

KEYED NOTES: (X)

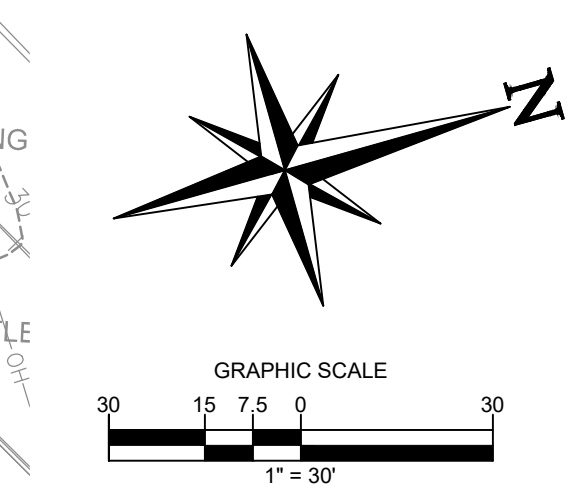
- A. EXISTING "TRUCK ENTER" SIGN AND FOUNDATION TO BE REMOVED.
- B. EXISTING "DAYS INN" SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- C. EXISTING "PILOT" SIGN AND FOUNDATION TO BE REMOVED.
- D. EXISTING "CARS ONLY" SIGN AND FOUNDATION TO BE REMOVED.
- E. EXISTING RIGHT-OF-WAY REFLECTOR SIGN TO REMAIN.
- F. EXISTING RIGHT-OF-WAY "STOP" SIGN TO BE REMOVED.
- G. EXISTING RIGHT-OF-WAY UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- H. PORTION OF EXISTING FENCE IN RIGHT-OF-WAY TO BE REMOVED.
- I. EXISTING PORTION OF FENCE TO REMAIN.
- J. EXISTING RIGHT-OF-WAY INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING RIGHT-OF-WAY STORM PIPE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- L. EXISTING RIGHT-OF-WAY ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED (+/- 2,815 SF).
- M. EXISTING RIGHT-OF-WAY TO BE CLEARED AND GRUBBED 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 4,097 SF)
- N. EXISTING RIGHT-OF-WAY CURBING TO BE REMOVED. (+/- 57 LF)
- O. EXISTING BUILDING AND APPURTENANCES TO BE REMOVED (TYP.)
- P. EXISTING SEWER TREATMENT BUILDING TO REMAIN. SEWER DESIGN TO BE COMPLETED BY OTHERS.
- Q. EXISTING RETAINING WALL TO BE REMOVED. (+/- 239 LF)
- R. EXISTING SITE LIGHT POLE AND APPURTENANCES TO BE REMOVED. (TYP.) CONTRACTOR TO REFER TO LIGHTING PLAN DESIGNED BY OTHERS FOR FURTHER DETAIL.
- S. EXISTING ON-SITE STORM UNDERGROUND DRAINAGE PIPE TO REMAIN AND PROTECTED IN PLACE.
- T. EXISTING BOULDER WALL TO BE REMOVED.
- U. EXISTING TRUCK SCALE AND APPURTENANCES TO BE REMOVED.
- V. EXISTING PUMP LINE FOR FIRE SERVICE TO REMAIN AND TO BE REUSED.
- W. ON-SITE CLEARING AND GRUBBING TO 6" BELOW EXISTING GRADE TO REMOVE TOPSOIL AND ORGANICS (+/- 50,857 SF)
- X. EXISTING ON-SITE CURBING TO BE REMOVED. (4,143 LF)
- Y. EXISTING FUEL DISPENSERS AND APPURTENANCES TO BE REMOVED. (TYP.)
- Z. EXISTING DEF TANK TO BE RELOCATED. SEE FUEL PIPING PLAN DESIGNED BY OTHERS.
- AA. EXISTING OPERATING FUEL TANKS AND APPURTENANCES TO BE REMOVED. REFER TO FUEL PIPING DRAWINGS DESIGNED BY OTHERS.
- AB. EXISTING MONITORING WELL TO BE ABANDONED AND FILLED. CONTRACTOR TO COORDINATE WITH GOVERNING JURISDICTION PRIOR TO ABANDONMENT. (TYP.)
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DEMO LEGEND

- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREE LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING BLOCK NUMBER
- EXISTING LOT NUMBER
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- DEMO CURB
- DEMO TREE
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE

HATCH LEGEND

- [Pattern] DEMO CONCRETE
- [Pattern] DEMO ASPHALT
- [Pattern] ASPHALT PAVEMENT TO BE MILLED
- [Pattern] DEMO BRICK PAVERS
- [Pattern] LIMITS OF CLEAR AND GRUB
- [Pattern] DEMO GRASS/LANDSCAPE AREAS



ALERT TO CONTRACTOR:

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CORE STATES GROUP
 9 GALEN STREET, SUITE 117
 WATER TOWN, MA 02472
 PHONE (617) 576-0007
 AROSCOE@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
 5508 LONAS ROAD
 KNOXVILLE, TN 37909

Know what's below. Call before you dig.
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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL

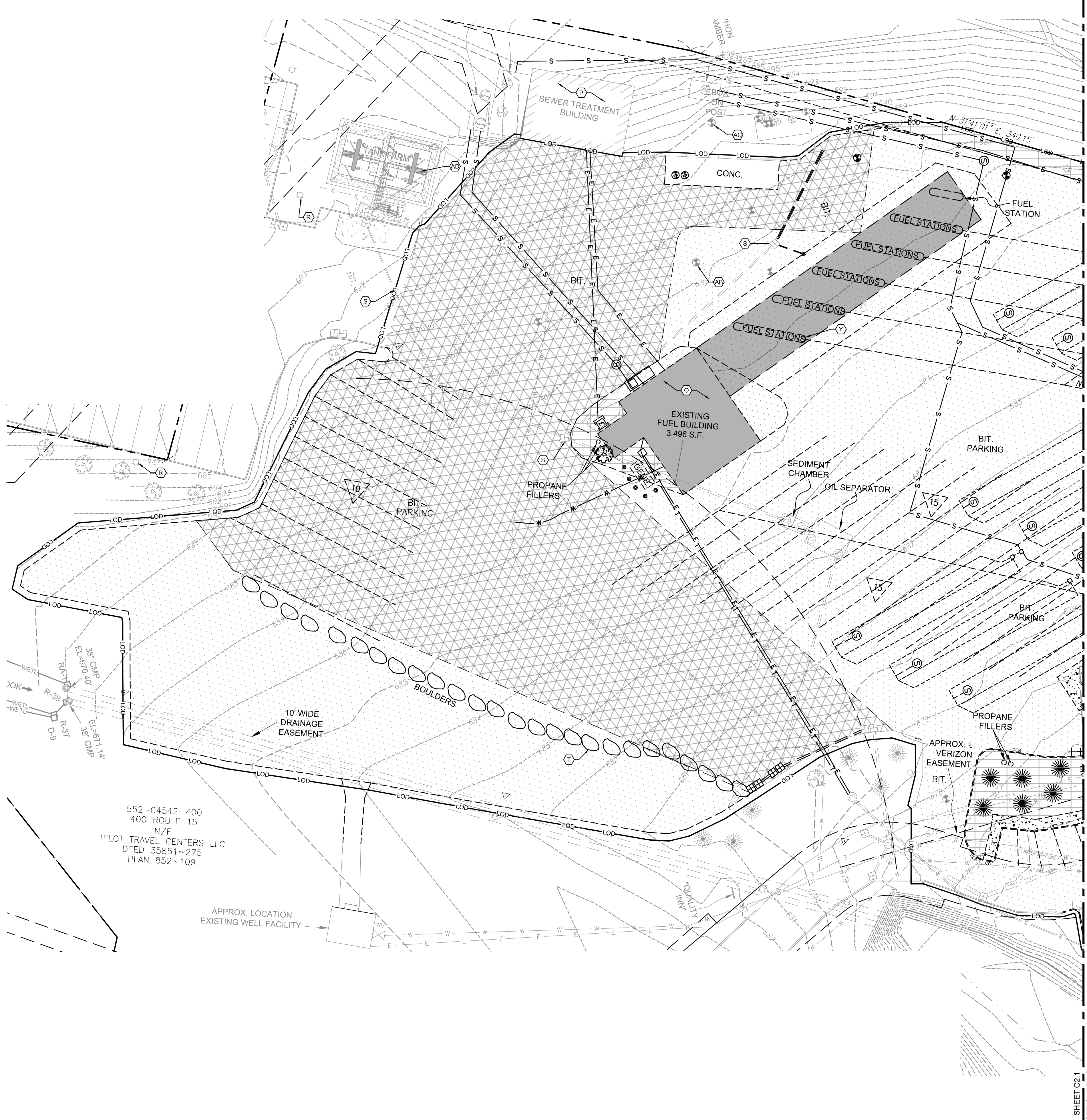
 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE
DEMOLITION PLAN

JOB #:	PIL 28950
DATE:	02/10/20
SCALE:	1" = 30'
DRAWN BY:	MP
CHECKED BY:	KGF

SHEET NO.
C2.0

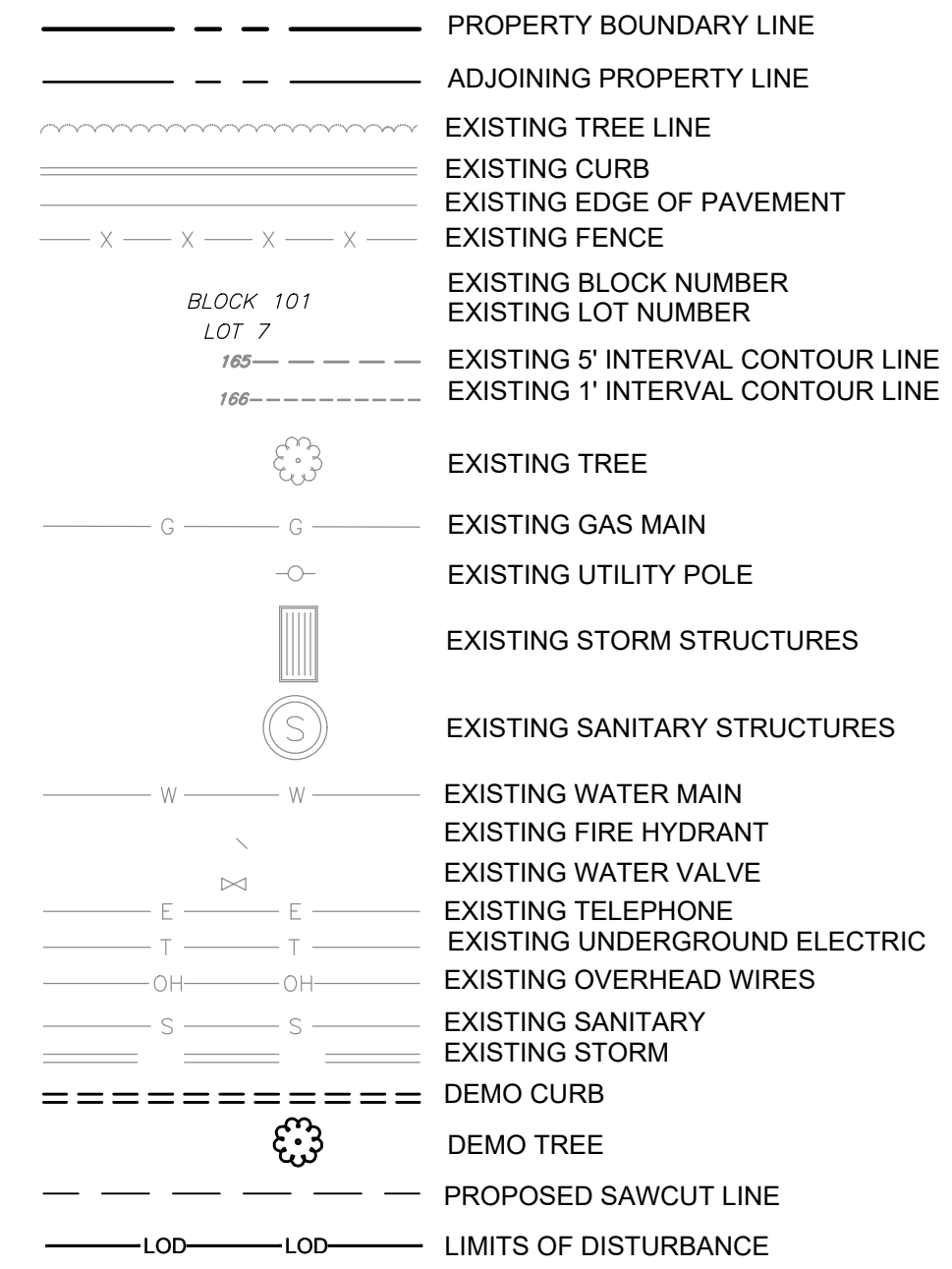
SHEET C2.1
SEE SHEET C2
MATCH LINE



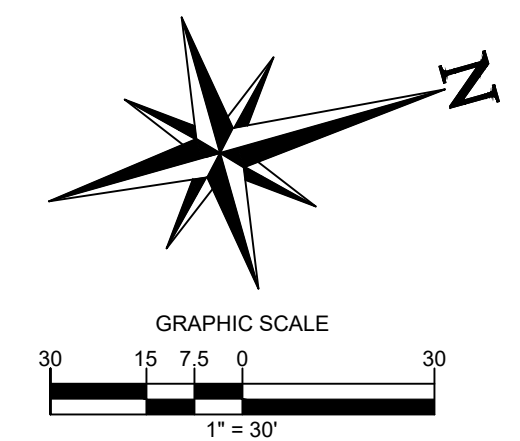
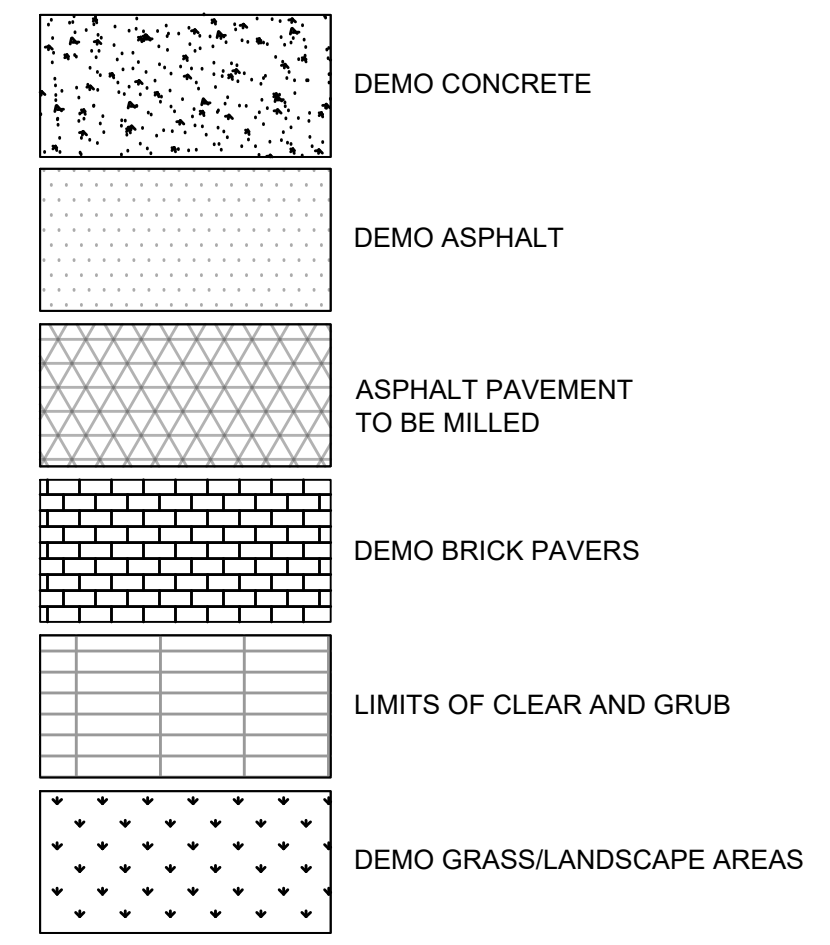
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DEMO LEGEND



HATCH LEGEND



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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL

 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE
DEMOLITION PLAN

JOB #: PIL 28950
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
C2.1

ALERT TO CONTRACTOR:
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ZONING DATA COMMERCIAL II ZONING DISTRICT				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
LOT SIZE (AC.)	1	30.71	30.71	COMPLIANT
LOT FRONTAGE (FT.)	150	319.64	319.64	COMPLIANT
STREET SETBACK (FT.)	25 ⁽¹⁾	124.165	142.86	COMPLIANT
OTHER SETBACK (FT.)	10	113.69	81.03	COMPLIANT
MAXIMUM LOT COVERAGE (%)	30	4.86 ⁽²⁾	3.20 ⁽²⁾	COMPLIANT
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	3/35	1.75/23	1/26	COMPLIANT
MAXIMUM IMPERVIOUS SURFACE (%)	70	76.78 ⁽²⁾	66.65 ⁽²⁾	COMPLIANT
MINIMUM HABITABLE FLOOR AREA (S.F.)	750	16,041	13,902	COMPLIANT

(1) STREET LINE SETBACKS APPLY TO ALL STREETS FORMING CORNER LOTS.
 (2) CALCULATION ACCOUNTS FOR LIMIT OF DISTURBANCE AREA.

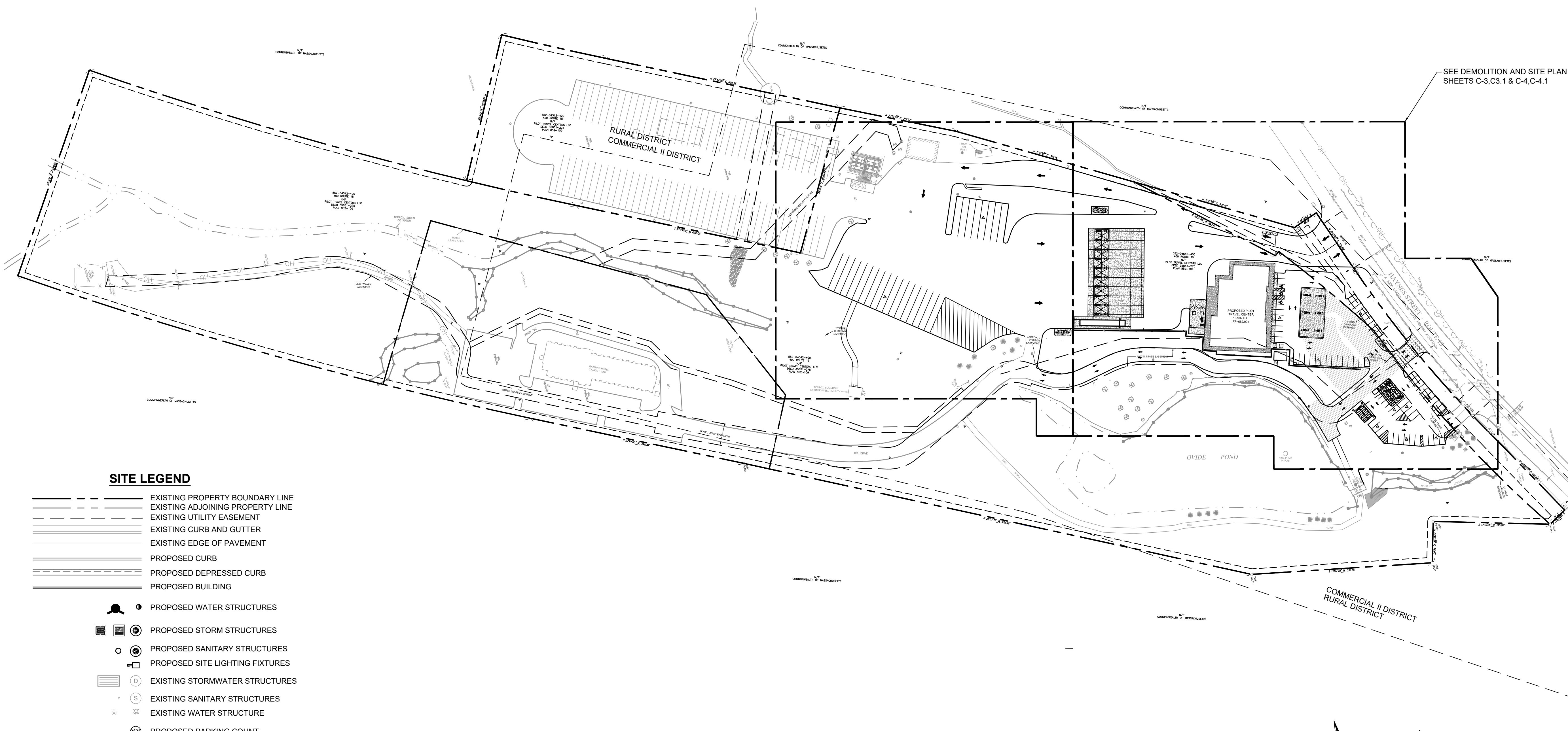
IMPERVIOUS CALCULATION:

EXISTING CONDITIONS:
 IMPERVIOUS AREA = 333,722 SF

PROPOSED CONDITIONS:
 IMPERVIOUS AREA = 289,677 SF

REDUCTION OF IMPERVIOUS AREA = 44,045 SF

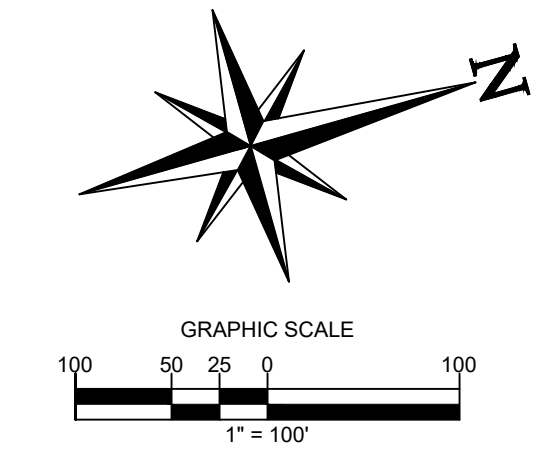
** CALCULATION BASED ON LIMITS OF DISTURBANCE



SEE DEMOLITION AND SITE PLAN SHEETS C-3,C3.1 & C-4,C-4.1

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- ▨ EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- ⊗ EXISTING WATER STRUCTURE
- ⊗ PROPOSED PARKING COUNT



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811
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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
 SITE PLAN
 APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

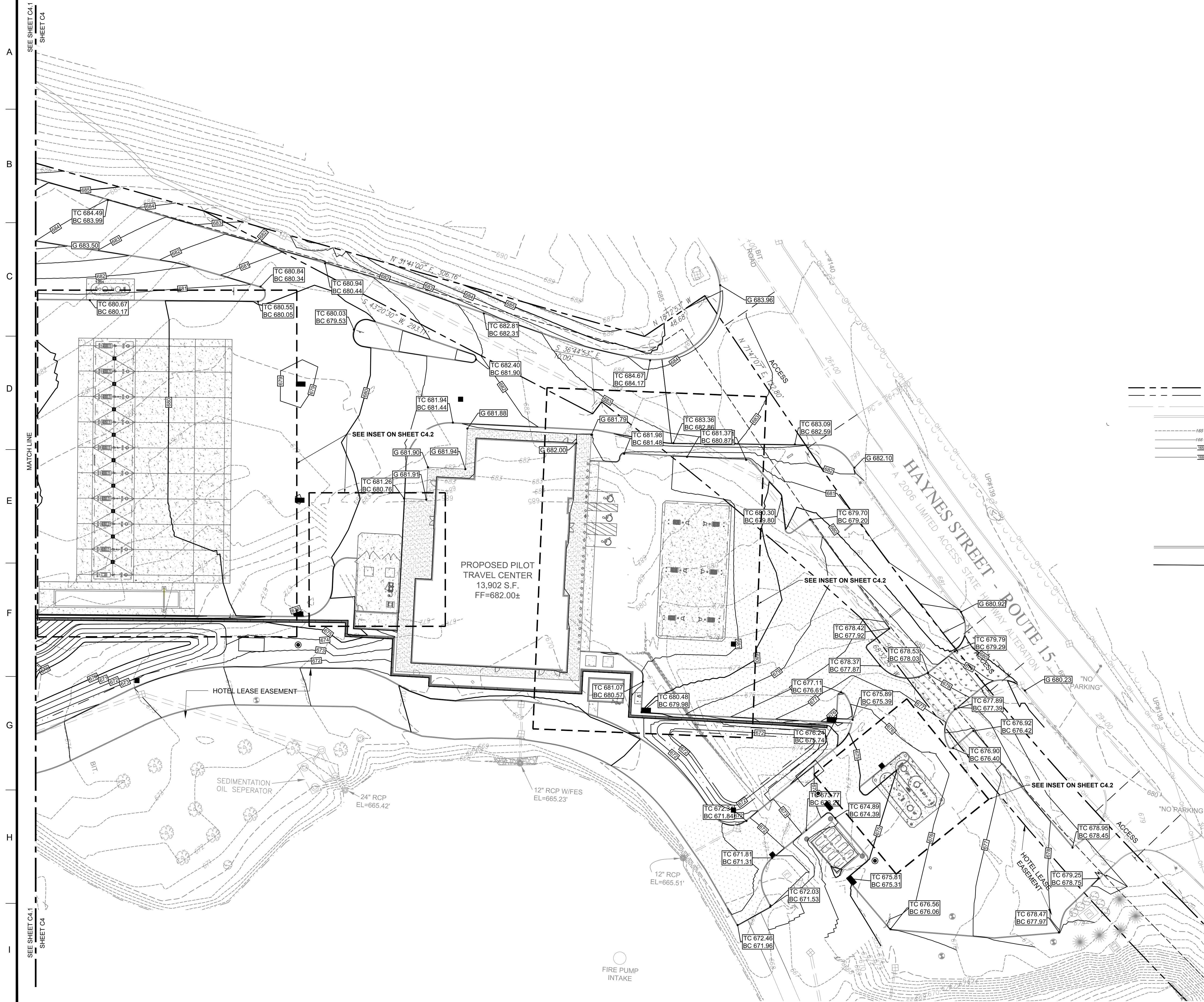
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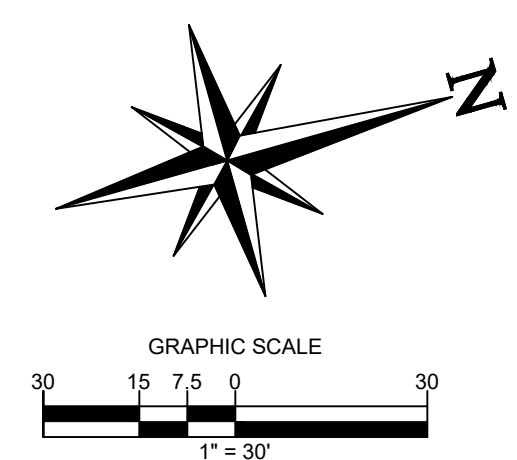
SHEET TITLE
 OVERALL SITE
 PLAN

JOB #: PIL 28950
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF

SHEET NO.
C3.0



- SITE LEGEND:**
- EXISTING PROPERTY BOUNDARY LINE
 - - - EXISTING ADJOINING PROPERTY LINE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB
 - EXISTING 5' INTERVAL CONTOUR LINE
 - EXISTING 1' INTERVAL CONTOUR LINE
 - PROPOSED 5' INTERVAL CONTOUR LINE
 - PROPOSED 1' INTERVAL CONTOUR LINE
 - [G XX.XX] PROPOSED GROUND SPOT SHOTS
 - [TW XX.XX] PROPOSED TOP OF WALL SPOT SHOTS
 - [BW XX.XX] PROPOSED BOTTOM OF WALL SPOT SHOTS
 - [TC XX.XX] TOP OF CURB SPOT SHOTS MATCH EXISTING
 - PROPOSED CURB
 - PROPOSED RIDGE LINE



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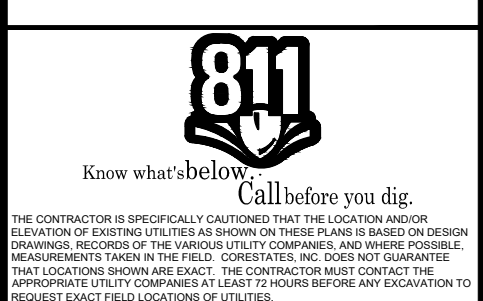
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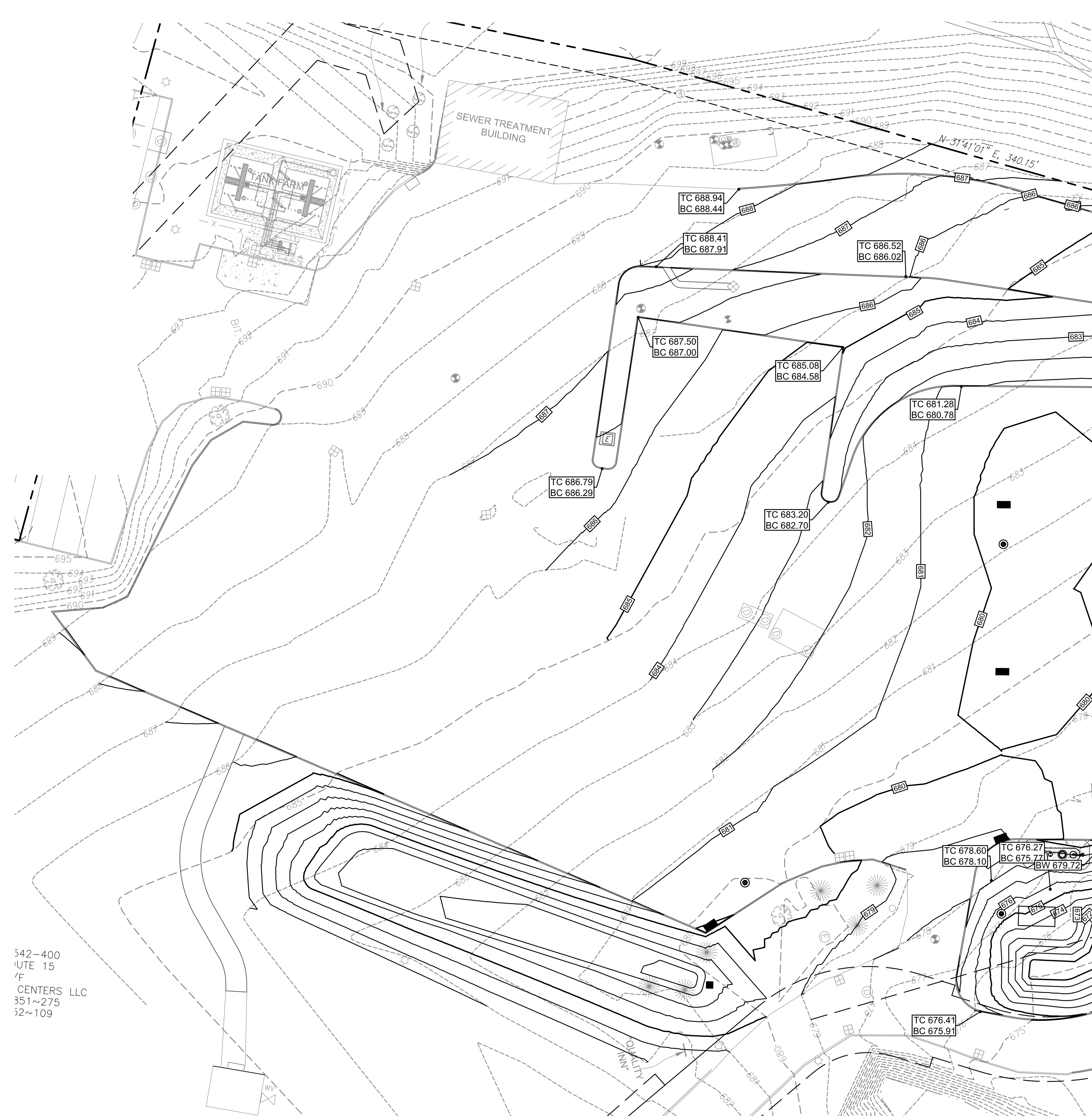
ENGINEER SEAL

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LICENSE # 40163

SHEET TITLE
GRADING PLAN

JOB #:	PIL 28950
DATE:	02/10/20
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DRAWN BY:	MP
CHECKED BY:	KGF

SHEET NO.
C4.0

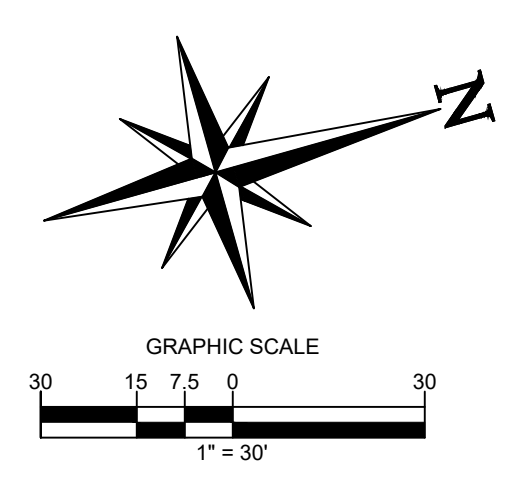


SHEET C4.1
SEE SHEET C4
MATCH LINE
SHEET C4.1
SEE SHEET C4

- SITE LEGEND:**
- EXISTING PROPERTY BOUNDARY LINE
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 - TC XX.XX TOP OF CURB SPOT SHOTS MATCH EXISTING
 - PROPOSED CURB
 - PROPOSED RIDGE LINE

- GRADING NOTES:**
1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF STATEN ISLAND.
 2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 5. STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
 6. EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
 7. PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
 8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 11. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 14. CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
 15. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 2% MINIMUM SLOPE IN PAVEMENT AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.

342-400
UTE 15
/F
CENTERS LLC
351~275
32~109



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CORE STATES GROUP

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WATER TOWN, MA 02472
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ARCSCOE@CORE-STATES.COM

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CLIENT

Pilot TRAVEL CENTERS

PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909

811

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT WARRANT THE LOCATION OR DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION TO AVOID DAMAGE TO UTILITIES.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN
APPROVAL

SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA
01566

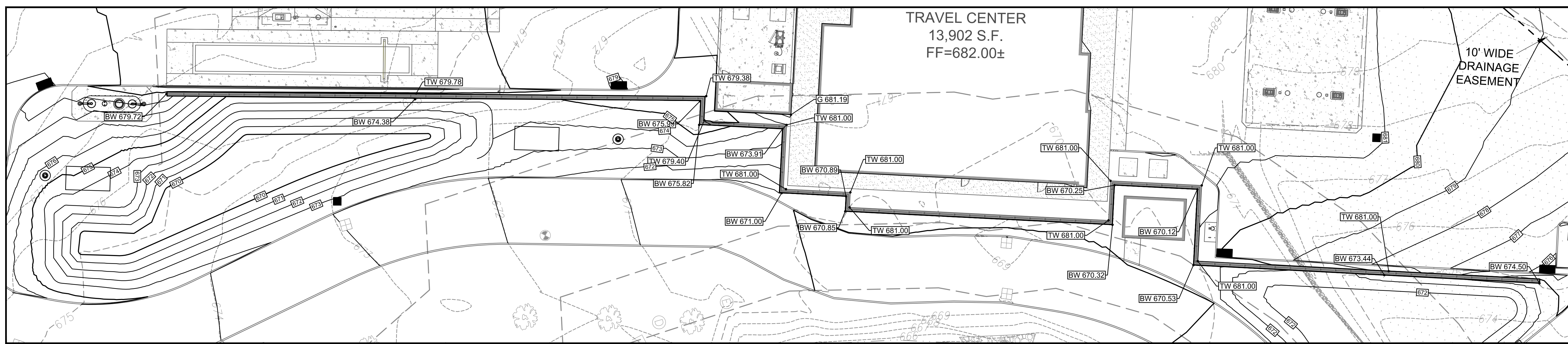
ENGINEER SEAL

ALAN D. ROSCOE, P.E.
LICENSE # 40163

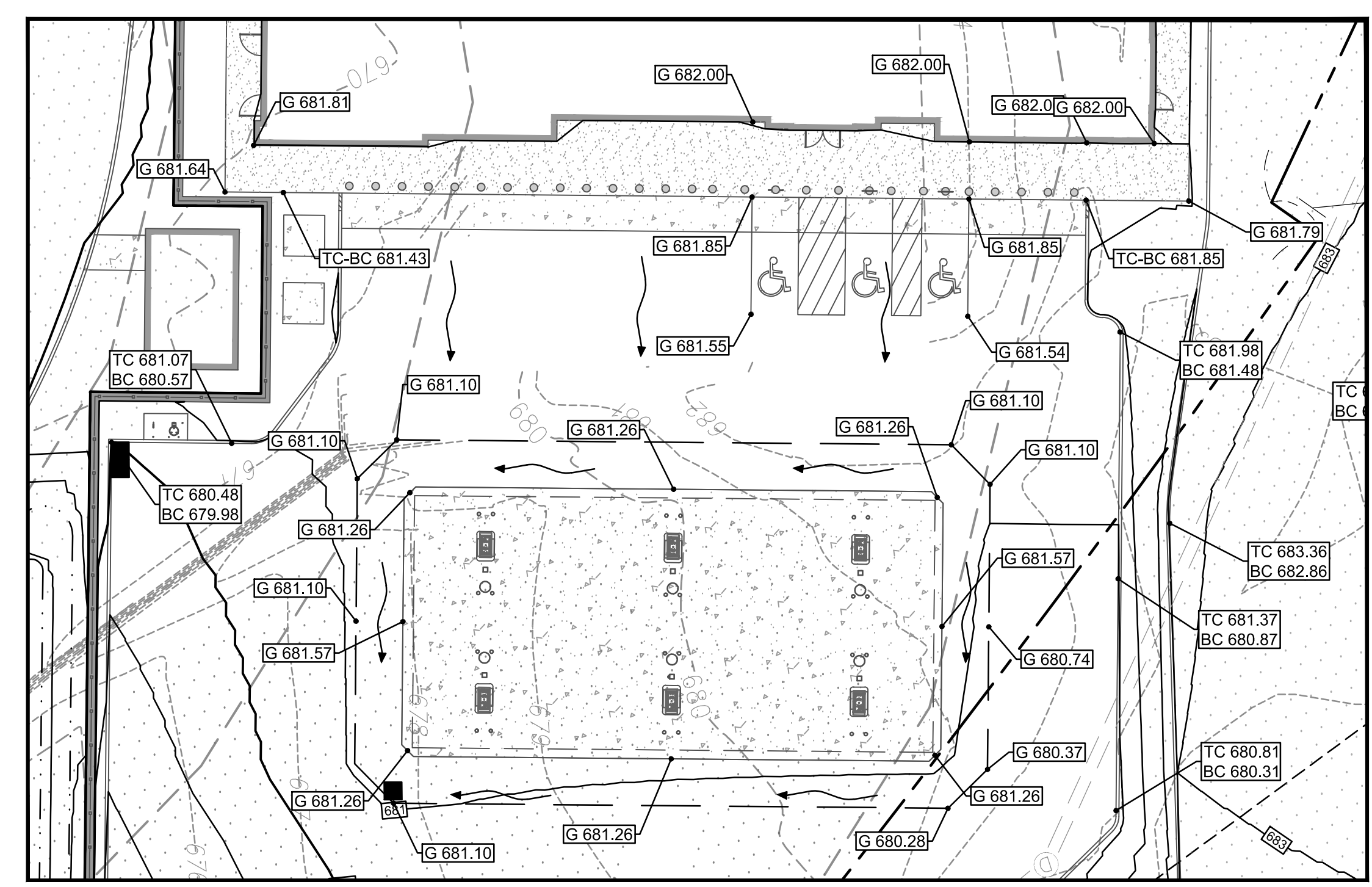
SHEET TITLE
GRADING
PLAN

JOB #: PIL-28950
DATE: 02/10/20
SCALE: 1" = 30'
DRAWN BY: MP
CHECKED BY: KGF

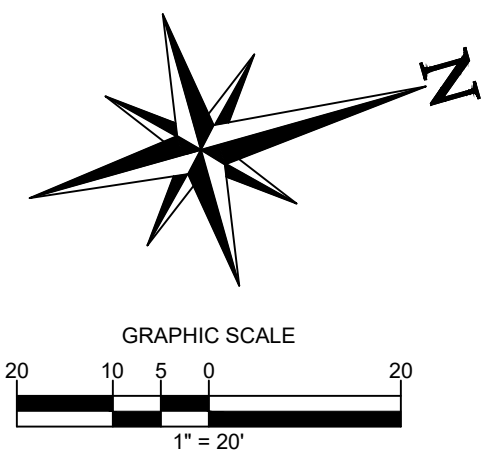
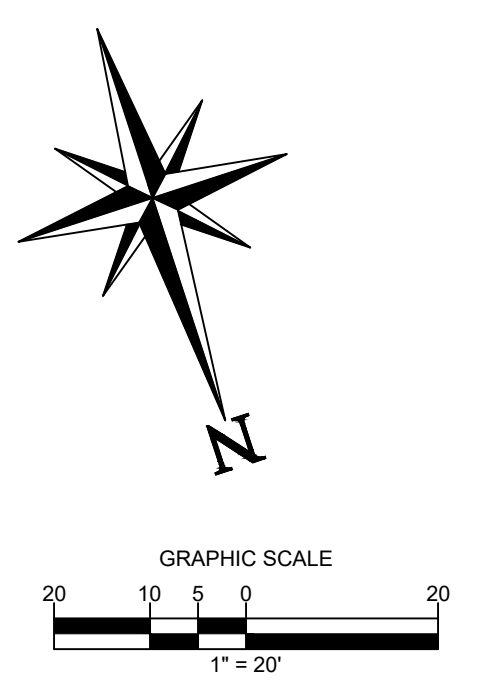
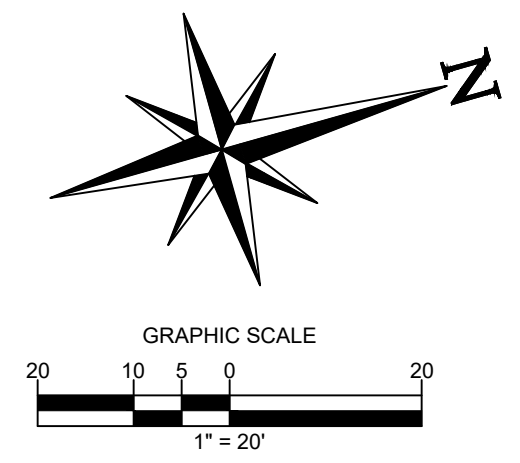
SHEET NO.
C4.1



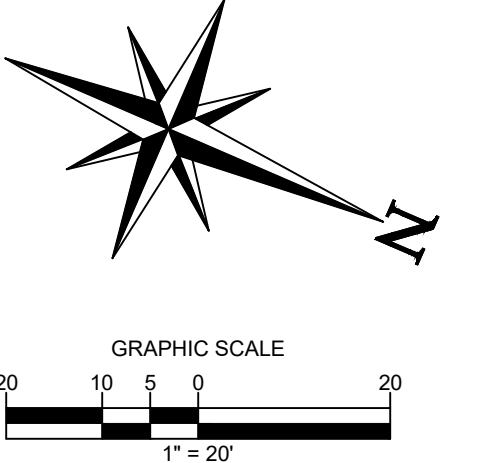
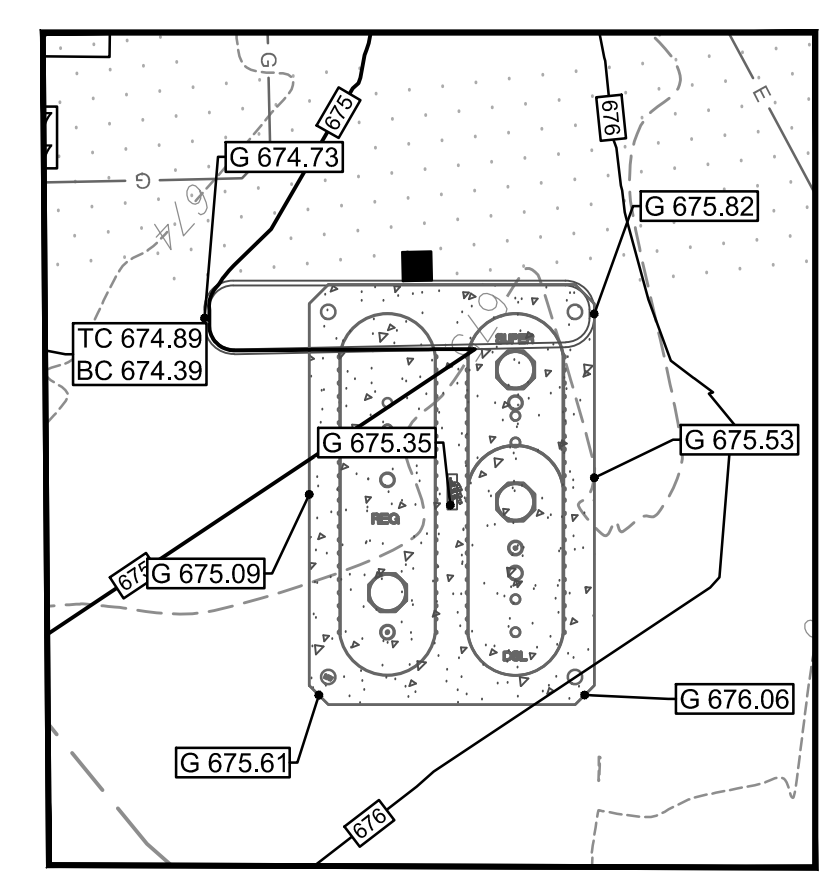
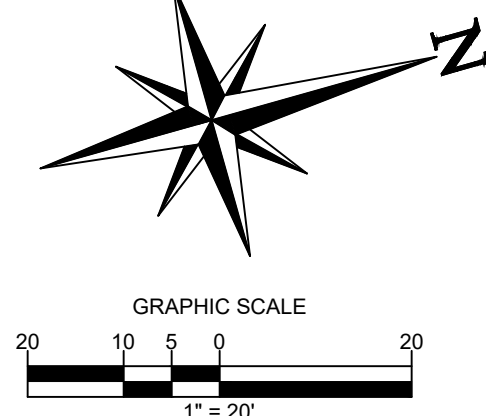
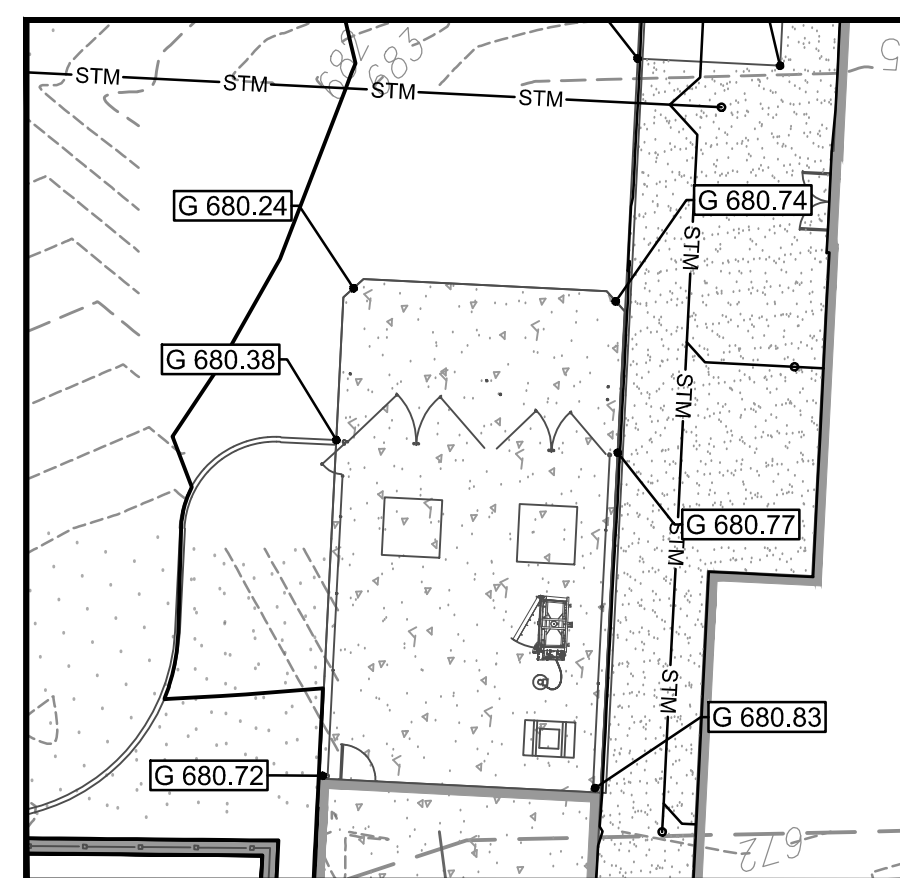
RETAINING WALL INSET
SCALE 1" = 20'



- SITE LEGEND:**
- EXISTING PROPERTY BOUNDARY LINE
 - EXISTING ADJOINING PROPERTY LINE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB
 - EXISTING 5' INTERVAL CONTOUR LINE
 - EXISTING 1' INTERVAL CONTOUR LINE
 - PROPOSED 5' INTERVAL CONTOUR LINE
 - PROPOSED 1' INTERVAL CONTOUR LINE
 - G.XX.XX PROPOSED GROUND SPOT SHOTS
 - TW.XX.XX PROPOSED TOP OF WALL SPOT SHOTS
 - BW.XX.XX PROPOSED BOTTOM OF WALL SPOT SHOTS
 - TC.XX.XX TOP OF CURB SPOT SHOTS MATCH EXISTING
 - PROPOSED CURB



TRUCK CANOPY INSET
SCALE 1" = 20'



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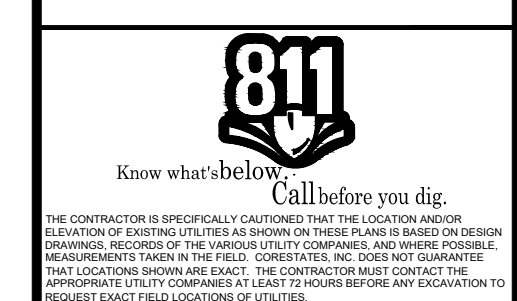
CORE STATES GROUP

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PILOT TRAVEL CENTERS LLC.
5508 LONAS ROAD
KNOXVILLE, TN 37909



REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN
APPROVAL

SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL

ALAN D. ROSCOE, P.E.
LICENSE # 40163

SHEET TITLE
DETAILED GRADING
PLAN

JOB #: PIL28950
DATE: 02/10/20
SCALE: 1" = 20'
DRAWN BY: MP
CHECKED BY: KGF

SHEET NO.
C4.2



SHEET C4.1
SEE SHEET C4
MATCH LINE

STORM STRUCTURE TABLE									
STRUCTURE NAME	STRUCTURE TYPE	RIM	UPSTREAM PIPE NAME	UPSTREAM PIPE INV	DOWNSTREAM PIPE NAME	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE
A1	EXISTING MANHOLE	???	STM 1	666.50'					
A2	PROPOSED DIVERSION MANHOLE	673.44	STM 2	670.23'	STM 1	667.22'	72.07'	24" RC CLASS IV 12" HDPE	1.00%
A3	PROPOSED DOUBLE GRATE CATCH BASIN	678.95	STM 3	670.74'	STM 2	670.74'	20.66'	18" RCP CLASS IV	2.50%
A4	PROPOSED DOUBLE GRATE CATCH BASIN	678.96	STM 4	672.65'	STM 3	672.65'	76.06'	18" RCP CLASS III	2.50%
A5	PROPOSED DOUBLE GRATE CATCH BASIN	678.76	STM 5	673.81'	STM 4	673.81'	77.63'	18" RCP III	1.50%
A6	PROPOSED CATCH BASIN	681.58			STM 5	676.33'	107.31'	18" RCP III	2.35%
A7	OUTFALL	670.00	STM 6	670.00'					
A8	OIL/WATER SEPARATOR OUTLET	673.85			STM 6	670.25'	32.90'	12" HDPE	0.76%
A9	OIL/WATER SEPARATOR INLET	673.46	STM 7	670.00'					
A10	EXISTING CATCH BASIN	671.39	STM 8 STM 16 STM 17	666.85' 666.85' 667.85'					
A11	PROPOSED DIVERSION MANHOLE	674.08	STM 9	671.55'	STM 8 STM 19	668.04' 671.55'	59.35' 10.60'	12" HDPE 12" HDPE	2.00% 0.50%
A12	PROPOSED DOUBLE GRATE CATCH BASIN	674.29	STM 10 STM 14	671.72' 671.72'	STM 9	671.72'	11.02'	12" HDPE	1.50%
A13	PROPOSED CATCH BASIN	675.41	STM 11	672.39'	STM 10	672.39'	44.59'	12" HDPE	1.50%
A14	PROPOSED DOUBLE GRATE CATCH BASIN	675.84	STM 12 STM 18	673.07' 673.07'	STM 11	673.07'	45.63'	12" HDPE	1.50%
A15	PROPOSED DOUBLE GRATE CATCH BASIN	679.92			STM 12	675.55'	123.97'	12" HDPE	2.00%
A17	48" DIA MANHOLE	675.10	STM 15	672.44'	STM 14	672.44'	47.92'	12" HDPE	1.50%
A18	PROPOSED DOUBLE GRATE CATCH BASIN	675.34			STM 15	672.74'	20.20'	12" HDPE	1.50%
A19	PROPOSED CATCH BASIN	671.43			STM 16	667.59'	28.70'	12" HDPE	2.50%
A20	PROPOSED BASIN OVERFLOW	672.90			STM 17	668.10'	12.47'	12" HDPE	2.00%
A21	PROPOSED CATCH BASIN	681.13			STM 18	677.08'	82.66'	12" HDPE	4.85%
A22	OIL/WATER SEPARATOR INLET	673.88	STM 19	671.50'					
A24	OUTFALL	672.62	STM 20	671.50'					
A25	OIL/WATER SEPARATOR OUTLET	674.22			STM 20	671.75'	6.49'	12" HDPE	3.85%
A26	EXISTING CATCH BASIN	672.98	STM 21	667.66'					
A27	PROPOSED BASIN OVERFLOW	673.12			STM 21	667.86'	9.67'	12" HDPE	2.00%
A28	EXISTING CATCH BASIN	???	STM 22	669.65'					
A29	DIVERSION MANHOLE	675.54	STM 23	673.10'	STM 22	671.30' 673.10'	66.05' 9.54'	18" HDPE 12" HDPE	2.50% 1.00%
A30	PROPOSED DOUBLE GRATE CATCH BASIN	678.88	STM 24	674.12'	STM 23	673.62'	35.13'	18" HDPE	1.50%
A31	PROPOSED DOUBLE GRATE CATCH BASIN	679.45	STM 25	675.28'	STM 24	675.28'	77.43'	12" RCP CLASS III	1.50%
A32	PROPOSED 48" DIA MANHOLE	679.63	STM 26	676.05'	STM 25	676.05'	59.22'	12" RCP CLASS III	1.25%
A33	PROPOSED DOUBLE GRATE CATCH BASIN	679.45			STM 26	676.33'	18.40'	12" RCP CLASS III	1.50%
A34	OUTFALL	677.53	STM 27	677.00'					
A35	PROPOSED DOUBLE GRATE CATCH BASIN	679.96			STM 27	677.43'	21.56'	12" HDPE	2.00%
A36	EXISTING INLET	???	STM 28	674.25'					
A37	PROPOSED BASIN OVERFLOW	677.43			STM 28	675.46'	60.35'	12" HDPE	2.00%
A38	PROPOSED DOGHOUSE MANHOLE	680.32			STM 32	673.75'	45.42'	12" HDPE	2.75%
A39	OUTFALL	672.84	STM 30	673.00'					
A40	OIL/WATER SEPARATOR OUTLET	673.94			STM 30	673.25'	12.02'	12" HDPE	2.08%
A41	OIL/WATER SEPARATOR INLET	674.93	STM 31	673.00'					
A42	EXISTING INLET	679.95	STM 32	672.50'					

CORE STATES GROUP
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REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN APPROVAL

SITE LOCATION
 400 HAYNES STREET
 STURBRIDGE, MA 01566

ENGINEER SEAL

 ALAN D. ROSCOE, P.E.
 LICENSE # 40163

SHEET TITLE
STORM DRAINAGE PLAN
 JOB #: PIL28950
 DATE: 02/10/20
 SCALE: 1" = 30'
 DRAWN BY: MP
 CHECKED BY: KGF
C4.3.1

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SITE LEGEND

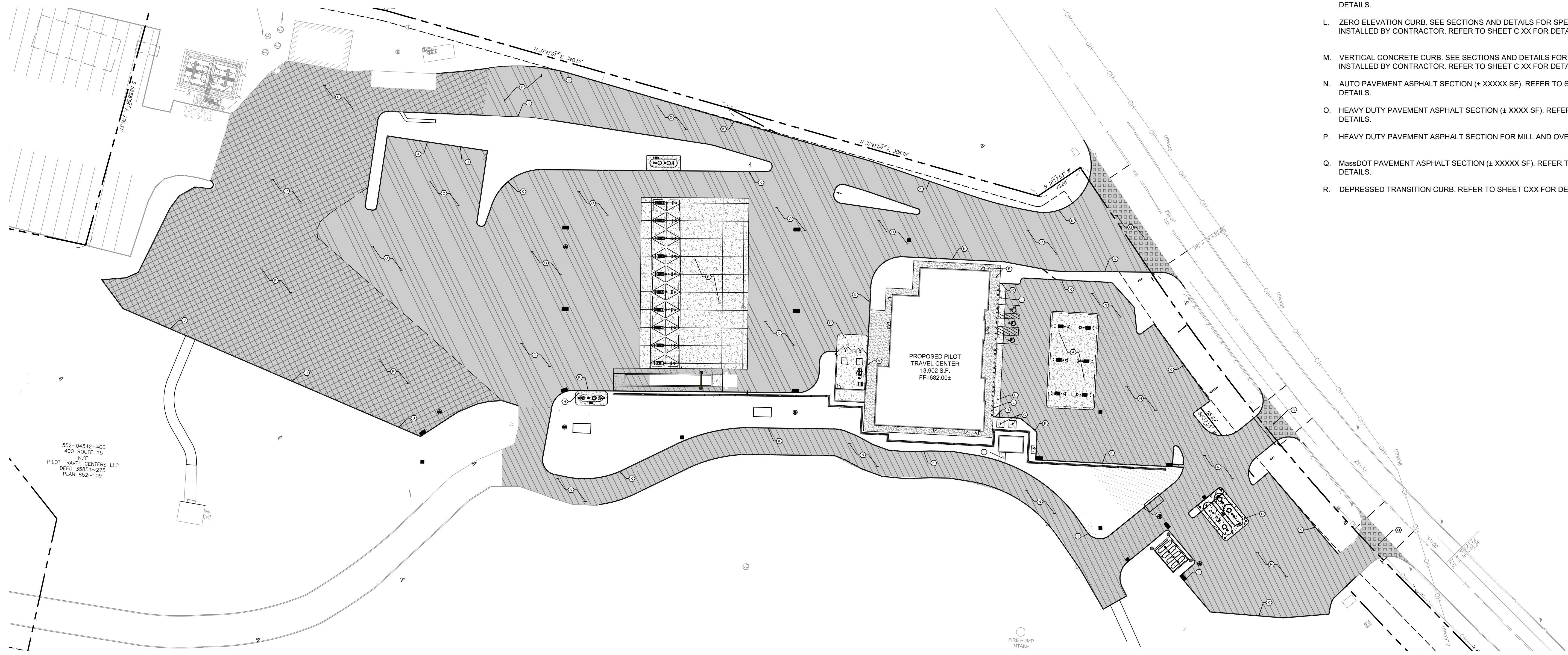
- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- - - EXISTING UTILITY EASEMENT
- ==== EXISTING CURB AND GUTTER
- ==== EXISTING EDGE OF PAVEMENT
- ==== PROPOSED CURB
- ==== PROPOSED DEPRESSED CURB
- ==== PROPOSED BUILDING
- - - PROPOSED SAWCUT LINE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- ▭ EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- ⊗ EXISTING WATER STRUCTURE
- ⊗ PROPOSED PARKING COUNT

HATCH LEGEND

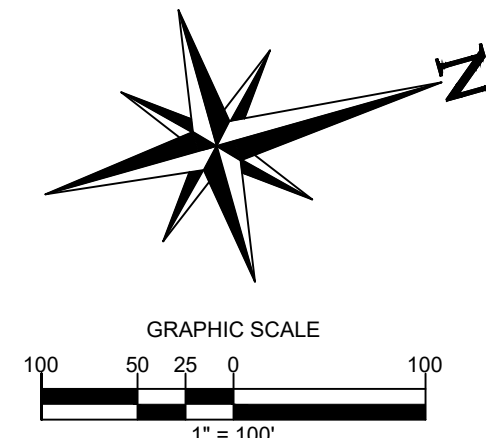
- [Grid Pattern] PROPOSED MassDOT PAVEMENT
- [Diagonal Lines] PROPOSED AUTO PAVEMENT
- [Diagonal Lines] PROPOSED HEAVY DUTY TRUCK PAVEMENT
- [Cross-hatch Pattern] PROPOSED HEAVY DUTY TRUCK PAVEMENT FOR MILL AND OVERLAY

KEYED NOTES:

- A. 6" REINFORCED CONCRETE PAD FOR AUTO CANOPY. WATER FROM SITE SHOULD NOT DRAIN ACROSS THE CONCRETE PAD FOR THE AUTO CANOPY. ASPHALT PAVING ON ALL (4) SIDES OF THE CONCRETE PAD SHOULD DRAIN AWAY FROM CONCRETE PAD. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- B. 8" REINFORCED CONCRETE PAD FOR TRUCK CANOPY. WATER FROM SITE SHOULD NOT DRAIN ACROSS THE CONCRETE PAD FOR THE TRUCK CANOPY. ASPHALT PAVING ON BOTH SIDES OF THE CONCRETE PAD SHOULD DRAIN AWAY FROM CONCRETE PAD. CONCRETE PAD FOR THE TRUCK CANOPY MUST DRAIN TO CATCH BASIN. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- C. 8" REINFORCED CONCRETE PAD AT TANK FARM. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- D. 8" REINFORCED CONCRETE PAD TRASH ENCLOSURE. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- E. 6" REINFORCED CONCRETE PARKING APRON AT PARKING SPACES IN FRONT OF BUILDING. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- F. 4" REINFORCED CONCRETE SIDEWALK. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- G. 6" REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR SIZE AND REINFORCING REQUIREMENTS. INSTALLED BY CONTRACTOR.
- H. 8" REINFORCED CONCRETE PAD OWS TANK. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- I. 6" REINFORCED CONCRETE PAD FOR WATER TREATMENT SHED. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- J. HEAVY DUTY CURB AND GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR. REFER TO SHEET C XX FOR DETAILS.
- K. STANDARD DUTY CURB AND GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR. REFER TO SHEET C XX FOR DETAILS.
- L. ZERO ELEVATION CURB. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR. REFER TO SHEET C XX FOR DETAILS.
- M. VERTICAL CONCRETE CURB. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR. REFER TO SHEET C XX FOR DETAILS.
- N. AUTO PAVEMENT ASPHALT SECTION (± XXXX SF). REFER TO SHEET CXX FOR DETAILS.
- O. HEAVY DUTY PAVEMENT ASPHALT SECTION (± XXXX SF). REFER TO SHEET CXX FOR DETAILS.
- P. HEAVY DUTY PAVEMENT ASPHALT SECTION FOR MILL AND OVERLAY (± XXXX SF).
- Q. MassDOT PAVEMENT ASPHALT SECTION (± XXXX SF). REFER TO SHEET CXX FOR DETAILS.
- R. DEPRESSED TRANSITION CURB. REFER TO SHEET CXX FOR DETAILS.



552-04543-400
400 ROUTE 15
N/F
PILOT TRAVEL CENTERS LLC
DEED 35851-275
PLAN 852-109



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KNOXVILLE, TN 37909

811
Know what's below. Call before you dig.
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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN
APPROVAL

SITE LOCATION
400 HAYNES STREET
STURBRIDGE, MA 01566

ENGINEER SEAL

ALAN D. ROSCOE, P.E.
LICENSE # 40163

SHEET TITLE
SITE PAVING
PLAN

JOB #:	PIL-28950
DATE:	02/10/20
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CHECKED BY:	KGF

SHEET NO.
C5.0