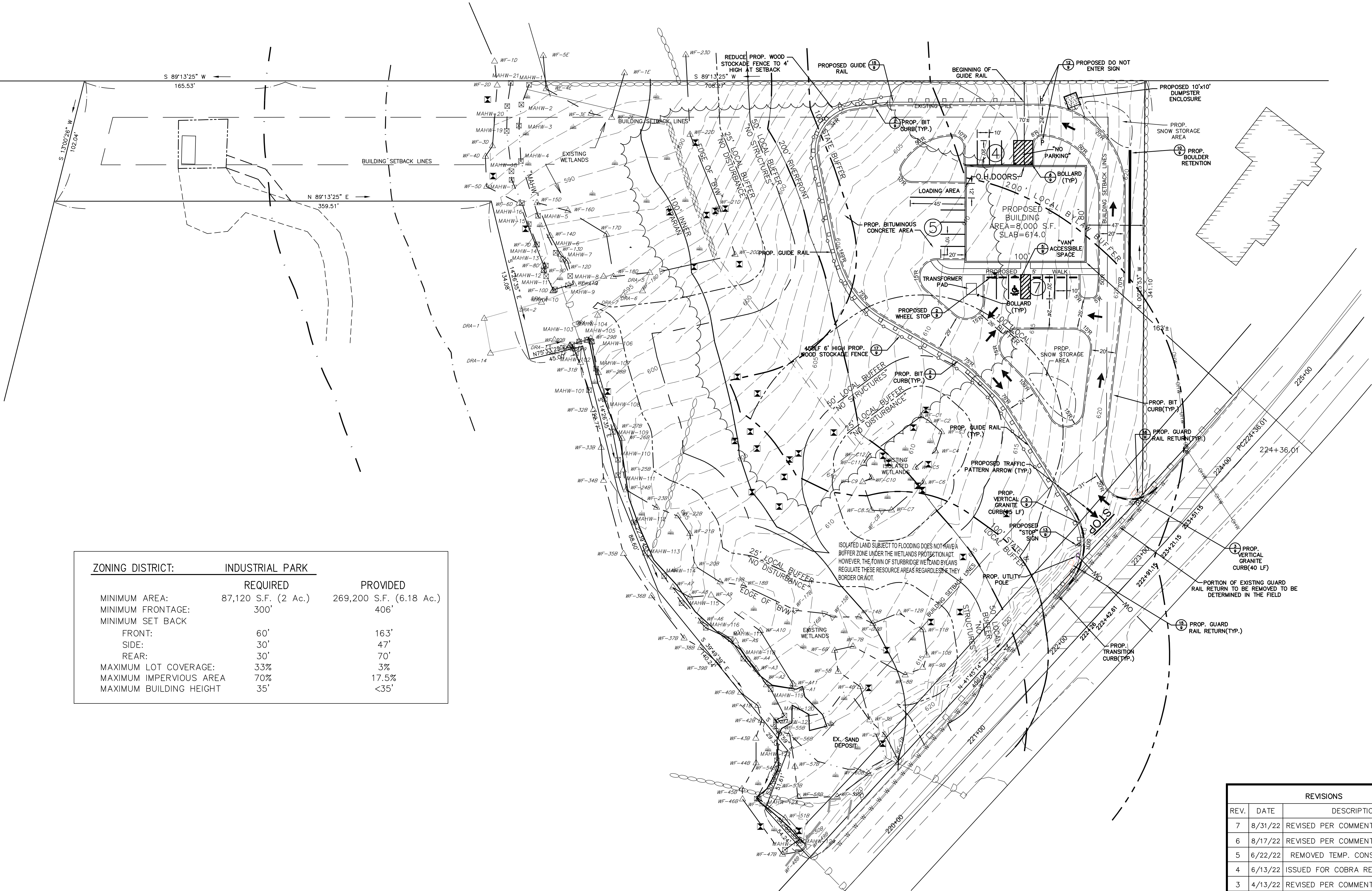
SHEET TITLE

EXISTING CONDITIONS

DEFINITIVE SITE PLAN
at
150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA
PREPARED FOR
COBRA REALTY TRUST
SHEET 2 OF 11

SHEET NO.

C-2.0



ZONING DISTRICT:	INDUSTRIAL PARK	
	REQUIRED	PROVIDED
MINIMUM AREA:	87,120 S.F. (2 Ac.)	269,200 S.F. (6.18 Ac.)
MINIMUM FRONTAGE:	300'	406'
MINIMUM SET BACK		
FRONT:	60'	163'
SIDE:	30'	47'
REAR:	30'	70'
MAXIMUM LOT COVERAGE:	33%	3%
MAXIMUM IMPERVIOUS AREA	70%	17.5%
MAXIMUM BUILDING HEIGHT	35'	<35'



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P.E.

MIKAEL A. LASSLI
CIVIL
No. 45880
MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER

P.L.S.

JAMES PATRICK SMITH
CIVIL
No. 10475
MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR

APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

LEGEND

	IRON PIPE FOUND
	DRILL HOLE FOUND
	STONE OR CONCRETE MONUMENT
	SEWER MANHOLE
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	UNDETERMINED MANHOLE
	CATCH BASIN
	CLEANOUT
	MONITORING WELL
	ANCHOR
	UTILITY POLE
	WATER GATE VALVE
	WATER SHUT OFF
	HYDRANT
	BENCHMARK
	GAS VALVE
	SIGN
	LIGHT POLE / LAMP POST
	SPOT LIGHT
	MAILBOX (MBX)
	BOLLARD
	OBSERVATION TEST PIT
	HYDRIC SOIL TEST PIT
	BORING TEST PIT
	SHRUBS, BUSHES, ETC.
	DECIDUOUS TREE
	CONIFEROUS TREE
	WETLAND FLAG
	*MAHW END
	*MEAN ANNUAL HIGH WATER
	BOULDER
	VERTICAL GRANITE CURBING
	CONCRETE CURBING
	CAPE COD BERM (BITUMINOUS)
	BITUMINOUS CURBING (GENERIC)
	ELECTRIC LINE
	SEWER LINE
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	WATER LINE
	GAS LINE
	TELEPHONE LINE
	FIRE PROTECTION LINE
	OVERHEAD WIRES
	CABLE TELEVISION
	ROOF DRAIN
	STONE WALL
	EDGE OF PAVEMENT
	FENCING (AS NOTED)
	GUARD RAILING (AS NOTED)
	TREE LINE
	EDGE OF LANDSCAPING
	BORDERING VEGETATED WETLAND
	PROPERTY LINE
	SUBSURFACE DRAIN

PREPARED BY:

SUMMIT
Engineering & Survey, Inc.
710 MAIN STREET
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SHEET TITLE

LAYOUT & MATERIALS
PLAN

DEFINITIVE SITE PLAN
at
150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA
PREPARED FOR
COBRA REALTY TRUST
SHEET 3 OF 11

SHEET NO.

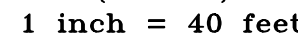
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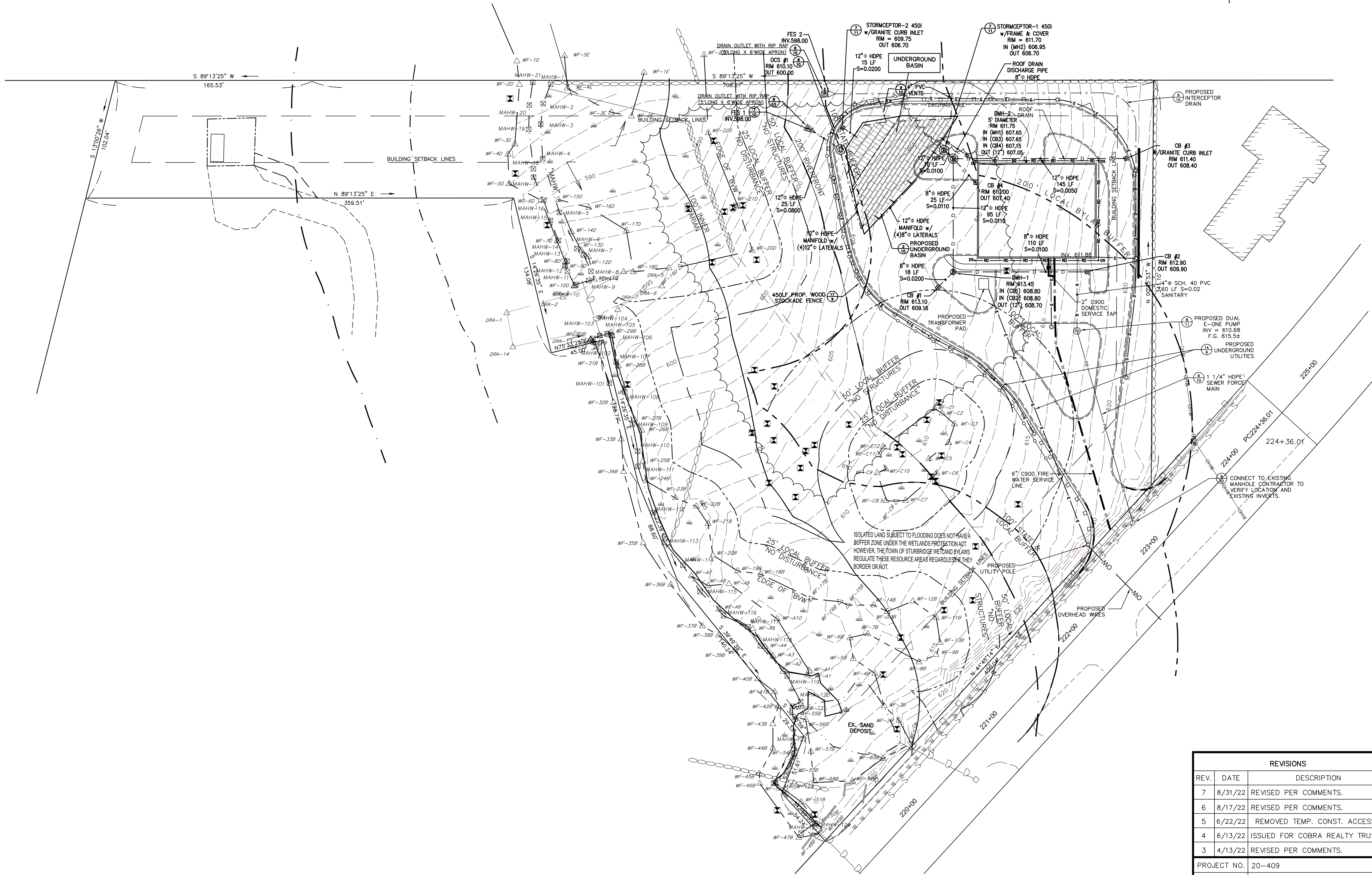
REVISIONS		
REV.	DATE	DESCRIPTION
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST
3	4/13/22	REVISED PER COMMENTS.

PROJECT NO.	19-288
DESIGNED BY	PML
CHECKED BY	AB
DATE	9/13/21
CAD FILE	19-288_150...Alt2.dwg

GRAPHIC SCALE

40 0 20 40 80
(IN FEET)
1 inch = 40 feet

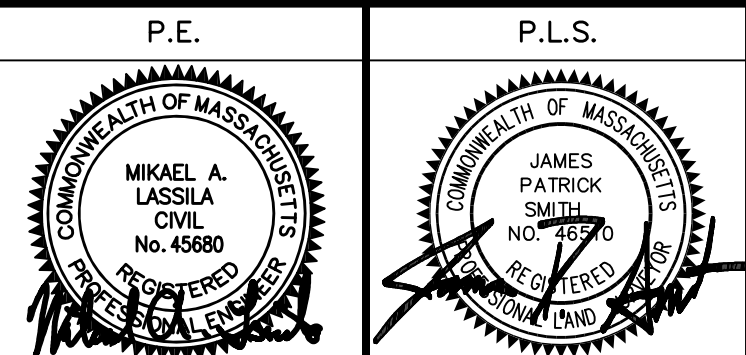




DIG SAFE NOTE

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APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

LEGEND

- IRON PIPE FOUND
- DRILL HOLE FOUND
- STONE OR CONCRETE MONUMENT
- SEWER MANHOLE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- UNDETERMINED MANHOLE
- CATCH BASIN
- CLEANOUT
- MONITORING WELL
- UTILITY POLE
- WATER GATE VALVE
- WATER SHUT OFF
- HYDRANT
- BENCHMARK
- GAS VALVE
- SIGN
- LIGHT POLE / LAMP POST
- SPOT LIGHT
- MAILBOX (MBX)
- BOLLARD
- OBSERVATION TEST PIT
- HYDRIC SOIL TEST PIT
- BORING TEST PIT
- SHRUBS, BUSHES, ETC.
- DECIDUOUS TREE
- CONIFEROUS TREE
- WETLAND FLAG
- MAHW END
- MEAN ANNUAL HIGH WATER
- BOULDER
- VERTICAL GRANITE CURBING
- CONCRETE CURBING
- CAPE COD BERM (BITUMINOUS)
- BITUMINOUS CURBING (GENERIC)
- ELECTRIC LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- TELEPHONE LINE
- FIRE PROTECTION LINE
- OVERHEAD WIRES
- CABLE TELEVISION
- ROOF DRAIN
- STONEWALL
- EDGE OF PAVEMENT
- FENCING (AS NOTED)
- GUARD RAILING (AS NOTED)
- TREE LINE
- EDGE OF LANDSCAPING
- BORDERING VEGETATED WETLAND
- PROPERTY LINE
- SUBSURFACE DRAIN

PREPARED BY:

SUMMIT
Engineering & Survey, Inc.

700 MAIN STREET
OXFORD, MA 01537
P: (508) 387-8713 F: (508) 387-8714

SHEET TITLE

**UTILITY & DRAINAGE
PLAN**

DEFINITIVE SITE PLAN
at

**150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA**

PREPARED FOR
COBRA REALTY TRUST
SHEET 5 OF 11

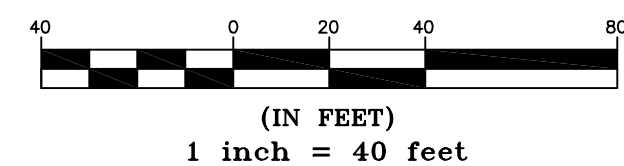
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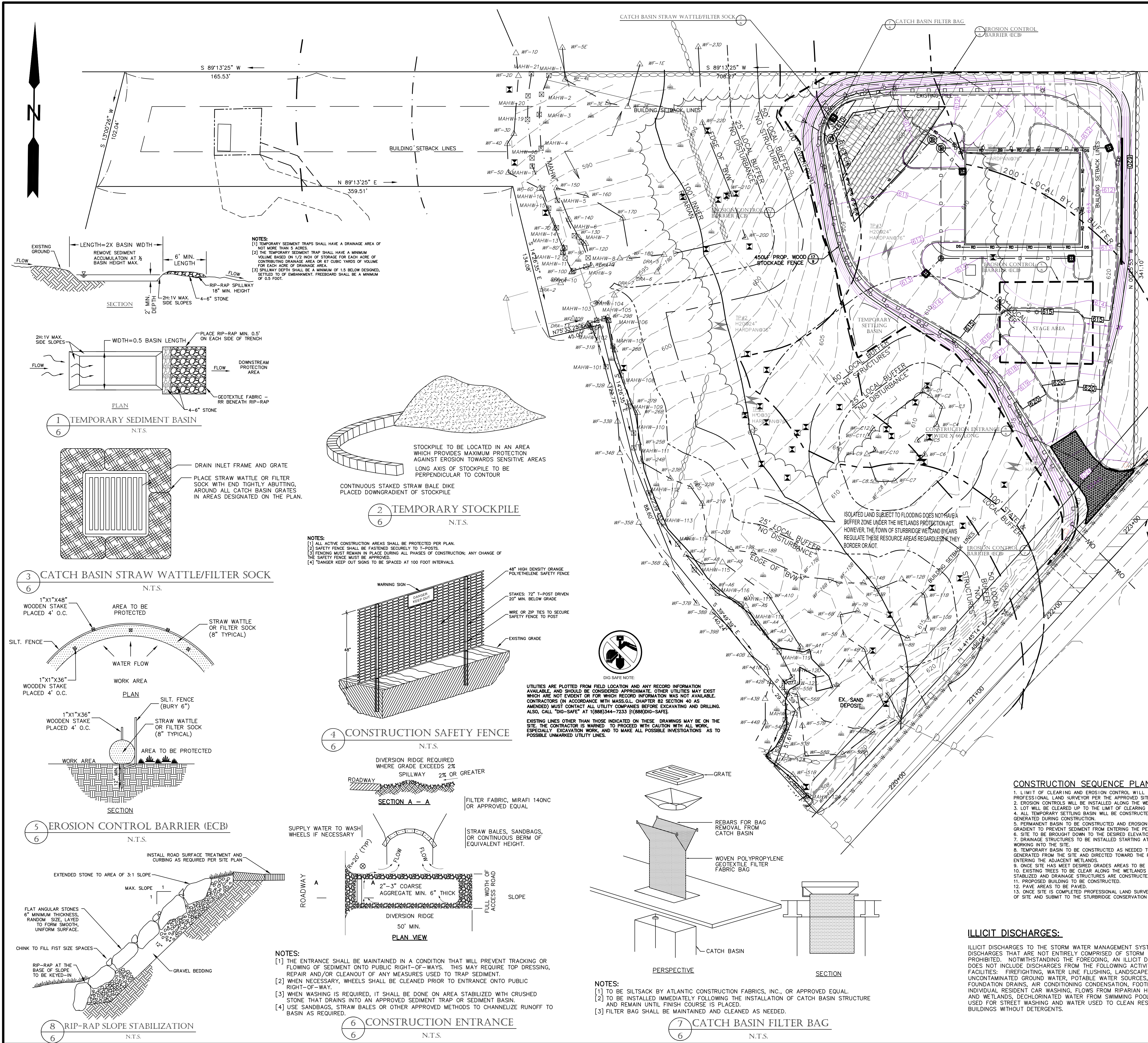
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REVISIONS

REV.	DATE	DESCRIPTION
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST
3	4/13/22	REVISED PER COMMENTS.
PROJECT NO. 20-409		
DESIGNED BY PML		
CHECKED BY AB		
DATE 9/13/21		
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GRAPHIC SCALE





EROSION AND SEDIMENT CONTROL REQUIREMENTS

PART 1 - GENERAL

1.01 SUMMARY

A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS, BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, VEHICLE TRACKING PADS, DIVERSION CHANNELS AND BERMS, CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G. SOIL, MULCH, SOD) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS, OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, TRIBUTARIES TO WETLANDS, WETLAND BUFFER ZONES, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES.

ALL METHODS AND MATERIALS USED FOR EROSION CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AS PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, UNLESS OTHERWISE APPROVED IN WRITING.

1. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF LIMITS OF DISTURBANCE AND CONTROL MEASURES REQUIRED TO COMMENCE WORK. LIMITS OF DISTURBANCE SHALL BE MARKED WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING. THE DRAWINGS ARE NOT INTENDED TO GRAPHICALLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

2. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.

3. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.

4. DEVISE, EMPLOY AND MAINTAIN CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA.

5. ONCE THE SITE IS PERMANENTLY STABILIZED AND CERTIFIED AS SUCH BY ENGINEER, REMOVE TEMPORARY CONTROL MEASURES WHILE PROTECTING STABILIZED SURFACES.

1.02 SUBMITTALS

A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.

B. SUBMIT SKETCH SHOWING LOCATIONS OF PROPOSED STOCKPILE AREAS, CONSTRUCTION ENTRANCES AND EROSION CONTROLS IF NOT SHOWN ON THE SITE PLAN OR DIFFERENT FROM THOSE LOCATIONS SHOWN ON THE SITE PLAN.

C. A SITE SPECIFIC SEQUENCE OF CONSTRUCTION FOR EACH PORTION OF THE SITE. NO PORTION OF THE SITE SHALL EXCEED FIVE (5) ACRES.

1.03 QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY. WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 2 - PRODUCTS

2.01 MATERIALS

A. STRAW BALES: WEED FREE DRY GRASS OR STRAW, MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 42" X 16" X 16". EACH BALE SHALL BE STAKED WITH A MINIMUM OF TWO 24" LONG HARDWOOD STAKES. NOTE: HAY SHALL NOT BE USED.

B. STRAW WATTLES: NORTH AMERICAN GREEN MODEL WS210 OR APPROVED EQUAL.

C. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM MINIMUM, GRASS/VEGETATION RATED 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO 2130 BY AMOCO FABRICS & FIBERS, OR APPROVED EQUAL.

D. MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.

E. SEED MIXES: SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION SECTION 6.03.0 OR 6.03.1 AS APPROPRIATE.

F. EXCISOR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, BOX OF FIBERS 6-INCHES LONG OR LONGER, WEIGHT 0.975 POUNDS / SQ. YD. CONTAINING NO CHEMICAL ADDITIVES. USE CURLEX I BLANKET BY AMERICAN EXCISOR COMPANY, OR APPROVED EQUAL.

G. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TAILINGS.

H. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE.

PART 3 - EXECUTION

3.01 THROUGHOUT CONSTRUCTION

A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN SUCH MEASURES AS DIVERSION CHANNELS AND BERMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBDUCE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.

B. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.

C. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE HAY BALES, SILT FENCE AND STAKES, AND CRUSHED STONE.

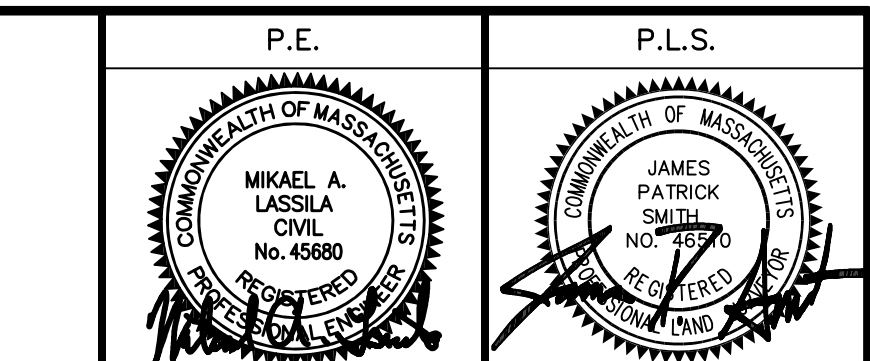
D. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO ENSURE INTENDED FUNCTION. BY SUPPLEMENTING AS NECESSARY FOR ADEQUATE EXTENT: BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.

E. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITH CONTROL MEASURES WITHIN A 24-HOUR PERIOD.

F. INSTALL CONTROL MEASURES AS SOON AS PRACTICABLE AFTER EACH MANAGEABLE PORTION OF EARTHWORK IS COMPLETE. EMPLOY TEMPORARY MEASURES AS NECESSARY TO STABILIZE DISTURBED AREAS, EVEN WHERE SUBSEQUENT CONSTRUCTION OPERATIONS MAY REQUIRE RE-DISTURBANCE.

G. WHEN INTENSE RAINFALL IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.

H. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.



APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD
BEING A MAJORITY

APPROVAL DATE: _____
ENDORSEMENT DATE: _____

PART 3 - CONTINUED

I. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.

J. SWEEP ON-SITE PAVED AREAS AND OFF-SITE STREETS AS NECESSARY TO PREVENT SILT AND DEBRIS ORIGINATING ON SITE FROM ENTERING CLOSED DRAINAGE SYSTEMS AND / OR ENVIRONMENTALLY SENSITIVE AREAS. WHEN NECESSARY UTILIZE WATER SPRAYING, SURFACE ROUGHENING AND/OR APPLY POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS FOR DUST CONTROL.

K. INSPECT EROSION CONTROLS DAILY THROUGHOUT CONSTRUCTION REPAIR DAMAGED CONTROLS IMMEDIATELY.

3.02 SITE PREPARATION AND ACCESS

A. WALK SITE AND IDENTIFY LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.

B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFINING THE LIMIT OF WORK.

C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT.

3.03 CLEARING, GRUBBING, AND STRIPPING

A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.

B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE. NO GREATER THAN FIVE (5) ACRES SHALL BE UNSTABLE AT ANY TIME.

C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.

D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.

E. PROCESS TIMBER, STUMPS, SLASH, AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.

3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES

A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING SUMP AND WELL POINT PUMPS PRIOR TO EXCAVATION.

B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.

C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.

D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.

E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.

3.05 SITE GRADING

A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.

B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION CHANNELS AND BERMS. STRATEGICALLY LOCATED STOCKPILES, DRAINAGE, OR BEARING CAPACITY, REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.

C. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.

D. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER COMPLETION.

3.06 LANDSCAPING

A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE.

B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING, BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET.

C. PERMANENT SEEDING MAY BE PERFORMED IN THE SPRING PRIOR TO JULY 1 AND IN BETWEEN AUGUST 1 AND OCTOBER 15. PERMANENT SEEDING AT OTHER TIMES SHALL BE APPROVED AND SHALL ONLY BE ALLOWED WITH AN APPROVED MULCHING AND IRRIGATION PROGRAM.

CONSTRUCTION SEQUENCE PLAN

1. LIMIT OF CLEARING AND EROSION CONTROL WILL BE STAKED OUT BY A PROFESSIONAL LAND SURVEYOR PER THE APPROVED SITE PLANS.
2. EROSION CONTROLS WILL BE INSTALLED ALONG THE WETLANDS AREAS.
3. LOT WILL BE CLEARED UP TO THE LIMIT OF CLEARING FLAGS.
4. TEMPORARY SETTLING BASIN WILL BE CONSTRUCTED TO CONTROL RUNOFF GENERATED DURING CONSTRUCTION.
5. PERMANENT BASIN TO BE CONSTRUCTED AND EROSION CONTROL TO BE PLACED UP TO THE PERMANENT BASIN.
6. SITE TO BE BROUGHT DOWN TO THE DESIRED ELEVATIONS PER GRADING PLAN.
7. DRAINAGE STRUCTURES TO BE INSTALLED STARTING AT THE LOWEST ELEVATION AND WORKING INTO THE SITE.
8. TEMPORARY BASIN TO BE CONSTRUCTED AS NEEDED TO CONTROL THE RUNOFF GENERATED FROM THE SITE AND DIRECTED TOWARD THE PERMANENT BASIN PRIOR TO ENTERING THE ADJACENT WETLANDS.
9. ONCE SITE HAS MEET DESIRED GRADES AREAS TO BE STABILIZED.
10. EXISTING TREES TO BE CLEAR ALONG THE WETLANDS ONCE THE SITE HAS BEEN STABILIZED AND DRAINAGE STRUCTURES ARE CONSTRUCTED.
11. PROPOSED BUILDING TO BE CONSTRUCTED.
12. PAVE AREAS TO BE PAVED.
13. ONCE SITE IS COMPLETED PROFESSIONAL LAND SURVEYOR TO PERFORM AS-BUILT OF SITE AND SUBMIT TO THE STURBRIDGE CONSERVATION COMMISSION.

ILLICIT DISCHARGES:

ILLICIT DISCHARGES TO THE STORM WATER MANAGEMENT SYSTEM, I.E., DISCHARGES THAT ARE NOT ENTIRELY COMPRISED OF STORM WATER, ARE PROHIBITED. NOTWITHSTANDING THE FOREGOING, AN ILLICIT DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIREFIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUND WATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECOLORING, SWIMMING POOL, WATER WATERS USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.

NOTES:

- [1] TO BE SILTSACK BY ATLANTIC CONSTRUCTION FABRICS, INC., OR APPROVED EQUAL.
- [2] TO BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN STRUCTURE AND REMAIN UNTIL FINISH COURSE IS PLACED.
- [3] FILTER BAG SHALL BE MAINTAINED AND CLEANED AS NEEDED.

7 CATCH BASIN FILTER BAG

N.T.S.

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6 CONSTRUCTION ENTRANCE

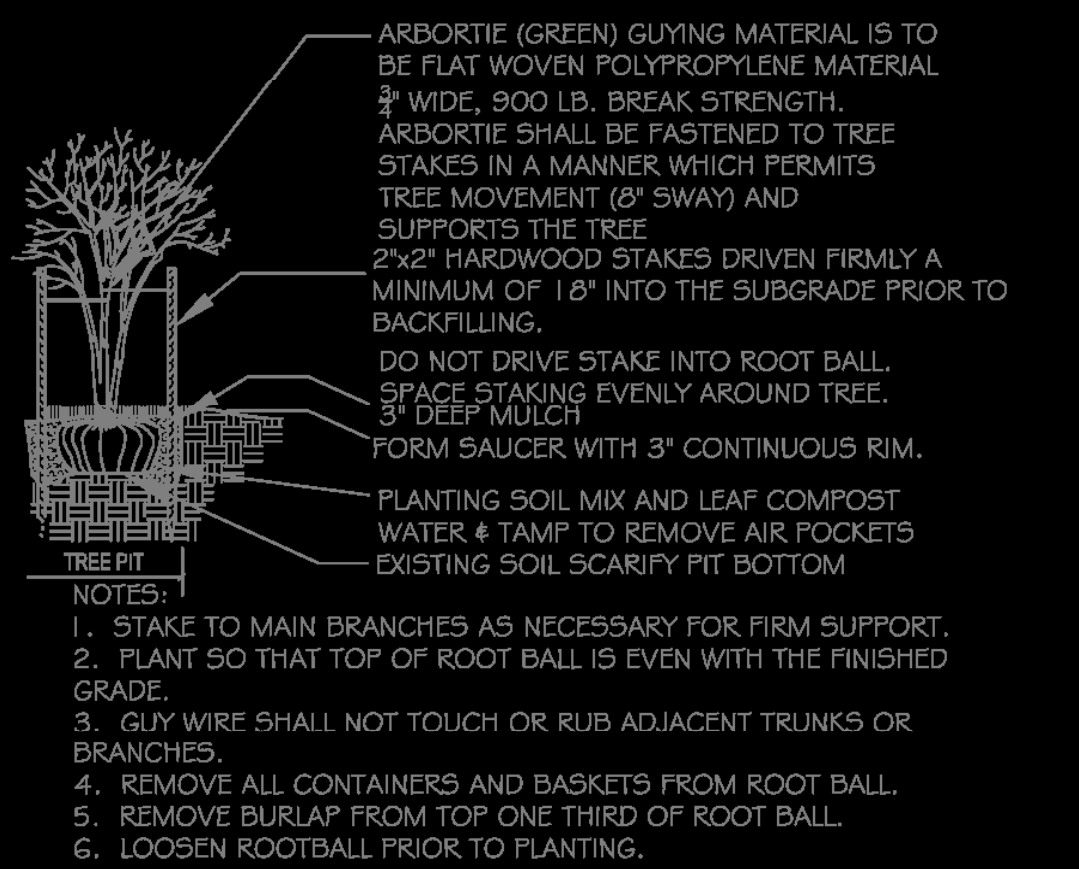
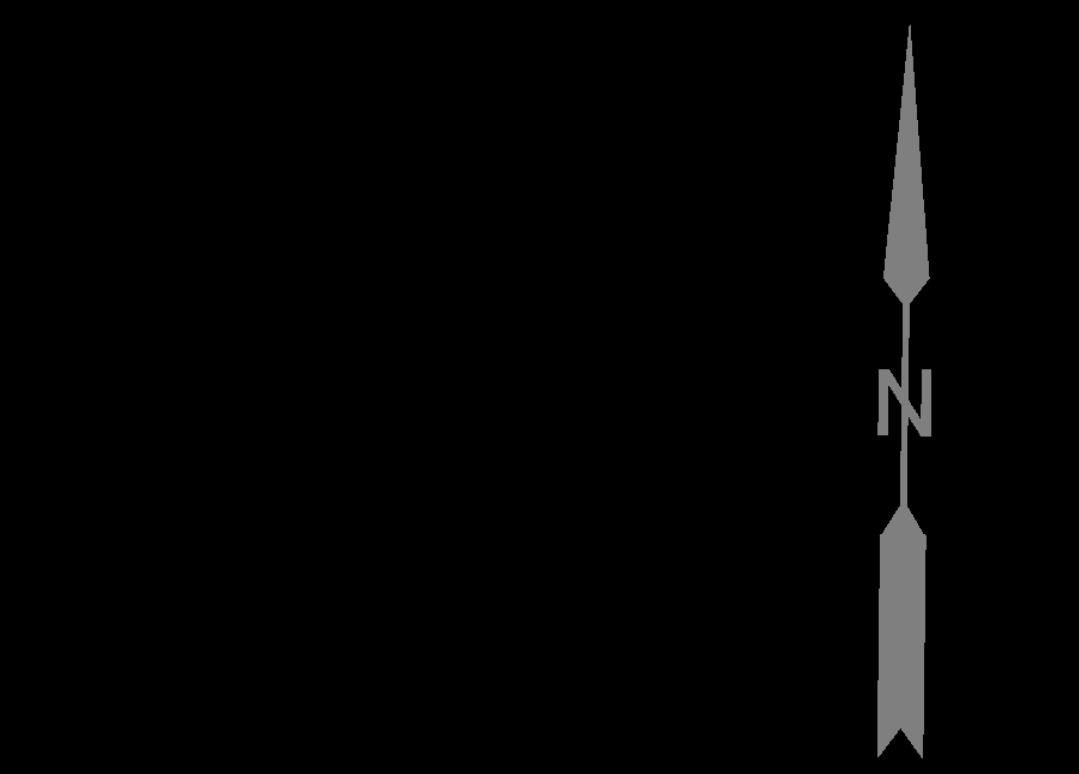
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8 RIP-RAP SLOPE STABILIZATION

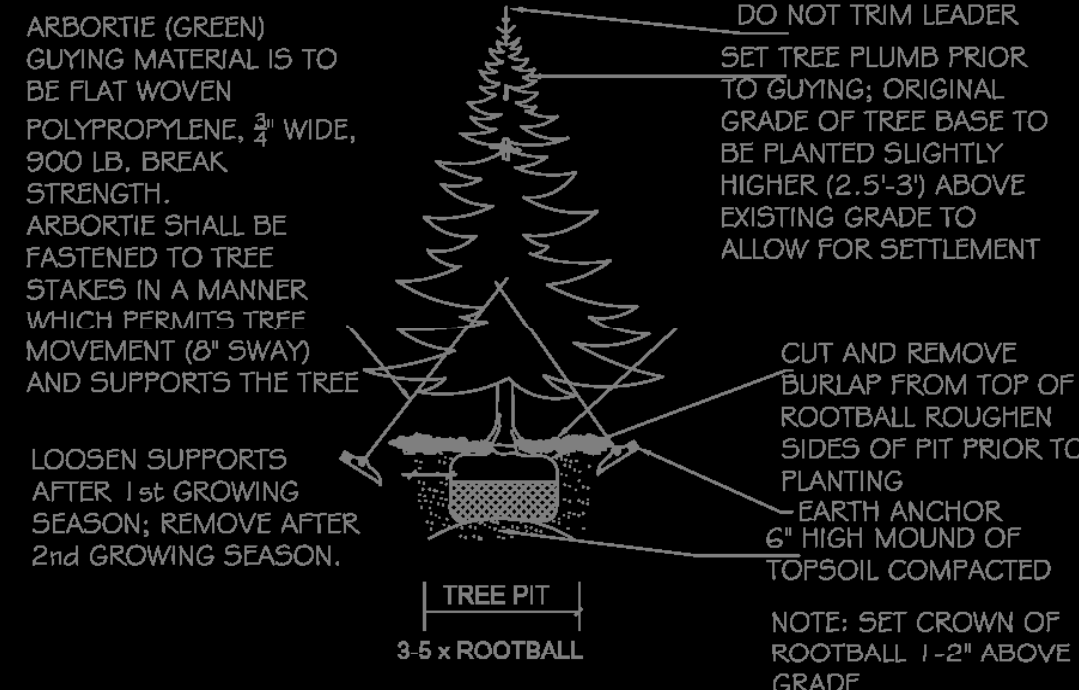
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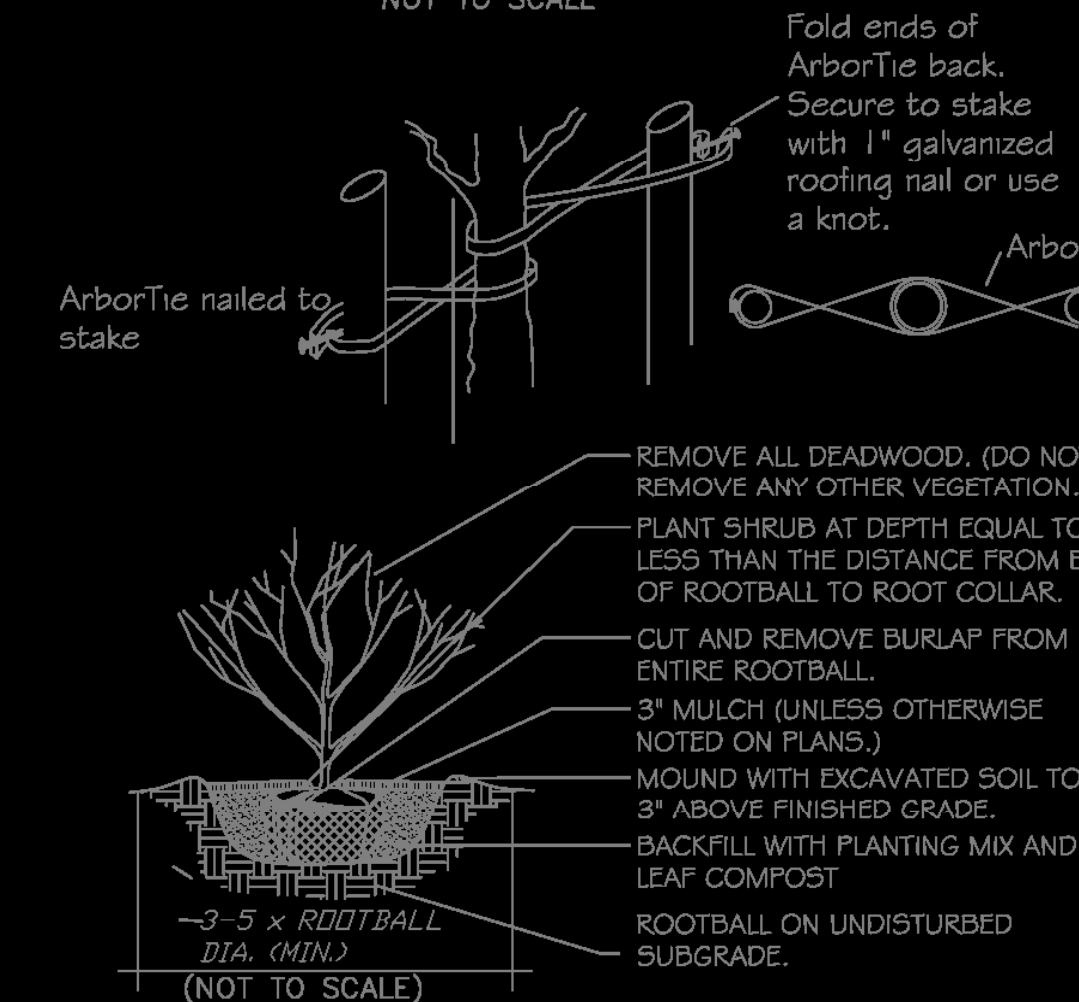
DECIDUOUS TREE PLANTING

NOT TO SCALE



EVERGREEN TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



- LANDSCAPING NOTES
1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
 2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
 3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
 4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
 7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
 8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
 9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 1/2" ABOVE THE ROOTBALL.
 10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
 12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED.
 13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP. SEED MIX SHALL BE A SUN SHADE MIX. CONTRACTOR SHALL SUBMIT THE SEED MIX THAT MEETS THIS CRITERIA ALONG WITH AN APPLICATION RATE. THE HYDROSEED SLURRY SHALL BE APPLIED AT A RATE OF 3,000LB PER ACRE.
 14. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP. PLANT AT A RATE OF 1 LB. PER 150. SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 1500SF.
 15. THE DETENTION BASIN AND SWALE AREAS SHALL BE SEEDED WITH THE CONSERVATION SEED MIX. NEW ENGLAND WETLAND PLANTS INC. PLANT AT THE RATE OF 1 POUND PER 1,750 SF.
 16. SEEDED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
 17. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN AT LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
 18. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
 19. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
 20. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
 21. ALL LANDSCAPE BEDS SHALL RECEIVE FOUR-INCHES OF BARK MULCH.
 22. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

Planting Schedule				
Qty	Key	Common Name	Botanical Name	Size
TREES				
9	AF	Freeman Maple	<i>Acer x freemanii</i>	3" Cal. B&B
3	BN	River Birch	<i>Betula nigra</i>	12' Ht. B&B (Multi-stem)
4	CG	Gracilis Hinoki Cypress	<i>Chamaecyparis obtusa 'Gracilis'</i>	8' Ht. B&B
3	CS	'Satori' Dogwood	<i>Cornus kousa 'Santorni'</i>	3" Cal. B&B
2	PB	'Hoopsi' Blue Spruce	<i>Picea pungens 'Hoopsi'</i>	8' Ht. B&B
SHRUBS				
1	CH	'Golden Mops' Hinoki Cypress	<i>Chamaecyparis obtusa 'Golden Mops'</i>	#7 Pot. Container Grown
3	HA	Abetwo Hydrangea	<i>Hydrangea arborescens 'Abetwo'</i>	36" Ht. B&B
3	HP	Golden Cup St. John's Wort	<i>Hypericum Hidcote</i>	24" Ht. B&B
4	HR	'Blue chiffon' Hibiscus	<i>Hibiscus syriacus 'Rose Satin'</i>	60" Ht. B&B
3	JS	'Steads' Holly	<i>Ilex crenata 'Steads'</i>	24" Ht. B&B
5	JV	'Taylor' Red Cedar	<i>Juniperus virginiana 'Taylor'</i>	60" Ht. B&B
3	RM	'Blushing Knock out' Rose	<i>Rosa sp. 'Blushing Knock Out'</i>	24" Ht. B&B
3	SA	'Flamingo' Japanese Willow	<i>Salix integra 'Flamingo'</i>	24" Ht. B&B
6	SD	'Double Play Blue Kozoo' Spirea	<i>Spiraea media 'Blue Kozoo'</i>	24" Ht. B&B
3	VP	'Popcorn' Viburnum	<i>Viburnum plicatum 'Popcorn'</i>	48" Ht. B&B

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 86 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 8(603)DIG-SAFE.

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

P.E.	P.L.S.
APPROVAL UNDER SITE PLAN REVIEW. STURBRIDGE PLANNING BOARD	
BEING A MAJORITY	
APPROVAL DATE: _____	
ENDORSEMENT DATE: _____	
PREPARED BY:	
SUMMIT Engineering & Survey, Inc. 710 MAIN STREET OXFORD, MA 01537 P:(508) 987-8713 F:(508) 987-8714	
SHEET TITLE	
LANDSCAPE PLAN	
DEFINITIVE SITE PLAN at 150 CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA PREPARED FOR INTERSTATE TOWING	
SHEET NO.	
L-1	



n/f
MASS TURNPIKE AUTHORITY
ASSESSORS ID: 320-02243-001
#1 HARE ROAD

n/f
ALSCO REAL ESTATE, LLC
Bk. 59975 Pg.151
ASSESSORS ID: 208-02612-174
#174 CHARLTON ROAD



POLE MOUNTED FIXTURE



WALL MOUNTED FIXTURE



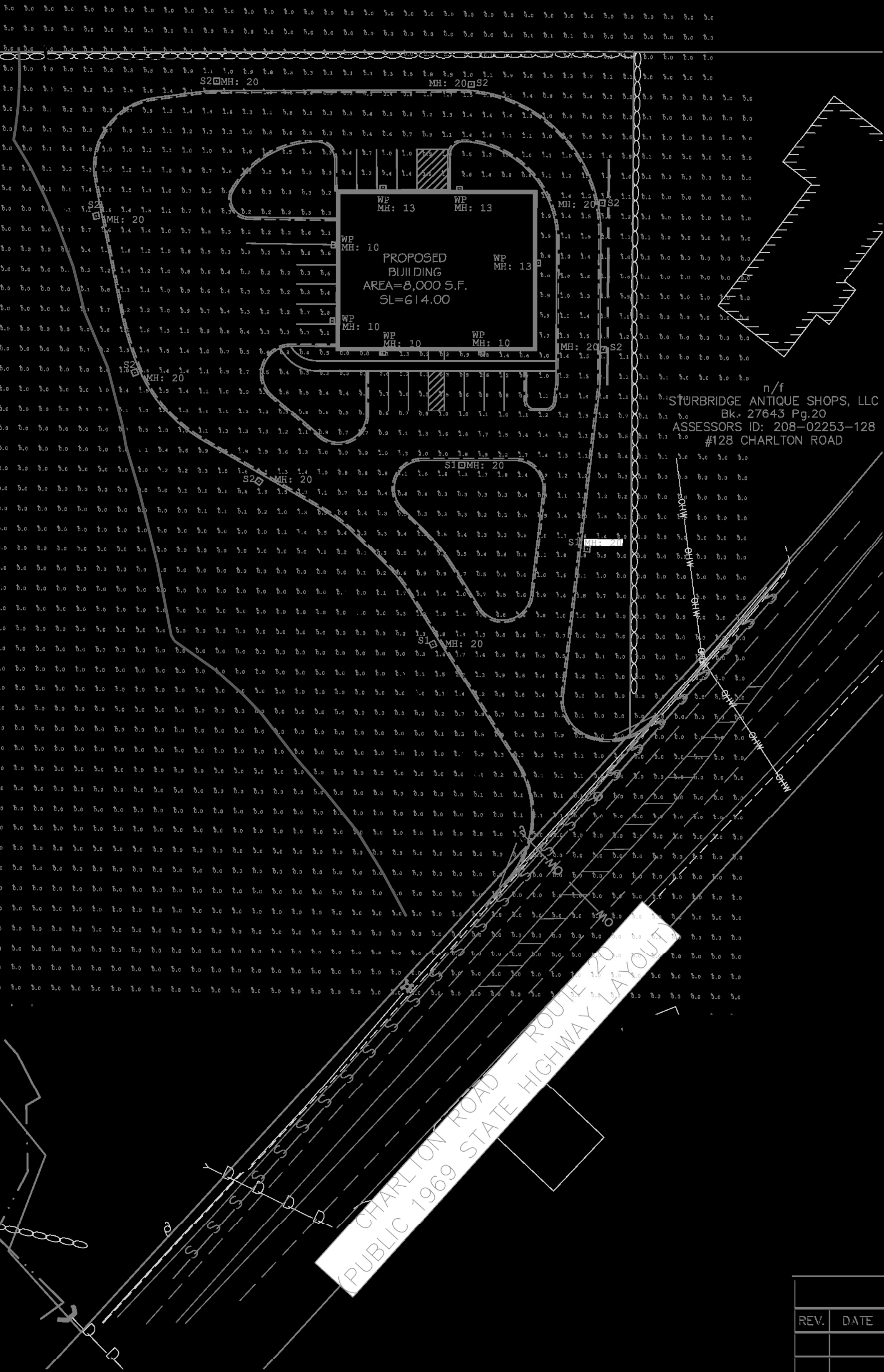
DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EXHIBIT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(688)DIG-SAFE.

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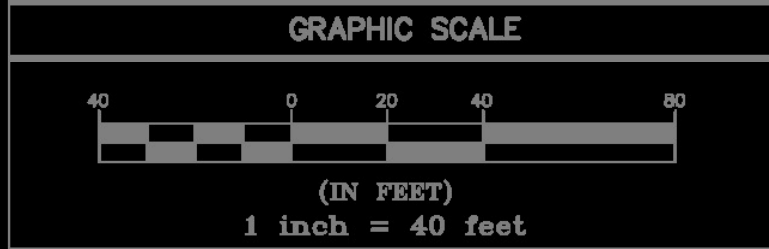
Luminaire Schedule						
Symbol	Label	Lum. Lumens	Lum. Watts	LLF	Description	
	S1	6460	52	0.900	LUMARK: PRV-C15-D-UNV-T3-BZ-HSS	
	S2	6437	52	0.900	LUMARK: PRV-C15-D-UNV-T4-BZ-HSS	
	WP	1418	12.2	0.900	LUMARK: XTOR1B	

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Fc	0.27	6.8	0.0	N.A.	N.A.



REVISIONS		
REV.	DATE	DESCRIPTION

PROJECT NO.	20-409
DESIGNED BY	PML
CHECKED BY	AB
DATE	8/5/21
CAD FILE	19-288_150 CHARLTON ST. SITE



P.E.	P.L.S.

APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

PREPARED BY:

SUMMIT
Engineering & Survey, Inc.
710 MAIN STREET
OXFORD, MA 01537
P:(508) 887-8718 F:(508) 887-8714

SHEET TITLE

LIGHTING PLAN

DEFINITIVE SITE PLAN
at
**150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA**
PREPARED FOR
INTERSTATE TOWING

SHEET NO.

L-2

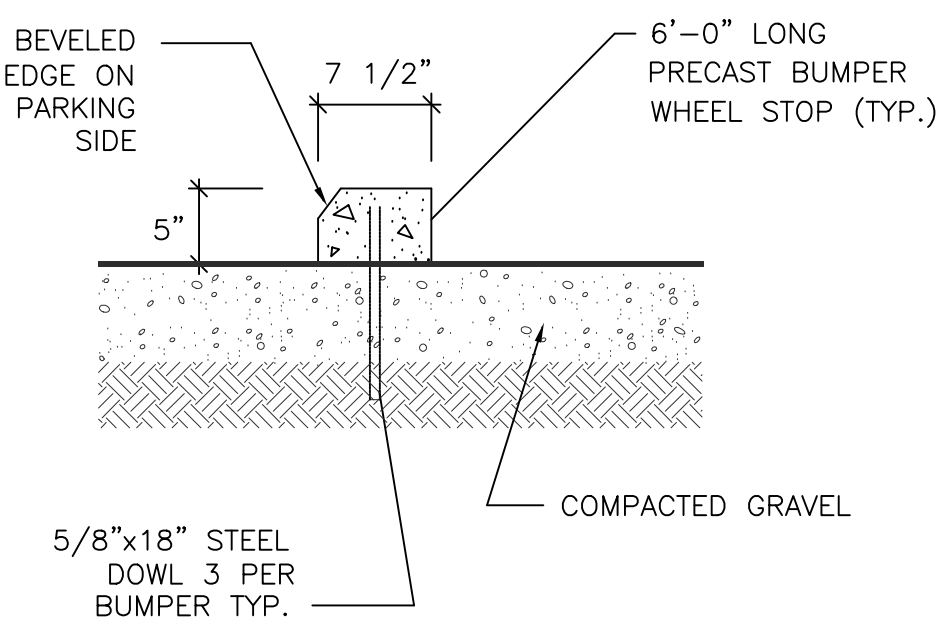
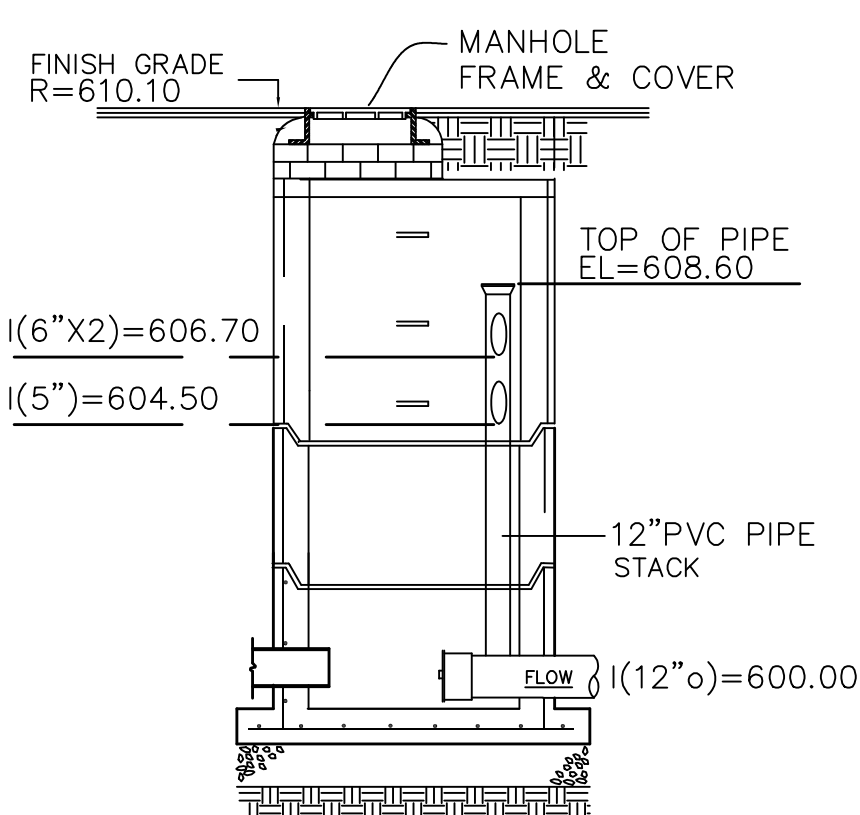
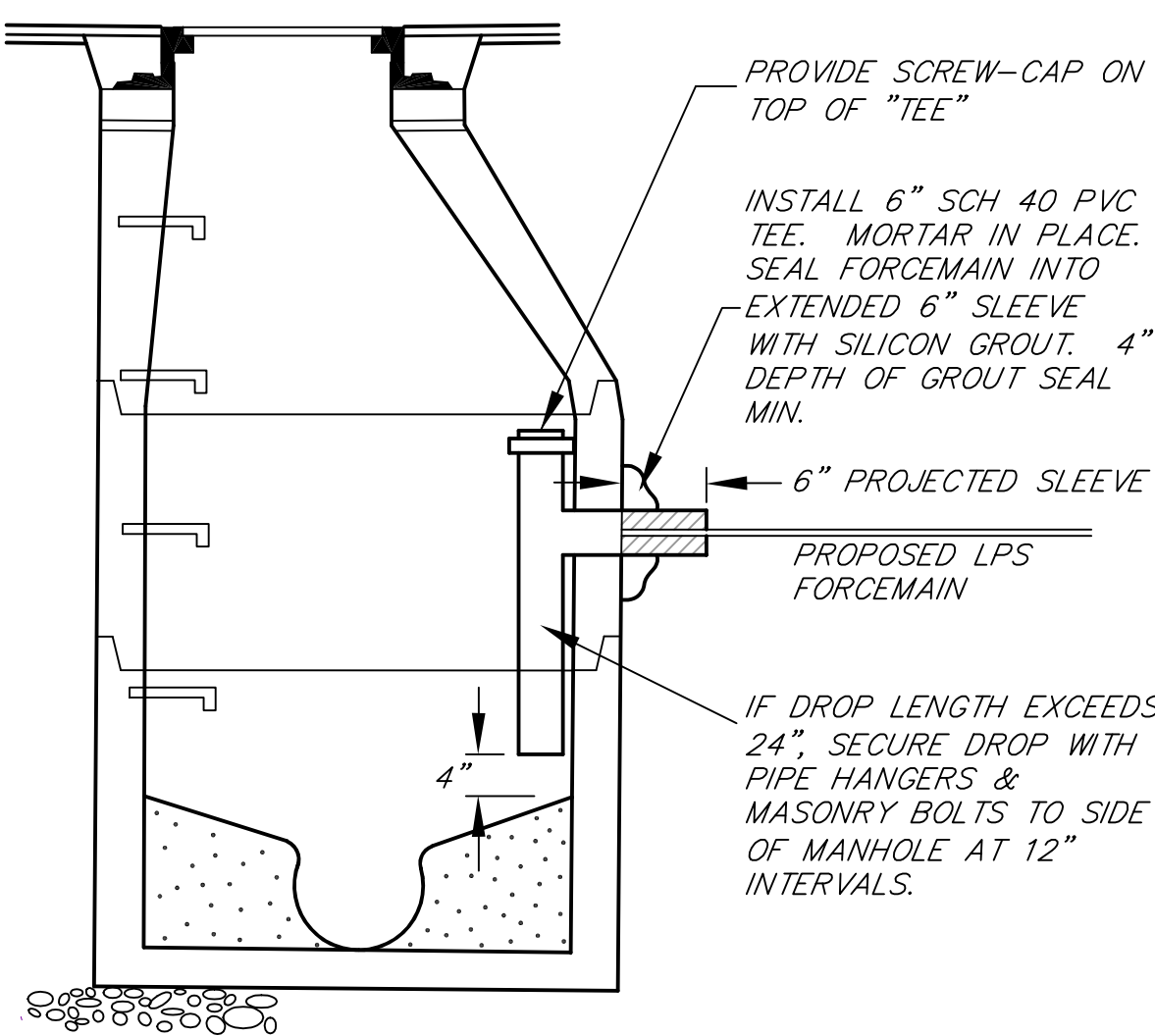
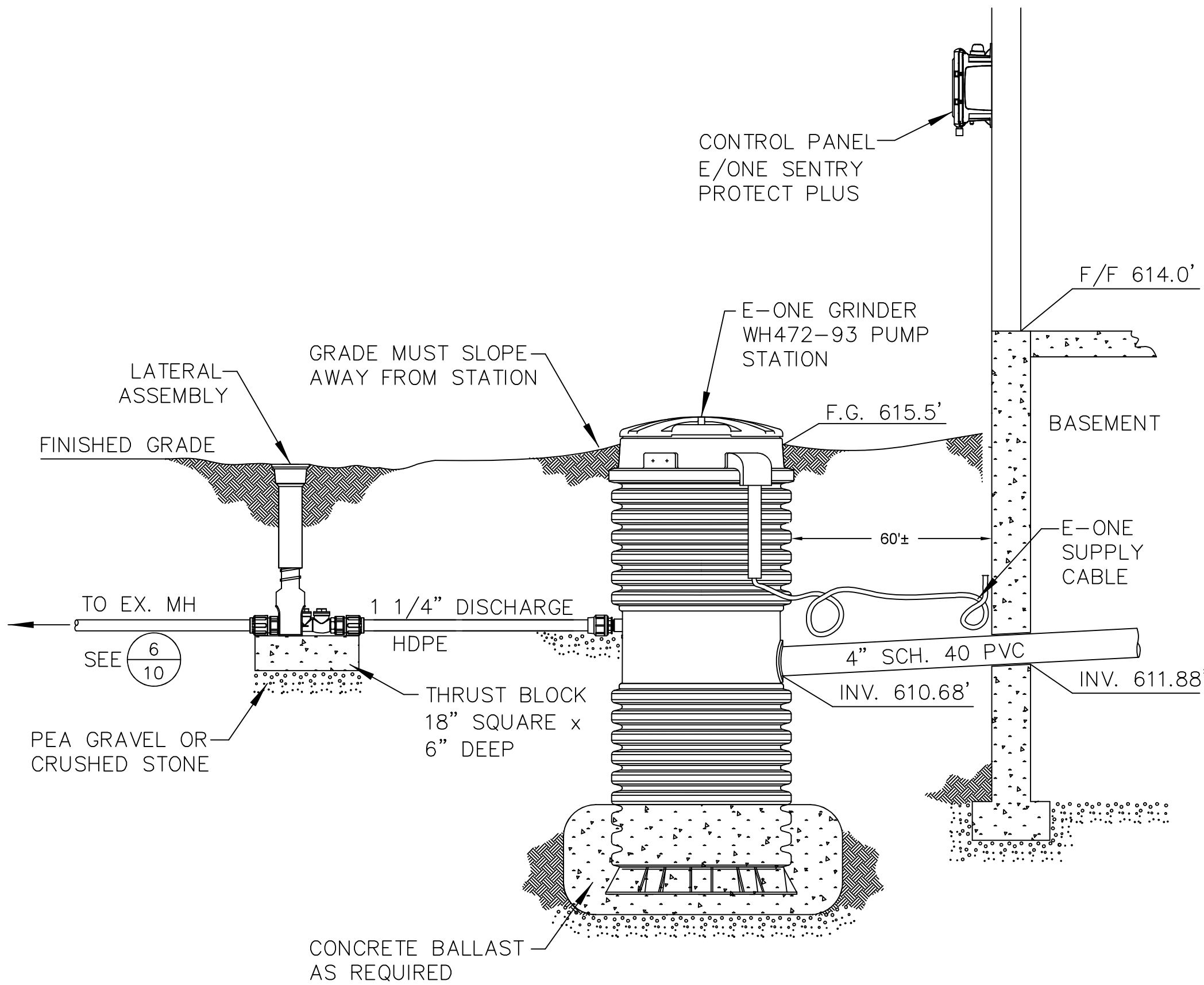
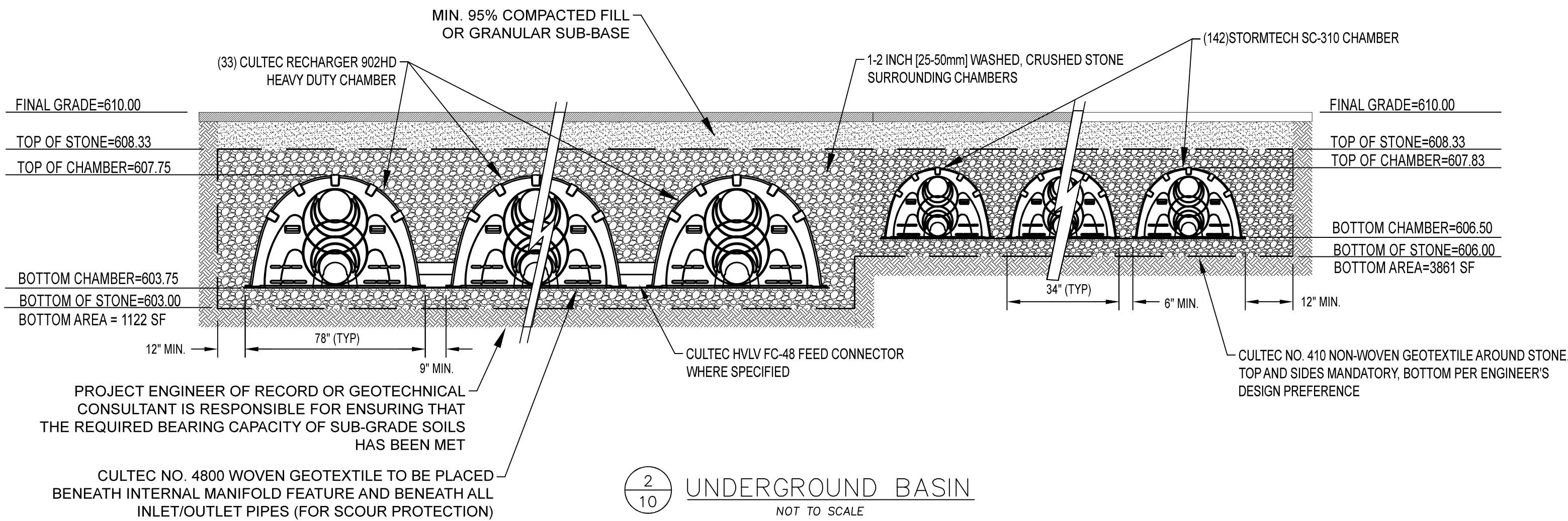


- NOTES:
1. SEE TRAFFIC CONTROL SCHEDULE FOR EXACT MOUNTING HEIGHT. 2. CHANNEL POST SECTIONS TO BE CONNECTED WITH AT LEAST TWO (2) APPROPRIATELY SIZED GALVANIZED BOLTS W/ LOCK WASHERS AND NUTS.



PREPARED BY:
SUMMIT Engineering & Survey, Inc. 710 MAIN STREET OXFORD, MA 01537 P:(508) 387-8713 F:(508) 387-8714
SHEET TITLE
DETAIL SHEET#1
DEFINITIVE SITE PLAN at 150 CHARLTON ROAD (ROUTE 20) STURBRIDGE, MA PREPARED FOR COBRA REALTY TRUST SHEET 9 OF 11
SHEET NO.

C-9.0

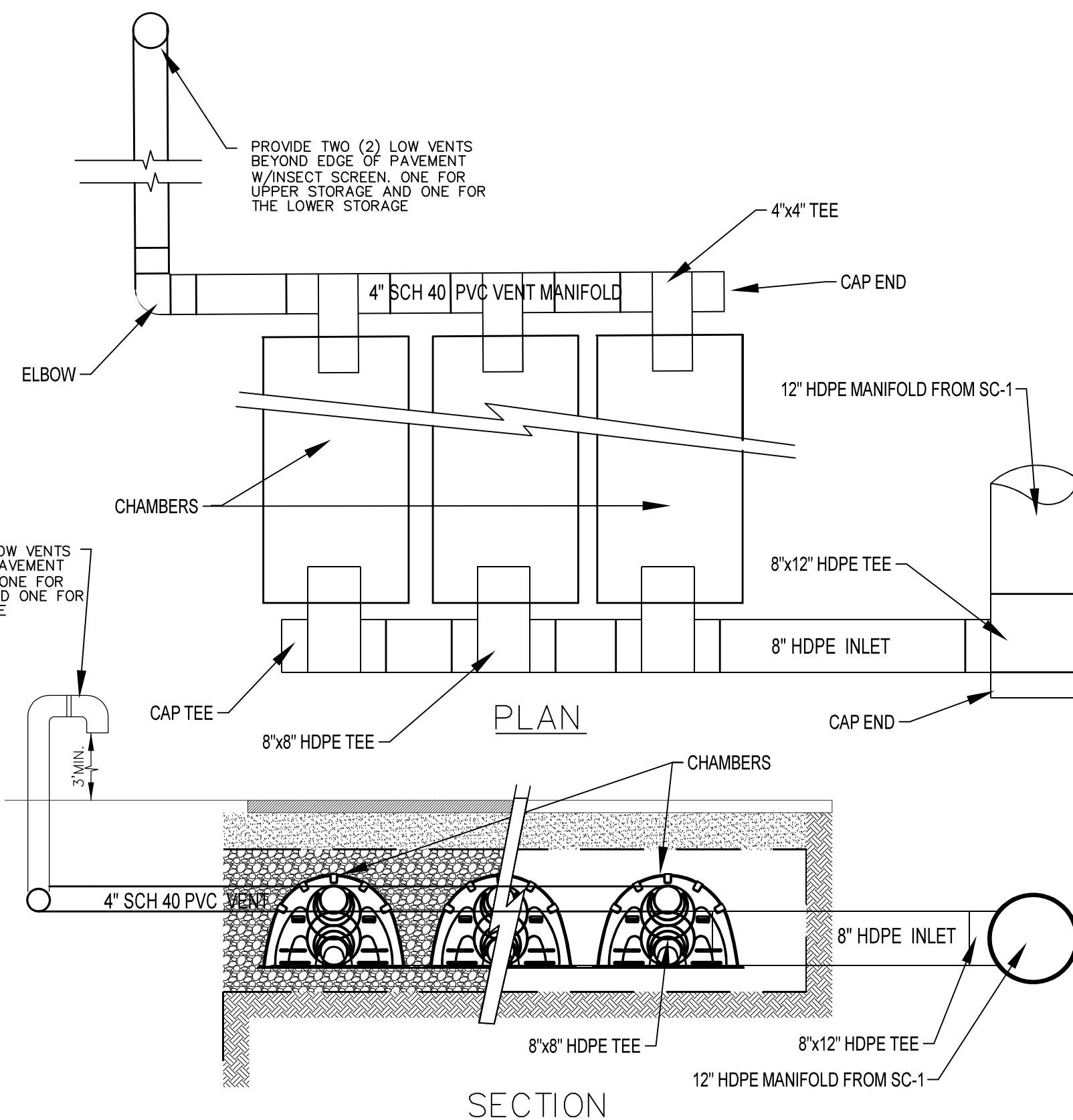
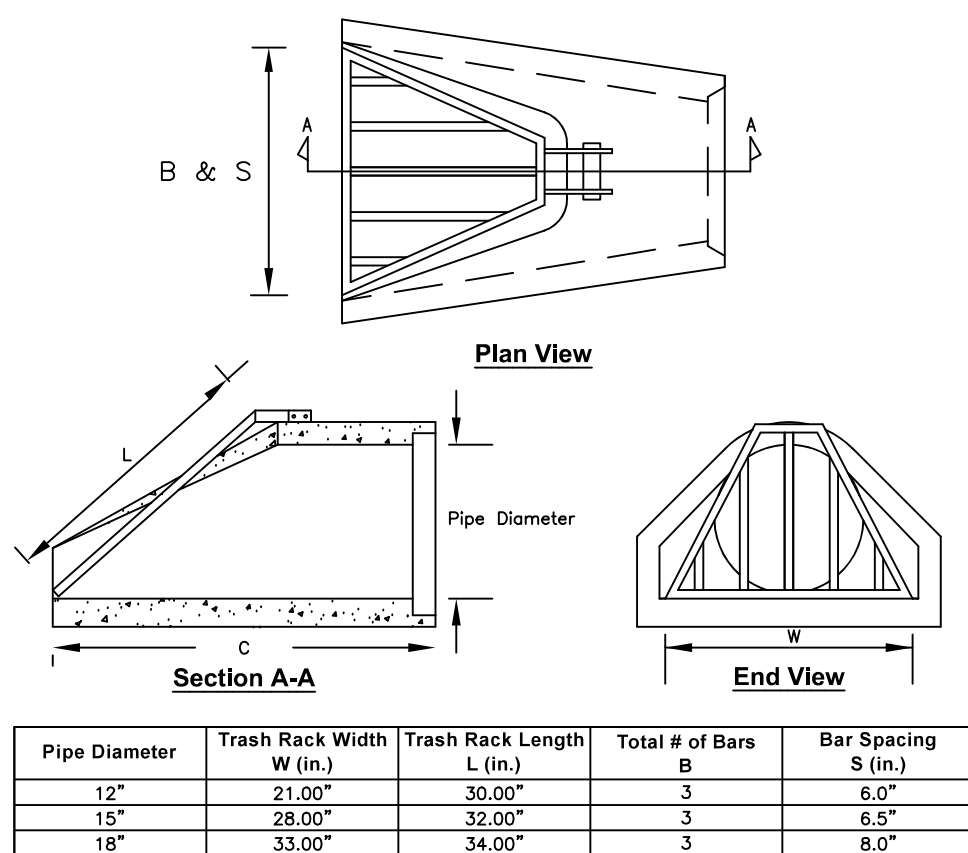
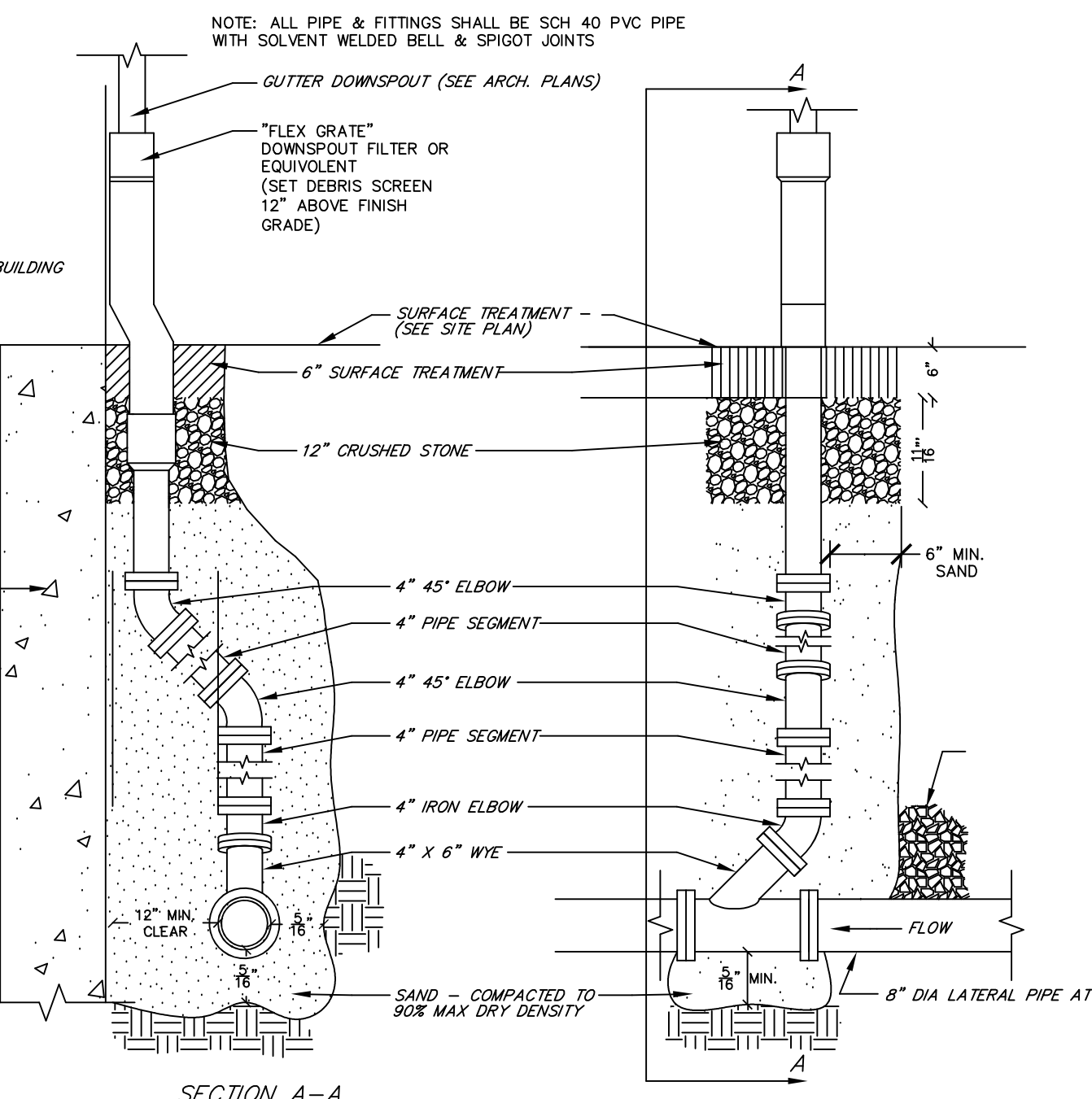
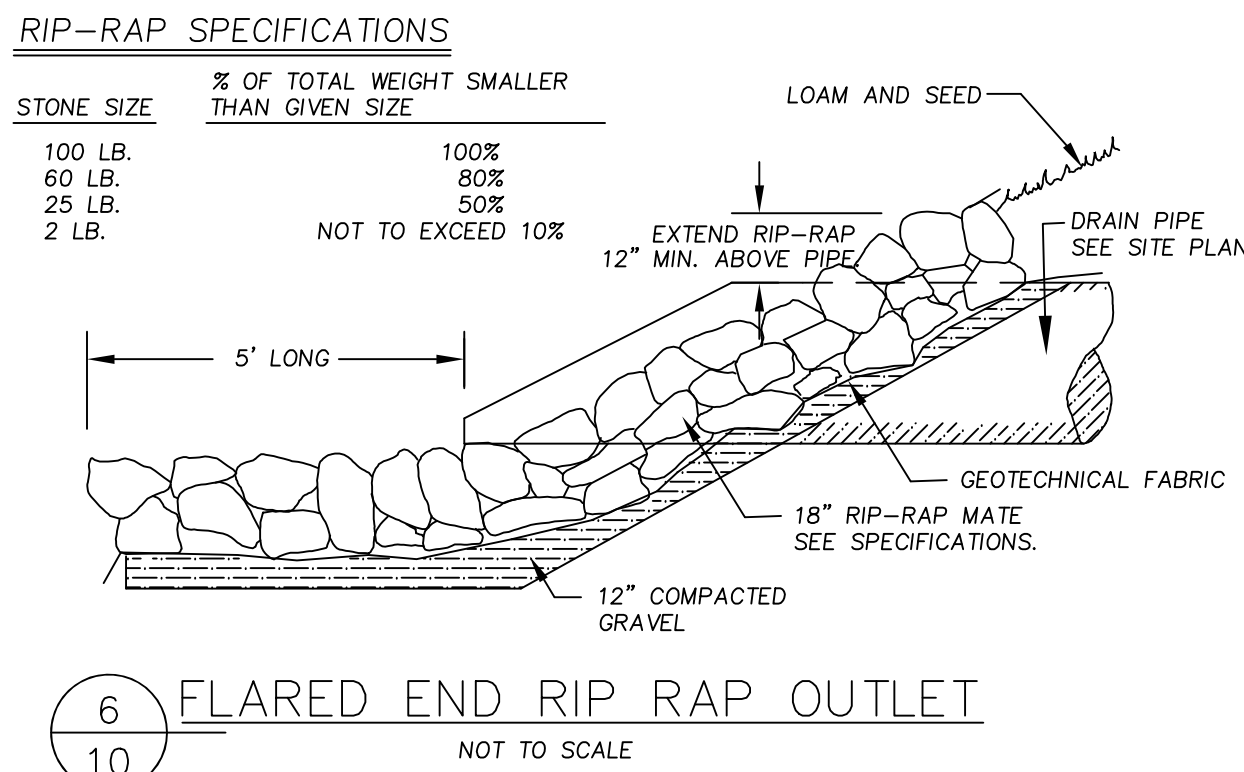


5
10

PROPOSED LP SEWER TIE-IN
SCALE: NONE

6
10

SEWER MANHOLE CONNECTION
NOT TO SCALE



REVISIONS		
REV.	DATE	DESCRIPTION
7	8/31/22	REVISED PER COMMENTS.
6	8/17/22	REVISED PER COMMENTS.
5	6/22/22	REMOVED TEMP. CONST. ACCESS
4	6/13/22	ISSUED FOR COBRA REALTY TRUST
3	4/13/22	REVISED PER COMMENTS.

PROJECT NO.	20-409
DESIGNED BY	PML
CHECKED BY	AB
DATE	9/13/21
CAD FILE	19-288_150...Alt2.dwg

P.E.

P.L.S.

APPROVAL UNDER SITE PLAN REVIEW.
STURBRIDGE PLANNING BOARD

BEING A MAJORITY

APPROVAL DATE: _____

ENDORSEMENT DATE: _____

PREPARED BY:

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SHEET TITLE

DETAIL SHEET#2

DEFINITIVE SITE PLAN
at
150 CHARLTON ROAD
(ROUTE 20)
STURBRIDGE, MA
PREPARED FOR
COBRA REALTY TRUST
SHEET 10 OF 11

SHEET NO.

C-10.0

