

DEMO LEGEND

- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- X - X - X - X - EXISTING FENCE
- BLOCK 101
- LOT 7
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO TREE

CORE STATES GROUP

9 GALEN STREET, SUITE 117
WATER TOWN, MA 02472
PHONE (617) 576-0007
ARCSCOE@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909

811
Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY
-	05/27/20	RESUBMISSION TO TOWN	MP
1	06/12/20	REVISED PER TOWN COMMENTS	MP
2	06/24/20	REVISED PER TOWN COMMENTS	MP

DOCUMENT
SITE PLAN
APPROVAL

SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL

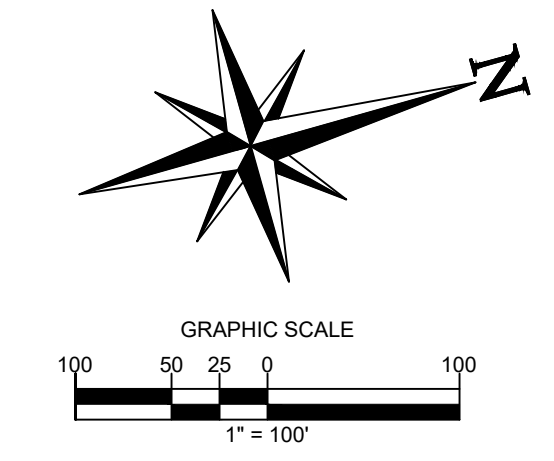
ALAN D. ROSCOE
CIVIL
No. 40163
REGISTERED PROFESSIONAL ENGINEER

ALAN D. ROSCOE, P.E.
LICENSE # 40163

SHEET TITLE
OVERALL
DEMOLITION
PLAN

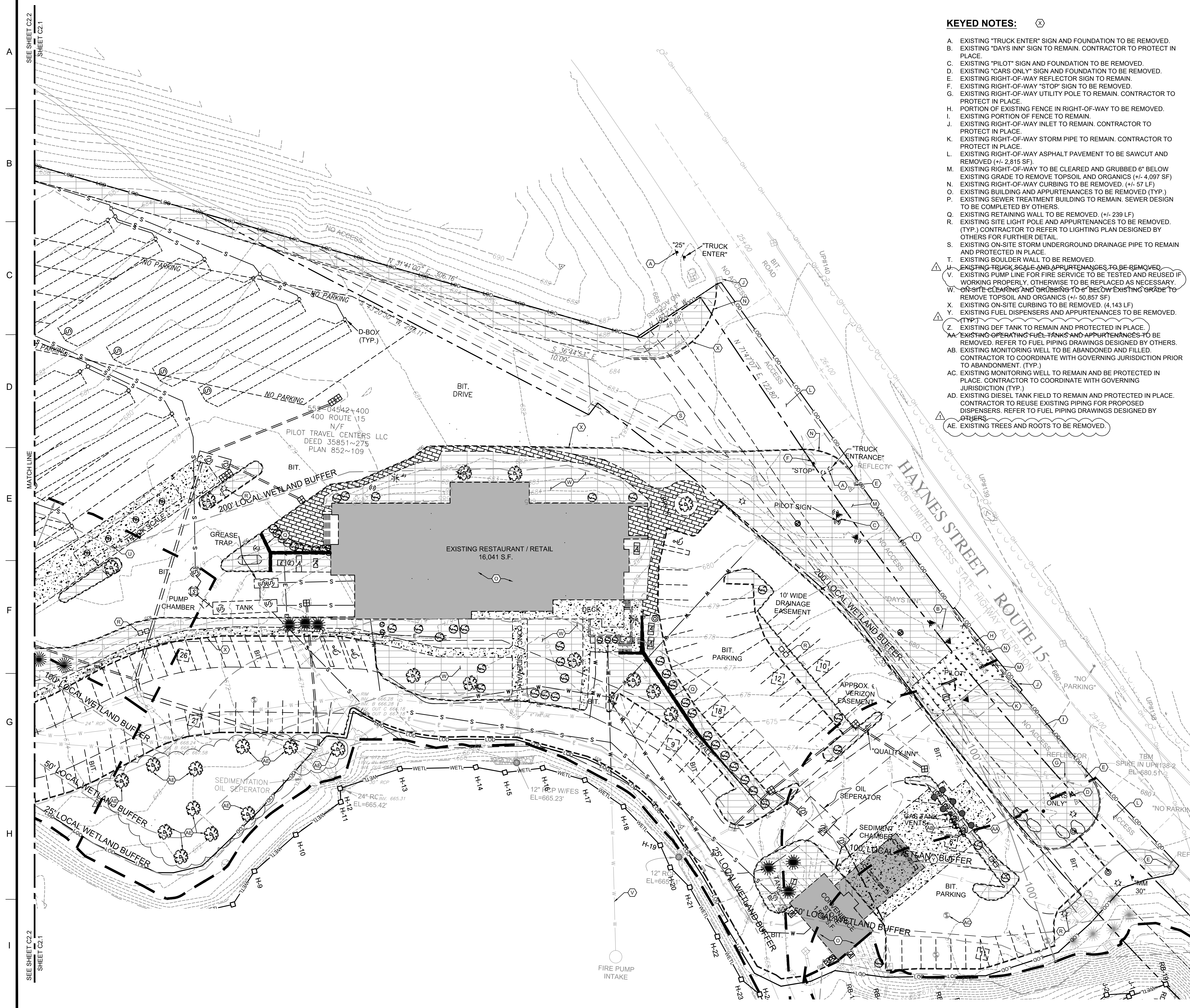
JOB #: PIL 28950
DATE: 02/10/20
SCALE: AS NOTED
DRAWN BY: MP
CHECKED BY: AR

SHEET NO.
C2.0



ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



KEYED NOTES: (X)

- A. EXISTING "TRUCK ENTER" SIGN AND FOUNDATION TO BE REMOVED.
- B. EXISTING "DAYS INN" SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- C. EXISTING "PILOT" SIGN AND FOUNDATION TO BE REMOVED.
- D. EXISTING "CARS ONLY" SIGN AND FOUNDATION TO BE REMOVED.
- E. EXISTING RIGHT-OF-WAY REFLECTOR SIGN TO REMAIN.
- F. EXISTING RIGHT-OF-WAY "STOP" SIGN TO BE REMOVED.
- G. EXISTING RIGHT-OF-WAY UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- H. PORTION OF EXISTING FENCE IN RIGHT-OF-WAY TO BE REMOVED.
- I. EXISTING PORTION OF FENCE TO REMAIN.
- J. EXISTING RIGHT-OF-WAY INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING RIGHT-OF-WAY STORM PIPE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- L. EXISTING RIGHT-OF-WAY ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED (+/- 2,815 SF).
- M. EXISTING RIGHT-OF-WAY TO BE CLEARED AND GRUBBED 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 4,097 SF).
- N. EXISTING RIGHT-OF-WAY CURBING TO BE REMOVED. (+/- 57 LF).
- O. EXISTING BUILDING AND APPURTENANCES TO BE REMOVED (TYP.)
- P. EXISTING SEWER TREATMENT BUILDING TO REMAIN. SEWER DESIGN TO BE COMPLETED BY OTHERS.
- Q. EXISTING RETAINING WALL TO BE REMOVED. (+/- 239 LF)
- R. EXISTING SITE LIGHT POLE AND APPURTENANCES TO BE REMOVED. (TYP.) CONTRACTOR TO REFER TO LIGHTING PLAN DESIGNED BY OTHERS FOR FURTHER DETAIL.
- S. EXISTING ON-SITE STORM UNDERGROUND DRAINAGE PIPE TO REMAIN AND PROTECTED IN PLACE.
- T. EXISTING BOULDER WALL TO BE REMOVED.
- U. EXISTING TRUCK SCALE AND APPURTENANCES TO BE REMOVED.
- V. EXISTING PUMP LINE FOR FIRE SERVICE TO BE TESTED AND REUSED IF WORKING PROPERLY, OTHERWISE TO BE REPLACED AS NECESSARY.
- W. ON-SITE CLEARING AND GRUBBING TO 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 50,857 SF)
- X. EXISTING ON-SITE CURBING TO BE REMOVED. (4,143 LF)
- Y. EXISTING FUEL DISPENSERS AND APPURTENANCES TO BE REMOVED. (TYP.)
- Z. EXISTING DEF TANK TO REMAIN AND PROTECTED IN PLACE.
- AA. EXISTING OPERATING FUEL TANKS AND APPURTENANCES TO BE REMOVED. REFER TO FUEL PIPING DRAWINGS DESIGNED BY OTHERS.
- AB. EXISTING MONITORING WELL TO BE ABANDONED AND FILLED. CONTRACTOR TO COORDINATE WITH GOVERNING JURISDICTION PRIOR TO ABANDONMENT. (TYP.)
- AC. EXISTING MONITORING WELL TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO COORDINATE WITH GOVERNING JURISDICTION. (TYP.)
- AD. EXISTING DIESEL TANK FIELD TO REMAIN AND PROTECTED IN PLACE. CONTRACTOR TO REUSE EXISTING PIPING FOR PROPOSED DISPENSERS. REFER TO FUEL PIPING DRAWINGS DESIGNED BY OTHERS.
- AE. EXISTING TREES AND ROOTS TO BE REMOVED.

DEMO LEGEND

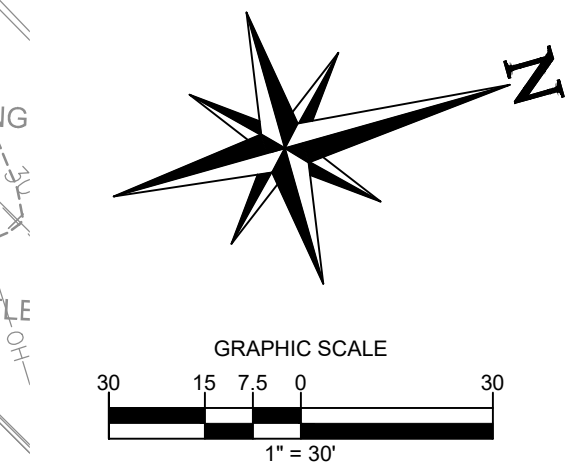
- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO TREE
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE

HATCH LEGEND

- [Hatch] DEMO CONCRETE
- [Hatch] DEMO ASPHALT
- [Hatch] ASPHALT PAVEMENT TO BE MILLED
- [Hatch] DEMO BRICK PAVERS
- [Hatch] LIMITS OF CLEAR AND GRUB
- [Hatch] DEMO GRASS/LANDSCAPE AREAS

WETLAND BUFFER PLAN LEGEND

- LOD --- LOD --- LIMITS OF DISTURBANCE
- FP --- FP --- 100 YR. FLOODPLAIN
- TOP OF BANK
- 100' & 200' RIVERFRONT PROTECTION ZONE
- WETLAND BOUNDARY
- 25', 50', 100' & 200' WETLAND BUFFER
- 295' PROTECTIVE RADIUS - I.W.P.A.



ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES GROUP
 9 GALEN STREET, SUITE 117
 WATER TOWN, MA 02472
 PHONE (617) 576-0007
 ARCSO@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY
-	05/27/20	RESUBMISSION TO TOWN	MP
1	08/12/20	REVISED PER TOWN COMMENTS	MP
2	08/24/20	REVISED PER TOWN COMMENTS	MP

DOCUMENT
SITE PLAN APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

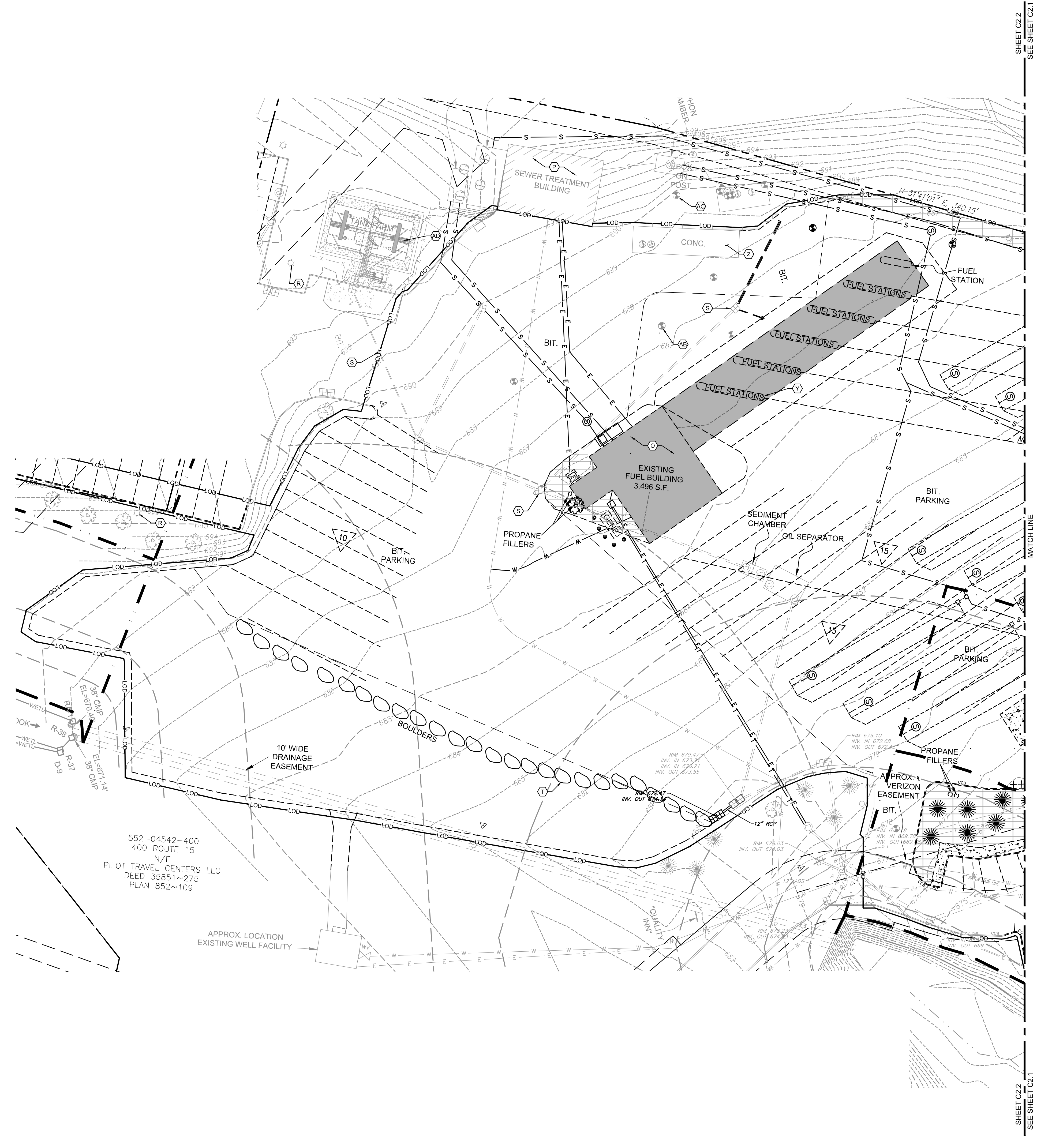
ENGINEER SEAL

 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE
DEMOLITION PLAN

JOB #:	PIL 28950
DATE:	02/10/20
SCALE:	AS NOTED
DRAWN BY:	MP
CHECKED BY:	AR

SHEET NO.
C2.1



SHEET C2.2 SEE SHEET C2.1

MATCH LINE

SHEET C2.2 SEE SHEET C2.1

KEYED NOTES: (X)

- A. EXISTING "TRUCK ENTER" SIGN AND FOUNDATION TO BE REMOVED.
- B. EXISTING "DAYS INN" SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- C. EXISTING "PILOT" SIGN AND FOUNDATION TO BE REMOVED.
- D. EXISTING "CARS ONLY" SIGN AND FOUNDATION TO BE REMOVED.
- E. EXISTING RIGHT-OF-WAY REFLECTOR SIGN TO REMAIN.
- F. EXISTING RIGHT-OF-WAY "STOP" SIGN TO BE REMOVED.
- G. EXISTING RIGHT-OF-WAY UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- H. PORTION OF EXISTING FENCE IN RIGHT-OF-WAY TO BE REMOVED.
- I. EXISTING PORTION OF FENCE TO REMAIN.
- J. EXISTING RIGHT-OF-WAY INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING RIGHT-OF-WAY STORM PIPE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- L. EXISTING RIGHT-OF-WAY ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED (+/- 2,815 SF).
- M. EXISTING RIGHT-OF-WAY TO BE CLEARED AND GRUBBED 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 4,097 SF).
- N. EXISTING RIGHT-OF-WAY CURBING TO BE REMOVED. (+/- 57 LF).
- O. EXISTING BUILDING AND APPURTENANCES TO BE REMOVED (TYP.)
- P. EXISTING SEWER TREATMENT BUILDING TO REMAIN. SEWER DESIGN TO BE COMPLETED BY OTHERS.
- Q. EXISTING RETAINING WALL TO BE REMOVED. (+/- 239 LF).
- R. EXISTING SITE LIGHT POLE AND APPURTENANCES TO BE REMOVED. (TYP.) CONTRACTOR TO REFER TO LIGHTING PLAN DESIGNED BY OTHERS FOR FURTHER DETAIL.
- S. EXISTING ON-SITE STORM UNDERGROUND DRAINAGE PIPE TO REMAIN AND PROTECTED IN PLACE.
- T. EXISTING BOULDER WALL TO BE REMOVED.
- U. EXISTING TRUCK SCALE AND APPURTENANCES TO BE REMOVED.
- V. EXISTING PUMP LINE FOR FIRE SERVICE TO BE TESTED AND REUSED IF WORKING PROPERLY, OTHERWISE TO BE REPLACED AS NECESSARY.
- W. ON-SITE CLEARING AND GRUBBING TO 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 50,857 SF).
- X. EXISTING ON-SITE CURBING TO BE REMOVED. (4,143 LF).
- Y. EXISTING FUEL DISPENSERS AND APPURTENANCES TO BE REMOVED. (TYP.)
- Z. EXISTING DEF TANK TO REMAIN AND PROTECTED IN PLACE.
- AA. EXISTING OPERATING FUEL TANKS AND APPURTENANCES TO BE REMOVED. REFER TO FUEL PIPING DRAWINGS DESIGNED BY OTHERS.
- AB. EXISTING MONITORING WELL TO BE ABANDONED AND FILLED. CONTRACTOR TO COORDINATE WITH GOVERNING JURISDICTION PRIOR TO ABANDONMENT. (TYP.)
- AC. EXISTING MONITORING WELL TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO COORDINATE WITH GOVERNING JURISDICTION (TYP.)
- AD. EXISTING DIESEL TANK FIELD TO REMAIN AND PROTECTED IN PLACE. CONTRACTOR TO REUSE EXISTING PIPING FOR PROPOSED DISPENSERS. REFER TO FUEL PIPING DRAWINGS DESIGNED BY OTHERS.
- AE. EXISTING TREES AND ROOTS TO BE REMOVED.

DEMO LEGEND

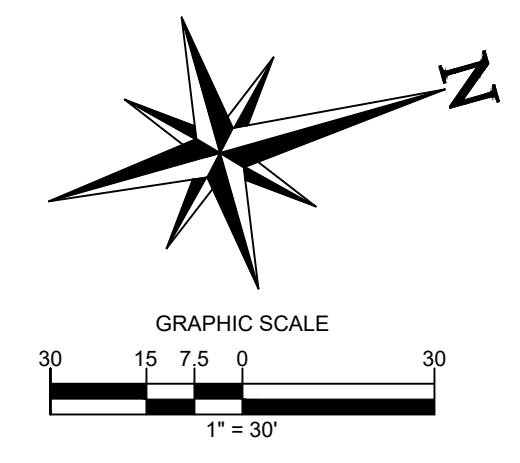
- PROPERTY BOUNDARY LINE
- - - ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- X X X X X EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- G G EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO TREE
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE

HATCH LEGEND

- [Hatch Pattern] DEMO CONCRETE
- [Hatch Pattern] DEMO ASPHALT
- [Hatch Pattern] ASPHALT PAVEMENT TO BE MILLED
- [Hatch Pattern] DEMO BRICK PAVERS
- [Hatch Pattern] LIMITS OF CLEAR AND GRUB
- [Hatch Pattern] DEMO GRASS/LANDSCAPE AREAS

WETLAND BUFFER PLAN LEGEND

- LOD --- LOD --- LIMITS OF DISTURBANCE
- FP --- FP --- 100 YR. FLOODPLAIN
- --- --- TOP OF BANK
- --- --- 100' & 200' RIVERFRONT PROTECTION ZONE
- WETL --- WETL --- WETLAND BOUNDARY
- --- --- 25', 50', 100' & 200' WETLAND BUFFER
- --- --- 295' PROTECTIVE RADIUS - I.W.P.A.



ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES GROUP
 9 GALEN STREET, SUITE 117
 WATER TOWN, MA 02472
 PHONE (617) 576-0007
 ARSCOE@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY
-	05/27/20	RESUBMISSION TO TOWN	MP
1	08/12/20	REVISED PER TOWN COMMENTS	MP
2	08/24/20	REVISED PER TOWN COMMENTS	MP

DOCUMENT
SITE PLAN APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL

 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE DEMOLITION PLAN

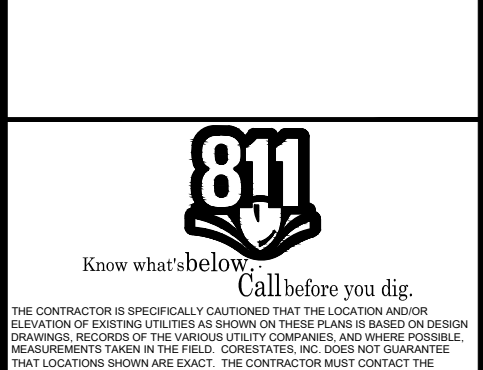
JOB #:	PIL 28950
DATE:	02/10/20
SCALE:	AS NOTED
DRAWN BY:	MP
CHECKED BY:	AR

SHEET NO.
C2.2

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



CLIENT
Pilot TRAVEL CENTERS
 PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909



REVISIONS

REV	DATE	COMMENT	BY
-	05/27/20	RESUBMISSION TO TOWN	MP
1	06/12/20	REVISED PER TOWN COMMENTS	MP
2	06/24/20	REVISED PER TOWN COMMENTS	MP

DOCUMENT
 SITE PLAN
 APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566



SHEET TITLE
 OVERALL SITE PLAN

JOB #: PIL 28950
 DATE: 02/10/20
 SCALE: AS NOTED
 DRAWN BY: MP
 CHECKED BY: AR

SHEET NO.
C3.0

ZONING DATA COMMERCIAL II ZONING DISTRICT FOR PARCEL ID 552-04542-400

ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
LOT SIZE (AC.)	1	30.71	30.71	COMPLIANT
LOT FRONTAGE (FT.)	150	319.64	319.64	COMPLIANT
STREET SETBACK (FT.)	25 ⁽¹⁾	124.165	142.86	COMPLIANT
OTHER SETBACK (FT.)	10	113.69	81.03	COMPLIANT
MAXIMUM LOT COVERAGE (%)	30	4.86	3.20	COMPLIANT
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	3/35	1.75/23	1/26	COMPLIANT
MAXIMUM IMPERVIOUS SURFACE (%)	70	31.75	28.36	COMPLIANT
MINIMUM HABITABLE FLOOR AREA (S.F.)	750	16,041	13,902	COMPLIANT

(1) STREET LINE SETBACKS APPLY TO ALL STREETS FORMING CORNER LOTS.
 NA = NOT APPLICABLE

ZONING DATA COMMERCIAL II ZONING DISTRICT FOR PARCEL ID 552-04512-420

ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
LOT SIZE (AC.)	1	4	4	COMPLIANT
LOT FRONTAGE (FT.)	150	276.33	276.33	COMPLIANT
STREET SETBACK (FT.)	25 ⁽¹⁾	NA	NA	NONE
OTHER SETBACK (FT.)	10	NA	NA	NONE
MAXIMUM LOT COVERAGE (%)	30	NA	NA	NONE
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	3/35	NA	NA	NONE
MAXIMUM IMPERVIOUS SURFACE (%)	70	64.98	64.98	COMPLIANT
MINIMUM HABITABLE FLOOR AREA (S.F.)	750	NA	NA	NONE

(1) STREET LINE SETBACKS APPLY TO ALL STREETS FORMING CORNER LOTS.
 NA = NOT APPLICABLE

IMPERVIOUS CALCULATION FOR PARCEL ID 552-04542-400:

LOT AREA = 1,337,728 SF (30.71 AC.)
 EXISTING CONDITIONS:
 IMPERVIOUS AREA = 424,757 SF
 PROPOSED CONDITIONS:
 IMPERVIOUS AREA = 379,394 SF
 REDUCTION OF IMPERVIOUS AREA = 45,363 SF

IMPERVIOUS CALCULATION FOR PARCEL ID 552-04512-420:

LOT AREA = 174,244 SF (4.0 AC.)
 EXISTING CONDITIONS:
 IMPERVIOUS AREA = 113,220 SF (2.6 AC.)
 PROPOSED CONDITIONS:
 IMPERVIOUS AREA = 113,220 SF (2.6 AC.) (NO CHANGE)

AUTO PARKING CALCULATION:

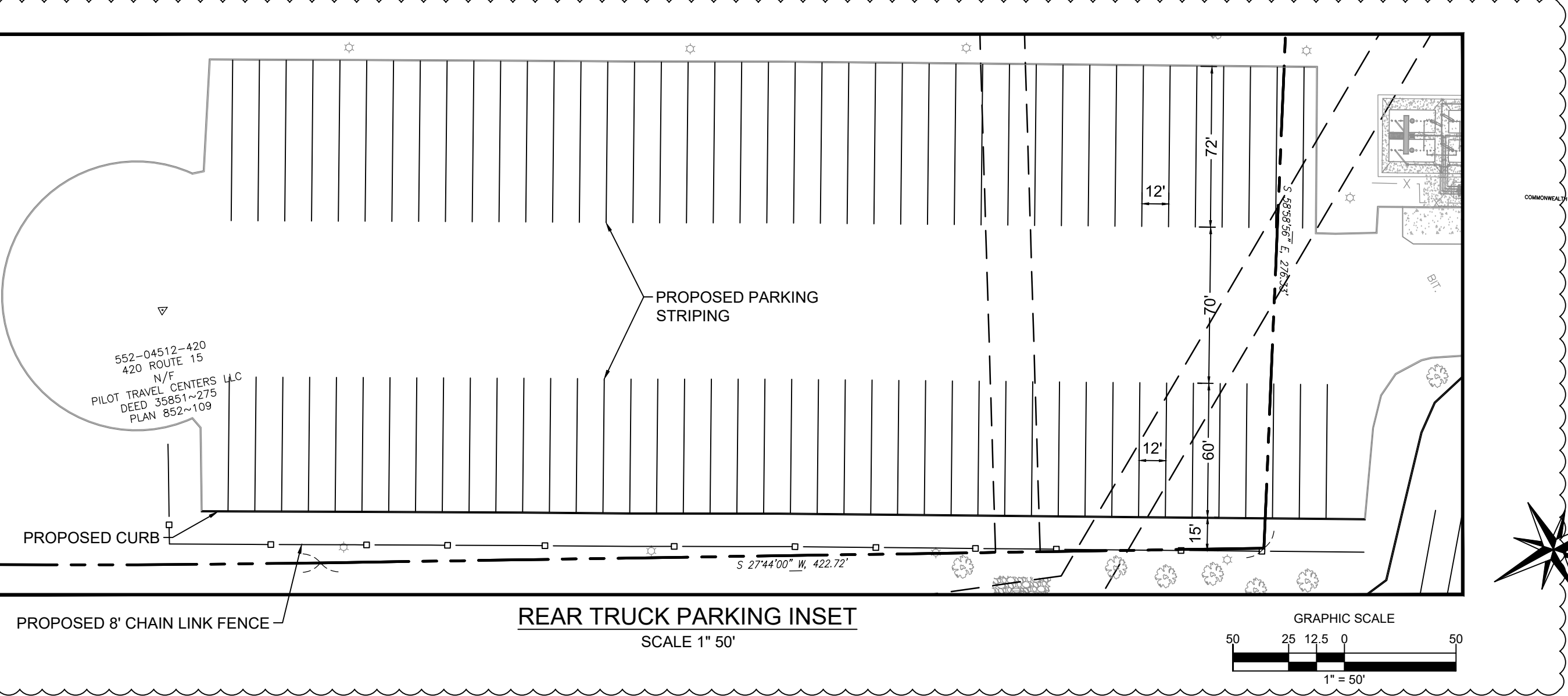
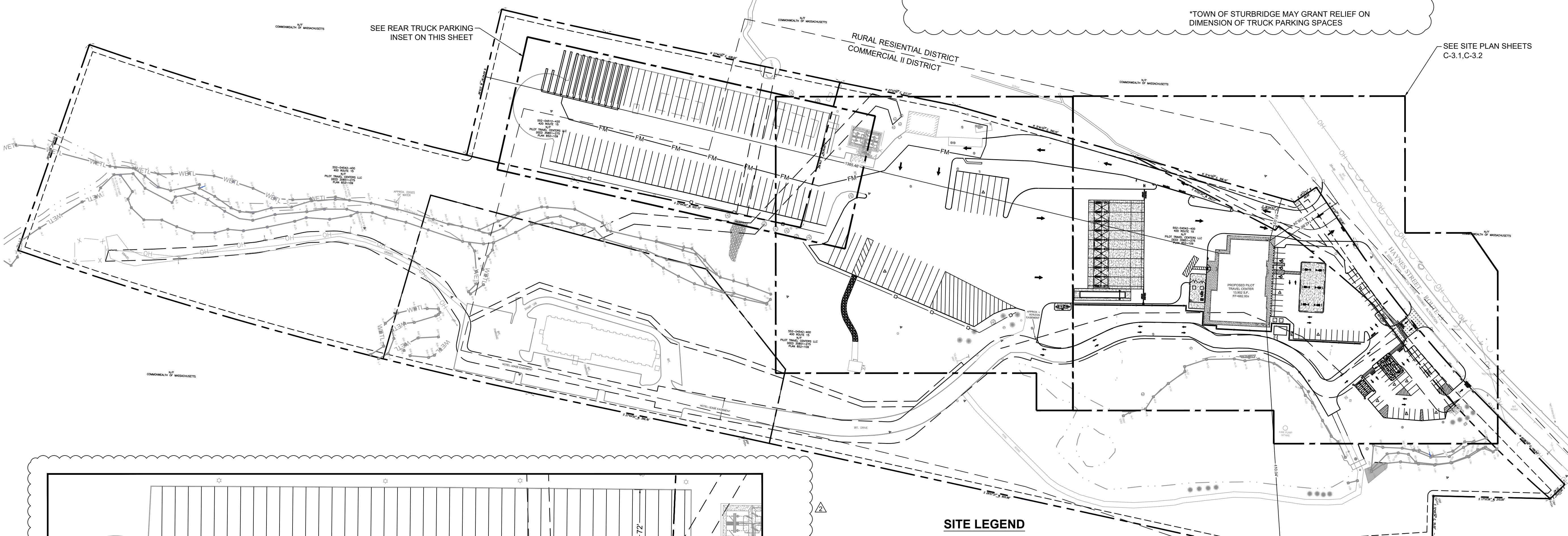
REQUIRED PASSENGER VEHICLE PARKING SPACES (EXCLUDING HOTEL):
 RETAIL USE: MINIMUM OF 1 PARKING SPACE PER 200 SF OF GROSS FLOOR.
 RETAIL ACTUAL= 5,275 SF
 5,275 SF X (1 SPACE) / 200 SF = 27 SPACES REQUIRED
 RESTAURANT USE: 1 SPACE FOR EVERY 3 SEATS, PLUS ONE SPACE FOR EVERY EMPLOYEE ON MAX. SHIFT.

NUMBER OF SEATS = 51
 NUMBER OF EMPLOYEES = 10 ON MAX. SHIFT
 51 SEATS X (1 SPACE) / (3 SEATS) = 17 SPACES + 10 EMPLOYEES = 27 SPACES REQUIRED

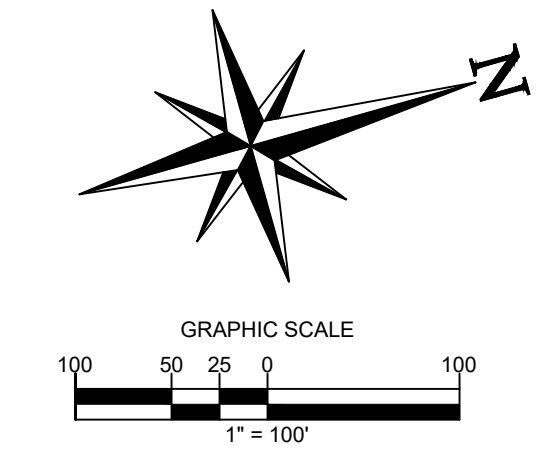
REQUIRED = 54 PARKING SPACES
 EXISTING = 113 PARKING SPACES
 PROVIDED = 70 PARKING SPACES

TRUCK PARKING CALCULATION:

EXISTING = 124 PARKING SPACES
 PROVIDED = 108 PARKING SPACES
 *TOWN OF STURBRIDGE MAY GRANT RELIEF ON DIMENSION OF TRUCK PARKING SPACES

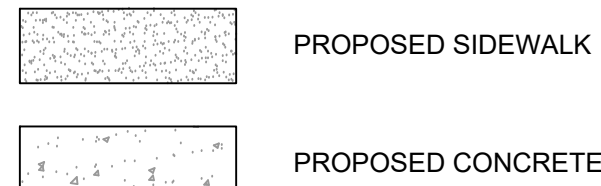


- SITE LEGEND**
- EXISTING PROPERTY BOUNDARY LINE
 - EXISTING ADJOINING PROPERTY LINE
 - EXISTING UTILITY EASEMENT
 - EXISTING CURB AND GUTTER
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED CURB
 - PROPOSED DEPRESSED CURB
 - PROPOSED BUILDING
 - PROPOSED WATER STRUCTURES
 - PROPOSED STORM STRUCTURES
 - PROPOSED SANITARY STRUCTURES
 - PROPOSED SITE LIGHTING FIXTURES
 - EXISTING STORMWATER STRUCTURES
 - EXISTING SANITARY STRUCTURES
 - EXISTING WATER STRUCTURE
 - ⊗ PROPOSED PARKING COUNT
 - ZONING BOUNDARY

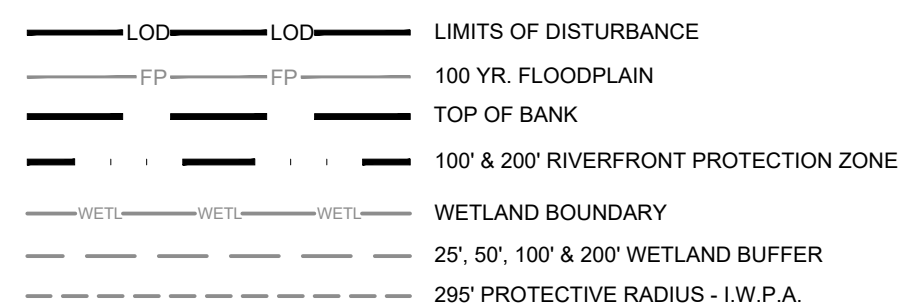


ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

HATCH LEGEND



WETLAND BUFFER PLAN LEGEND

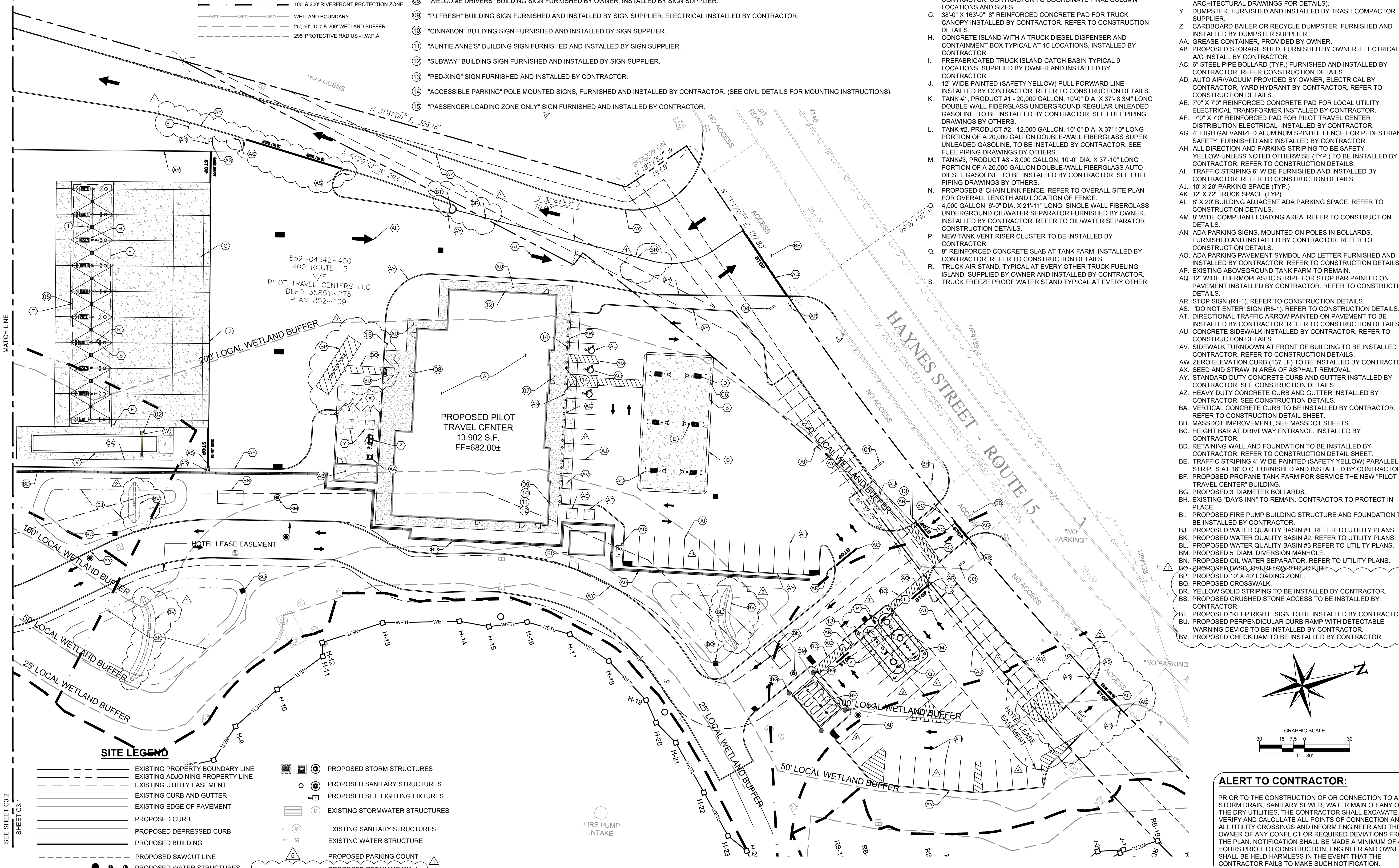


SIGNAGE KEYNOTES

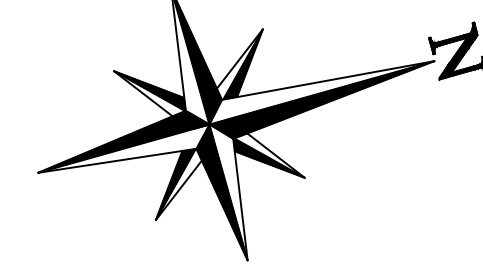
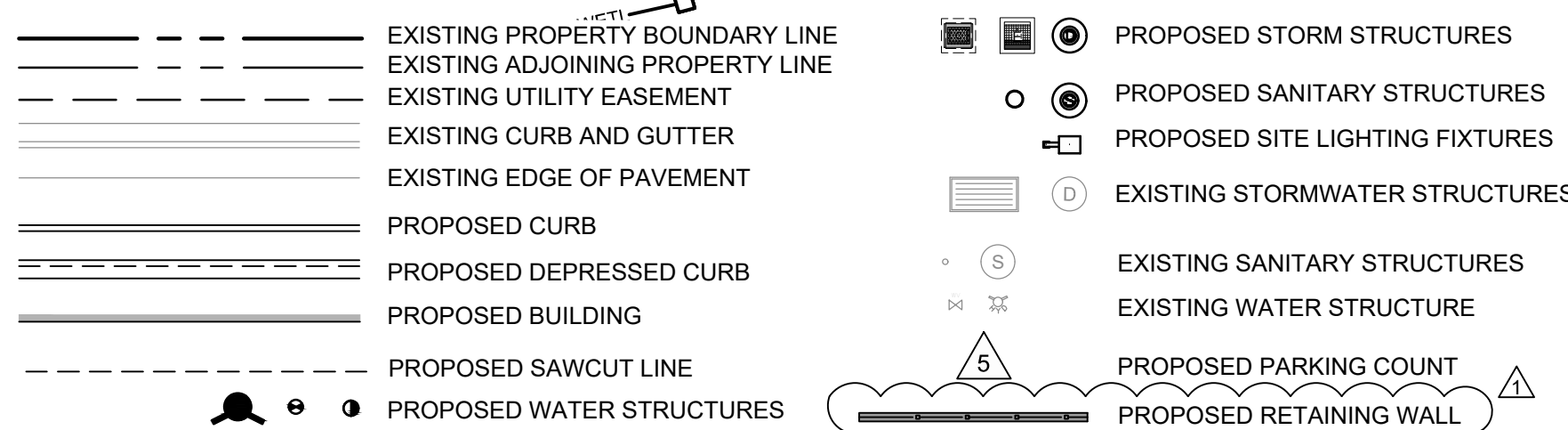
- List of 15 signage keynotes detailing sign types, sizes, and installation requirements.

KEYED NOTES

- List of 27 keyed notes (A through S) detailing construction and equipment specifications.



SITE LEGEND



ALERT TO CONTRACTOR: PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES...

CORE STATES GROUP logo and contact information.

CLIENT information: PILOT TRAVEL CENTERS LLC, 5508 LONAS ROAD, KNOXVILLE, TN 37909



Project location and address details.

REVISIONS table with columns for REV, DATE, COMMENT, and BY.

Table with columns for REV, DATE, COMMENT, and BY, likely for additional revisions.

DOCUMENT SITE PLAN APPROVAL

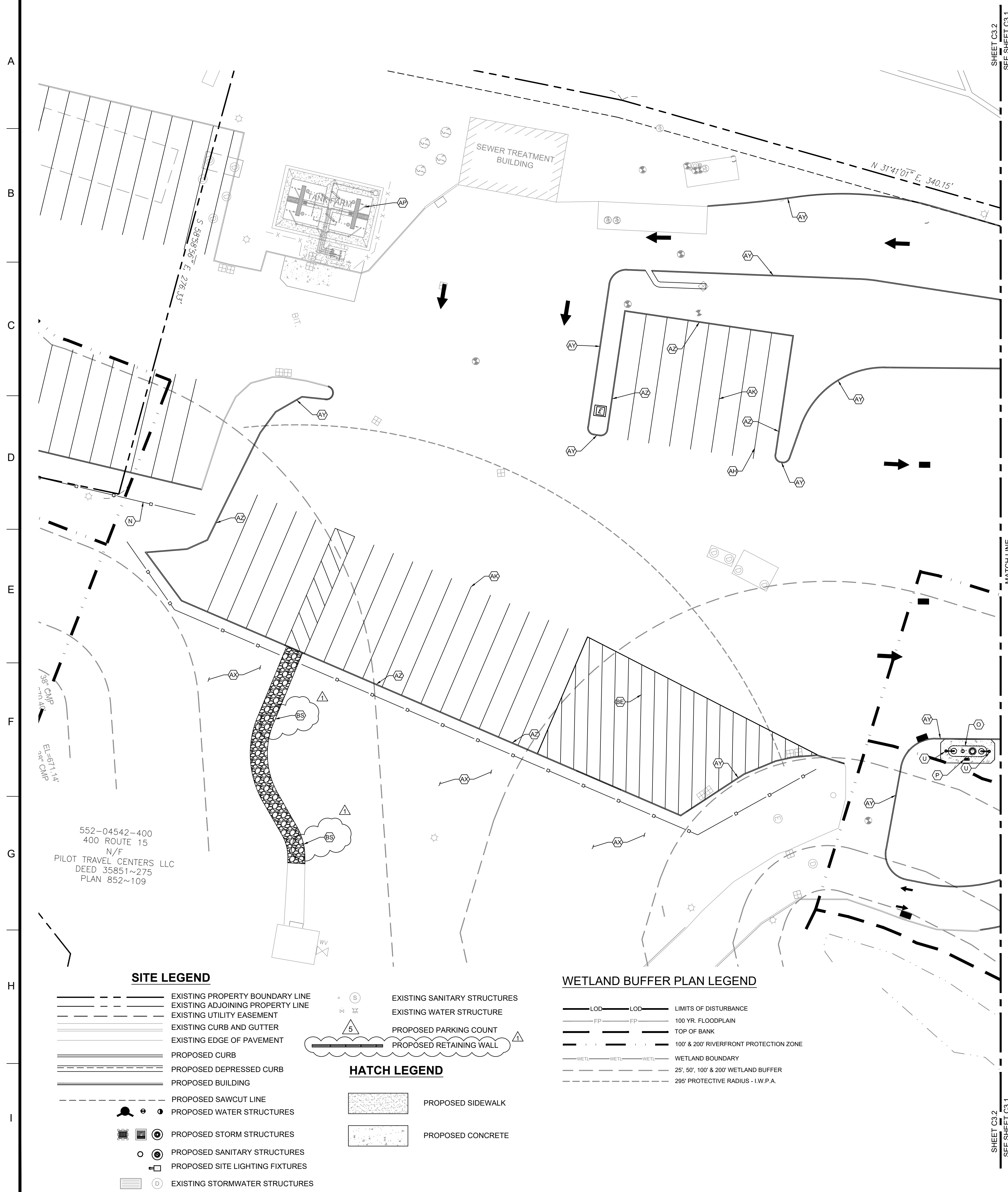
SITE LOCATION: 400 HAYNES STREET, STURBRIDGE, MA 01566

ENGINEER SEAL for Alan D. Roscoe, P.E., License # 40163.

SHEET TITLE: SITE PLAN

Table with columns for JOB #, DATE, SCALE, DRAWN BY, and CHECKED BY.

SHEET NO. C3.1



KEYED NOTES: (X)

A. "PILOT" 13,902 SF TRAVEL CENTER BUILDING. SEE ARCHITECTURAL DRAWINGS. INSTALLED BY CONTRACTOR.

B. 43'-0" X 88'-9" AUTO CANOPY TO BE FURNISHED AND INSTALLED BY CANOPY SUPPLIER. CANOPY FOUNDATIONS TO BE INSTALLED BY CONTRACTOR. CONTRACTOR TO COORDINATE FINAL COLUMN LOCATIONS AND SIZES.

C. 40'-0" X 92'-0" 6" REINFORCED CONCRETE PAD FOR AUTO AUTO CANOPY. INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

D. CONCRETE ISLAND WITH WITH GAS/AUTO DIESEL (3 + 1) DISPENSER TYPICAL IN 6 LOCATIONS. INSTALLED BY CONTRACTOR. REFER TO FUEL PIPING DRAWINGS BY OTHERS.

E. FUEL EMERGENCY STOP BUTTON TO BE INSTALLED BY CONTRACTOR. REFER TO FUEL PIPING DRAWINGS BY OTHERS.

F. 25'-0" X 158'-9" TRUCK CANOPY TO BE FURNISHED AND INSTALLED BY CANOPY SUPPLIER. CANOPY FOUNDATIONS TO BE INSTALLED BY CONTRACTOR. CONTRACTOR TO COORDINATE FINAL COLUMN LOCATIONS AND SIZES.

G. 38'-0" X 163'-0" 8" REINFORCED CONCRETE PAD FOR TRUCK CANOPY INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

H. CONCRETE ISLAND WITH A TRUCK DIESEL DISPENSER AND CONTAINMENT BOX TYPICAL AT 10 LOCATIONS. INSTALLED BY CONTRACTOR.

I. PREFABRICATED TRUCK ISLAND CATCH BASIN TYPICAL 9 LOCATIONS. SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

J. 12" WIDE PAINTED (SAFETY YELLOW) PULL FORWARD LINE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

K. TANK #1, PRODUCT #1 - 20,000 GALLON, 10'-0" DIA. X 37'-8 3/4" LONG DOUBLE-WALL FIBERGLASS UNDERGROUND REGULAR UNLEADED GASOLINE. TO BE INSTALLED BY CONTRACTOR. SEE FUEL PIPING DRAWINGS BY OTHERS.

L. TANK #2, PRODUCT #2 - 12,000 GALLON, 10'-0" DIA. X 37'-10" LONG PORTION OF A 20,000 GALLON DOUBLE-WALL FIBERGLASS SUPER UNLEADED GASOLINE. TO BE INSTALLED BY CONTRACTOR. SEE FUEL PIPING DRAWINGS BY OTHERS.

M. TANK #3, PRODUCT #3 - 8,000 GALLON, 10'-0" DIA. X 37'-10" LONG PORTION OF A 20,000 GALLON DOUBLE-WALL FIBERGLASS AUTO DIESEL GASOLINE. TO BE INSTALLED BY CONTRACTOR. SEE FUEL PIPING DRAWINGS BY OTHERS.

N. PROPOSED 8' CHAIN LINK FENCE. REFER TO OVERALL SITE PLAN FOR OVERALL LENGTH AND LOCATION OF FENCE.

O. 4,000 GALLON, 6'-0" DIA. X 21'-11" LONG, SINGLE WALL FIBERGLASS UNDERGROUND OIL/WATER SEPARATOR FURNISHED BY OWNER. INSTALLED BY CONTRACTOR. REFER TO OIL/WATER SEPARATOR CONSTRUCTION DETAILS.

P. NEW TANK VENT RISER CLUSTER TO BE INSTALLED BY CONTRACTOR.

Q. 8" REINFORCED CONCRETE SLAB AT TANK FARM. INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

R. TRUCK AIR STAND, TYPICAL AT EVERY OTHER TRUCK FUELING ISLAND. SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. TRUCK FREEZE PROOF WATER STAND TYPICAL AT EVERY OTHER TRUCK FUELING ISLAND FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.

S. DEF LED PRICER SIGN FURNISHED BY OWNER, INSTALLED BY SIGN SUPPLIER. ELECTRICAL INSTALLED BY CONTRACTOR.

T. CLEAN OUT FOR OIL/WATER SEPARATOR FURNISHED AND INSTALLED BY CONTRACTOR. REFER TO OIL/WATER SEPARATOR DETAILS.

V. TRUCK SCALE, CONCRETE TRUCK SCALE PIT AND TRUCK SCALE FURNISHED AND INSTALLED BY TRUCK SCALE SUPPLIER. ELECTRICAL, COMMUNICATIONS AND DRAINAGE PROVIDED TO THE SCALE PIT BY CONTRACTOR, COORDINATION TO BE DONE BY CONTRACTOR.

W. "TRUCK SCALE" INTERNALLY SIGN FURNISHED AND INSTALLED BY TRUCK SCALE SUPPLIER. CONCRETE FOUNDATION BY TRUCK SCALE SUPPLIER. ELECTRICAL PROVIDED TO SCALE BY CONTRACTOR.

X. TRASH ENCLOSURE 8' PVC CHAIN LINK FENCE WITH VINYL INSERTS MOUNTED ON REINFORCED CONCRETE PAD WITH PROTECTIVE STEEL BOLLARDS. INSTALLED BY CONTRACTOR (SEE ARCHITECTURAL DRAWINGS FOR DETAILS).

Y. DUMPSTER, FURNISHED AND INSTALLED BY TRASH COMPACTOR SUPPLIER.

Z. CARDBOARD BAILER OR RECYCLE DUMPSTER, FURNISHED AND INSTALLED BY DUMPSTER SUPPLIER.

AA. GREASE CONTAINER, PROVIDED BY OWNER.

AB. PROPOSED STORAGE SHED, FURNISHED BY OWNER. ELECTRICAL & A/C INSTALL BY CONTRACTOR.

AC. 6" STEEL PIPE BOLLARD (TYP.) FURNISHED AND INSTALLED BY CONTRACTOR. REFER CONSTRUCTION DETAILS.

AD. AUTO AIR/VACUUM PROVIDED BY OWNER. ELECTRICAL BY CONTRACTOR. YARD HYDRANT BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AE. 70" X 70" REINFORCED CONCRETE PAD FOR LOCAL UTILITY ELECTRICAL TRANSFORMER INSTALLED BY CONTRACTOR.

AF. 70" X 70" REINFORCED PAD FOR PILOT TRAVEL CENTER DISTRIBUTION ELECTRICAL. INSTALLED BY CONTRACTOR.

AG. 4" HIGH GALVANIZED ALUMINUM SPINDLE FENCE FOR PEDESTRIAN SAFETY, FURNISHED AND INSTALLED BY CONTRACTOR.

AH. ALL DIRECTION AND PARKING STRIPING TO BE SAFETY YELLOW-UNLESS NOTED OTHERWISE (TYP.) TO BE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AI. TRAFFIC STRIPING 6" WIDE FURNISHED AND INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AJ. 10' X 20' PARKING SPACE (TYP.)

AK. 12' X 72' TRUCK SPACE (TYP.)

AL. 8' X 20' BUILDING ADJACENT ADA PARKING SPACE. REFER TO CONSTRUCTION DETAILS.

AM. 8' WIDE COMPLIANT LOADING AREA. REFER TO CONSTRUCTION DETAILS.

AN. ADA PARKING SIGNS, MOUNTED ON POLES IN BOLLARDS, FURNISHED AND INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AO. ADA PARKING PAVEMENT SYMBOL AND LETTER FURNISHED AND INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AP. EXISTING ABOVEGROUND TANK FARM TO REMAIN.

AQ. 12" WIDE THERMOPLASTIC STRIPE FOR STOP BAR PAINTED ON PAVEMENT INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AR. STOP SIGN (R1-1). REFER TO CONSTRUCTION DETAILS.

AS. "DO NOT ENTER" SIGN (R5-1). REFER TO CONSTRUCTION DETAILS.

AT. DIRECTIONAL TRAFFIC ARROW PAINTED ON PAVEMENT TO BE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AU. CONCRETE SIDEWALK INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AV. SIDEWALK TURNDOWN AT FRONT OF BUILDING TO BE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAILS.

AW. ZERO ELEVATION CURB (137 LF) TO BE INSTALLED BY CONTRACTOR.

AX. SEED AND STRAW IN AREA OF ASPHALT REMOVAL.

AY. STANDARD DUTY CONCRETE CURB AND GUTTER INSTALLED BY CONTRACTOR. SEE CONSTRUCTION DETAILS.

AZ. HEAVY DUTY CONCRETE CURB AND GUTTER INSTALLED BY CONTRACTOR. SEE CONSTRUCTION DETAILS.

BA. VERTICAL CONCRETE CURB TO BE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAIL SHEET.

BB. MASSDOT IMPROVEMENT. SEE MASSDOT SHEETS.

BC. HEIGHT BAR AT DRIVEWAY ENTRANCE. INSTALLED BY CONTRACTOR.

BD. RETAINING WALL AND FOUNDATION TO BE INSTALLED BY CONTRACTOR. REFER TO CONSTRUCTION DETAIL SHEET.

BE. TRAFFIC STRIPING 4" WIDE PAINTED (SAFETY YELLOW) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.

BF. PROPOSED PROPANE TANK FARM FOR SERVICE THE NEW "PILOT TRAVEL CENTER" BUILDING.

BG. PROPOSED 3" DIAMETER BOLLARDS.

BH. EXISTING "DAYS INN" TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

BI. PROPOSED FIRE PUMP BUILDING STRUCTURE AND FOUNDATION TO BE INSTALLED BY CONTRACTOR.

BJ. PROPOSED WATER QUALITY BASIN #1. REFER TO UTILITY PLANS.

BK. PROPOSED WATER QUALITY BASIN #2. REFER TO UTILITY PLANS.

BL. PROPOSED WATER QUALITY BASIN #3. REFER TO UTILITY PLANS.

BM. PROPOSED 5" DIAM. DIVERSION MANHOLE.

BN. PROPOSED OIL WATER SEPARATOR. REFER TO UTILITY PLANS.

BO. PROPOSED BASIN OVERFLOW STRUCTURE.

BP. PROPOSED 10' X 40' LOADING ZONE.

BQ. PROPOSED CROSSWALK.

BR. YELLOW SOLID STRIPING TO BE INSTALLED BY CONTRACTOR.

BS. PROPOSED CRUSHED STONE ACCESS TO BE INSTALLED BY CONTRACTOR.

BT. PROPOSED "KEEP RIGHT" SIGN TO BE INSTALLED BY CONTRACTOR.

BU. PROPOSED PERPENDICULAR CURB RAMP WITH DETECTABLE WARNING DEVICE TO BE INSTALLED BY CONTRACTOR.

BY. PROPOSED CHECK DAM TO BE INSTALLED BY CONTRACTOR.

SIGNAGE KEYNOTES (X)

01 "PILOT" GOAL POST SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER. CONCRETE FOUNDATION INSTALLED BY SIGN SUPPLIER.

02 "TRUCK SCALE" INTERNALLY ILLUMINATED SIGN FURNISHED AND INSTALLED BY TRUCK SCALE SUPPLIER. CONCRETE FOUNDATION BY TRUCK SCALE SUPPLIER. ELECTRICAL PROVIDED TO SCALE BY CONTRACTOR.

03 "AUTO ENTRY/EXIT" DIRECTIONAL SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER. CONCRETE FOUNDATION.

04 "TRUCK ENTRY/EXIT" DIRECTIONAL SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER. CONCRETE FOUNDATION.

05 DEF LED PRICER SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER. ELECTRICAL INSTALLED BY CONTRACTOR.

06 "PILOT" CANOPY LOGO FURNISHED AND INSTALLED BY CANOPY SUPPLIER.

07 "PILOT" BUILDING SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER.

08 "WELCOME DRIVERS" BUILDING SIGN FURNISHED BY OWNER. INSTALLED BY SIGN SUPPLIER.

09 "PJ FRESH" BUILDING SIGN FURNISHED AND INSTALLED BY SIGN SUPPLIER. ELECTRICAL INSTALLED BY CONTRACTOR.

10 "CINNABON" BUILDING SIGN FURNISHED AND INSTALLED BY SIGN SUPPLIER.

11 "AUNTIE ANNE'S" BUILDING SIGN FURNISHED AND INSTALLED BY SIGN SUPPLIER.

12 "SUBWAY" BUILDING SIGN FURNISHED AND INSTALLED BY SIGN SUPPLIER.

13 "PED-XING" SIGN FURNISHED AND INSTALLED BY CONTRACTOR.

14 "ACCESSIBLE PARKING" POLE MOUNTED SIGNS, FURNISHED AND INSTALLED BY CONTRACTOR. (SEE CIVIL DETAILS FOR MOUNTING INSTRUCTIONS).

15 "PASSENGER LOADING ZONE ONLY" SIGN FURNISHED AND INSTALLED BY CONTRACTOR.

SITE LEGEND

--- EXISTING PROPERTY BOUNDARY LINE
 --- EXISTING ADJOINING PROPERTY LINE
 --- EXISTING UTILITY EASEMENT
 --- EXISTING CURB AND GUTTER
 --- EXISTING EDGE OF PAVEMENT
 --- PROPOSED CURB
 --- PROPOSED DEPRESSED CURB
 --- PROPOSED BUILDING
 - - - PROPOSED SAWCUT LINE
 ● ○ ○ PROPOSED WATER STRUCTURES
 ■ □ ○ PROPOSED STORM STRUCTURES
 ○ ○ ○ PROPOSED SANITARY STRUCTURES
 ○ ○ ○ PROPOSED SITE LIGHTING FIXTURES
 □ □ □ EXISTING STORMWATER STRUCTURES

WETLAND BUFFER PLAN LEGEND

--- LOD --- LOD --- LIMITS OF DISTURBANCE
 --- FP --- FP --- 100 YR. FLOODPLAIN
 --- TOP OF BANK
 --- 100' & 200' RIVERFRONT PROTECTION ZONE
 --- WETL --- WETL --- WETL --- WETLAND BOUNDARY
 --- 25', 50', 100' & 200' WETLAND BUFFER
 --- 295' PROTECTIVE RADIUS - I.W.P.A.

HATCH LEGEND

■ PROPOSED SIDEWALK
 ■ PROPOSED CONCRETE

EXISTING SANITARY STRUCTURES
 ○ EXISTING WATER STRUCTURE

PROPOSED PARKING COUNT
 ○ PROPOSED RETAINING WALL

CORE STATES GROUP
 9 GALEN STREET, SUITE 117
 WATER TOWN, MA 02472
 PHONE (617) 576-0007
 ARSCOE@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT
Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

811
 Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY
-	05/27/20	RESUBMISSION TO TOWN	MP
1	08/12/20	REVISED PER TOWN COMMENTS	MP
2	08/24/20	REVISED PER TOWN COMMENTS	MP

DOCUMENT
 SITE PLAN
 APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL
 ALAN D. ROSCOE
 CIVIL
 No. 40163
 REGISTERED PROFESSIONAL ENGINEER
 02/24/2020
 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE
 SITE PLAN

JOB #: PIL 28950
 DATE: 02/10/20
 SCALE: AS NOTED
 DRAWN BY: MP
 CHECKED BY: AR

SHEET NO.
C3.2

ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.